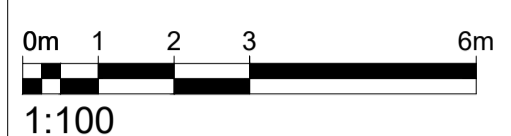
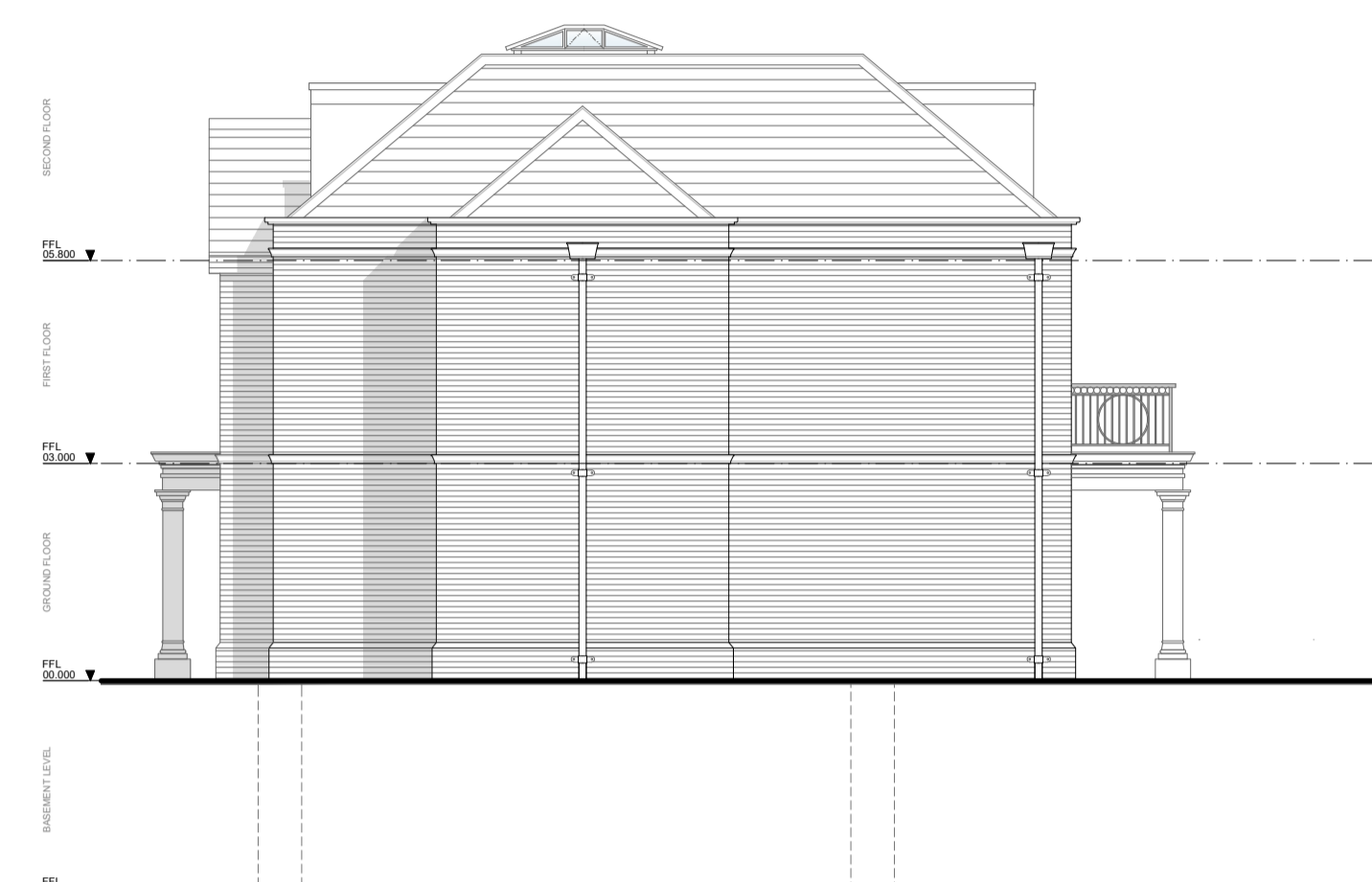


THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE MAKING SHOP DRAWINGS OR COMMENCING WORK OF ANY KIND. NO DIMENSIONS TO BE SCALED FROM THIS DRAWING.

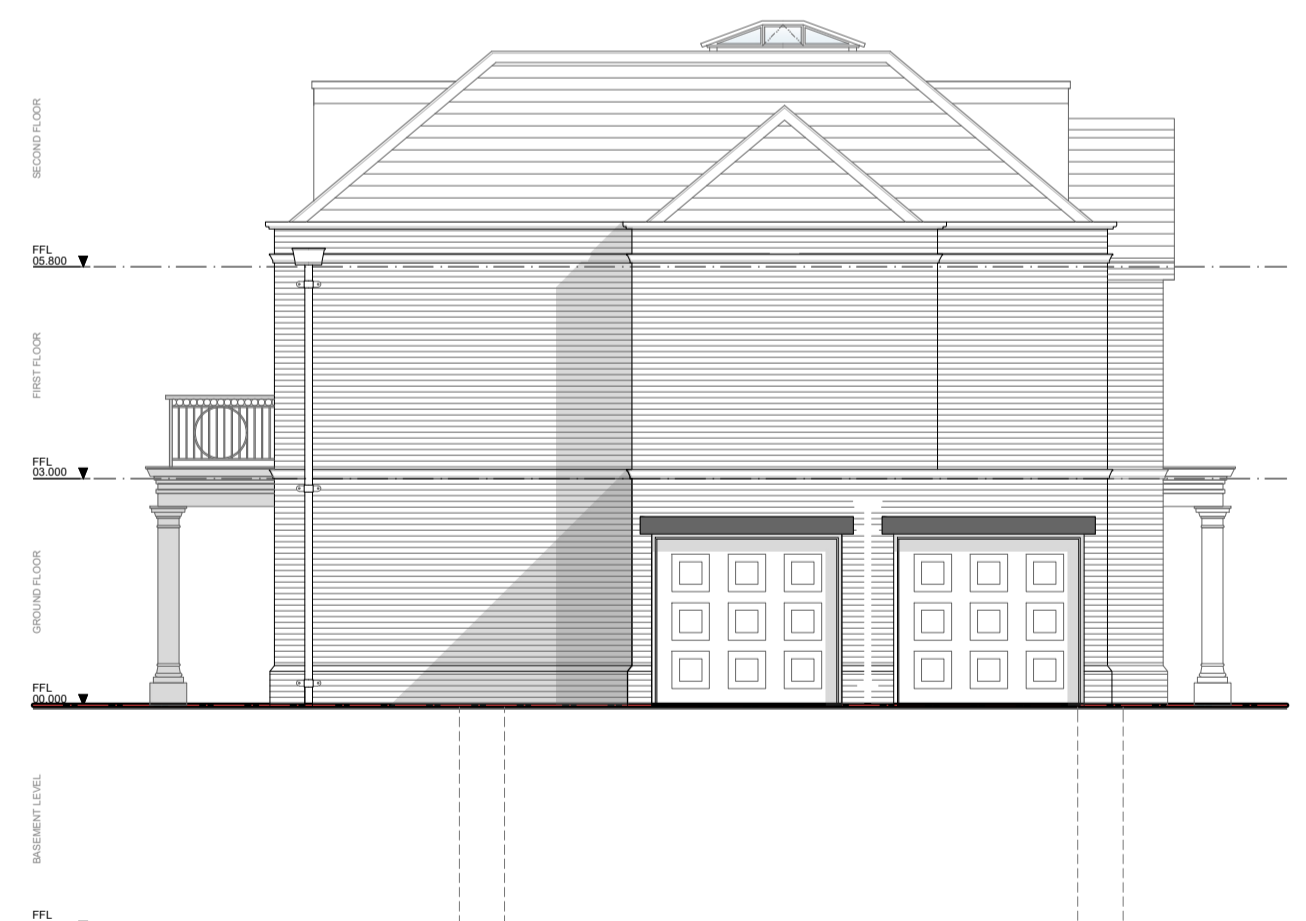
1. THE BOUNDARIES SHOWN ARE BASED ON INFORMATION BY OTHERS. ALL BOUNDARIES TO BE VERIFIED ON SITE PRIOR TO COMMENCING CONSTRUCTION.
2. TOPOGRAPHICAL LEVELS TO BE CONFIRMED.
3. DESIGN & QUOTED AREAS ARE SUBJECT TO DESIGN DEVELOPMENT & REGULATORY CONSENTS.
4. ALL SURVEY INFORMATION SHOWN IS SUBJECT TO FURTHER SITE INVESTIGATION DURING DEMOLITION.



01 Proposed Front Elevation
Scale 1:100 @ A1



02 Proposed Side Elevation
Scale 1:100 @ A1



03 Proposed Side Elevation
Scale 1:100 @ A1



04 Proposed Side Elevation
Scale 1:100 @ A1

HOUSE TWO - Areas:		
BF:	75m ²	(807sq.ft)
GF:	113m ²	(1216sq.ft)
FF:	113m ²	(1216sq.ft)
SF:	55m ²	(592sq.ft)
TOTAL:	356m ²	(3831sq.ft)
Garage:	37m ²	(398sq.ft)

REV	DATE	REVISIONS	CHK

mohsin cooper
ARCHITECTS

MOH SIN COOPER LIMITED, 7 HOWE MANOR PARADE,
HOWE STREET, HOWE, EAST SUSSEX, BN9 2DF
www.mohsincooper.com
© copyright reserved on this design
and any technical drawings on this drawing

PROJECT:
Proposed Dwellings at 4, The Avenue, Radlett

CLIENT:
Mr Michael Mitzman

DRAWING TITLE:
Proposed House Type 2 Elevations

SCALE:	1:100@A1	DRAWN:	MC	DATE:	OCT 2023
CHECKED:	MC	DATE:	OCT 2023		

NUMBER:	0520-PL-203	REVISION:	-
---------	-------------	-----------	---

STATUS: S2
PLANNING APPLICATION

1. Slate roof tiles
2. Facing brickwork
3. Polyester powder coated windows and doors
4. Reconstituted stone cill and head features
5. Painted and galvanised metal rainwater goods