

## Design & Access Statement

4 The Avenue,  
Radlett  
Hertfordshire  
WD7 7DJ

October 2023

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# Design & Access Statement

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Radlett  
Hertfordshire  
WD7 7DJ

This Design & Access Statement has been prepared  
by Mohsin Cooper Limited on behalf of Mr Michael  
Mitzman.

October 2023



# Introduction



**Introduction:**

This Design & Access Statement forms part of a planning application for 3 no new detached family homes on the site of 4, The Avenue, Radlett.

The Avenue is a residential street comprising several large, detached family homes in a variety of styles. This pattern of development is representative of Radlett as a whole. The village has a high proportion of large dwellings set in generous plots against the backdrop of the Green Belt and open countryside.

The proposals seek to renew and enhance a previously consented a scheme for the site (ref 14/1622) with fresh house designs that are sustainable, more in keeping with the local context and tuned to meet the demands of the market in the area.

The 0.36 Ha site contains a number of mature trees and shrubs forming the surrounding to the existing dwelling. 3 new dwellings are proposed across the site and in the same locations as the previously consented scheme. Each house has been carefully positioned to prevent any loss or damage to existing good quality trees.

The existing house on the site is in poor condition. In contrast to the consented scheme, under current proposals the existing house will be replaced by a new dwelling delivering a high quality, brand new home with premium levels of sustainability. In view of the condition of the house, this approach is deemed to be more sustainable than attempting to renovate and retrofit the existing house to an appropriate standard and level of energy efficiency.



# Topographical Survey



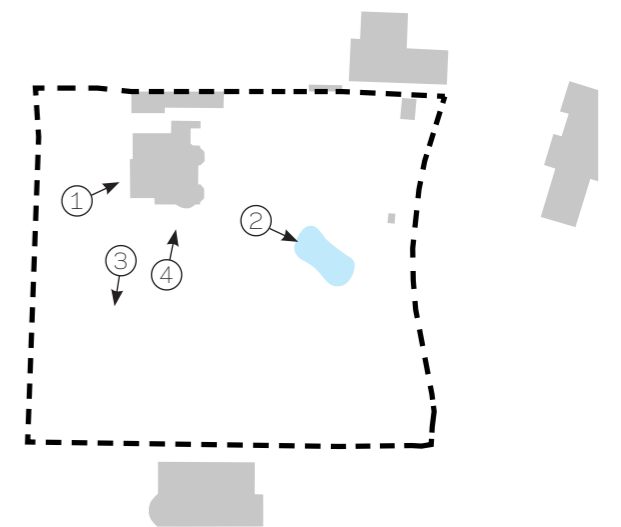
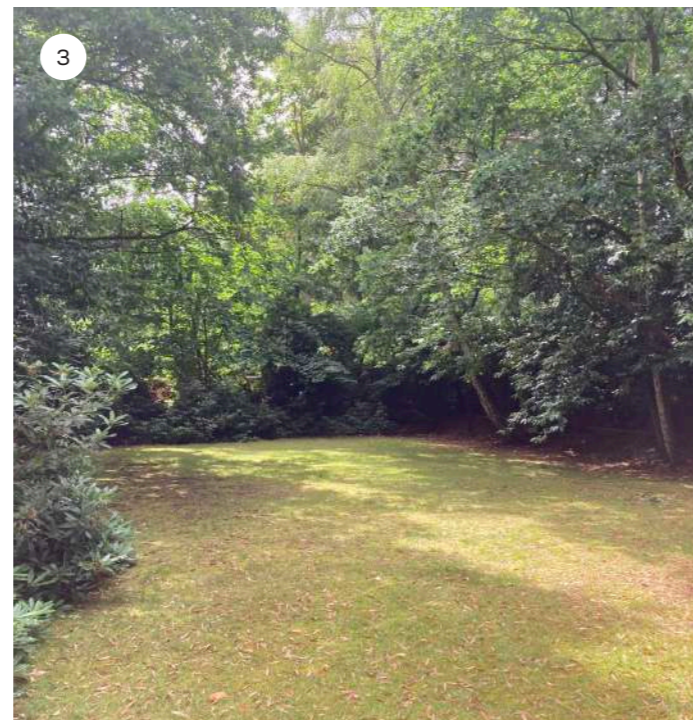
TOPOGRAPHICAL SURVEY  
BY M.J.ZARA ASSOCIATES

OCTOBER 2023

NOT TO SCALE



## Site Images



1. Existing front elevation
2. View looking at pond
3. Looking towards South West of site
4. View towards house



# Local Context Analysis



Image taken from Radlett Neighbourhood Plan showing residential plot size across the village.



## General Location and Connectivity

The site is located in the NE portion of Radlett, West of Porters Park Golf Course. The Avenue is approximately 1km long. No. 4 is located towards the southern end of the road.

No 4 The Avenue is well positioned for access to Radlett Village and the Train Station which is located approximately 12mins walk away. More broadly the village is well connected by road to surrounding parts of suburban London by means of the A5183 leading to the M1, or, to the North the M25 is accessible via a 10 minute drive to junction 22.



## Patterns of Development

As a village bordering the Green Belt and open countryside, Radlett has a loose knit, semi-rural character within its residential streets.

With the exception of a handful of roads that sit adjacent to Watling Street at the centre of the village, the pattern of development is that of wide, quiet residential roads with large plots and detached family dwellings.

Most reflect the 'verdant' village character which is enhanced by close proximity to open countryside beyond in road to the outer reaches of the village. The local plan ('The Radlett Plan 2023 to 2036') summarises typical characteristics of residential plots as the following:

- Plot size 850m<sup>2</sup>
- 8-10 m set back from highway
- 1 m minimum distance from the side boundaries



**1 - Higher density with plot sizes 0.01-0.04 Ha (Station Road)**

**2 - Medium density with plot sizes 0.05 - 0.07 Ha (Beech Ave)**

**3 - Low density with plot sizes 0.15 - 0.3 Ha (The Avenue intersecting with The Warren)**



## Local Context Analysis



### Radlett Character

Much of the character of Radlett is formed by virtue of its well preserved late C19th and early C20th building stock, including good examples of Tudor Revival architecture sitting alongside developments of bungalows with recognised value as group.

There are also several roads which bear signs of strong Arts & Crafts influence including houses with traditional pitched roof forms, roughcast rendered facades and restrained tile-work detailing to eaves and gables.

### Edge of Village Sites

Whilst the combined effect is far from a jumble of influences, there is no dominant style to the village, especially in the case of some of the outlying streets and roads which have been subject to development in recent years.

Newlands Road and Oakridge Avenue are both examples of parts of Radlett with recent and ongoing development on larger than average plots. The scale of the plots in such locations lends itself to grander styles of architecture. These plots and settings are less wedded to a modest arts and crafts style which suits the denser portions of the village with a more suburban character.

On these edge of village sites, large scale interpretations of Tudor Revival, Neo-Georgian, Modernist, Victorian and Arts & Crafts sit juxtaposed and occasionally alongside a chalet bungalow, a remnant of mid-century / post war village expansion.

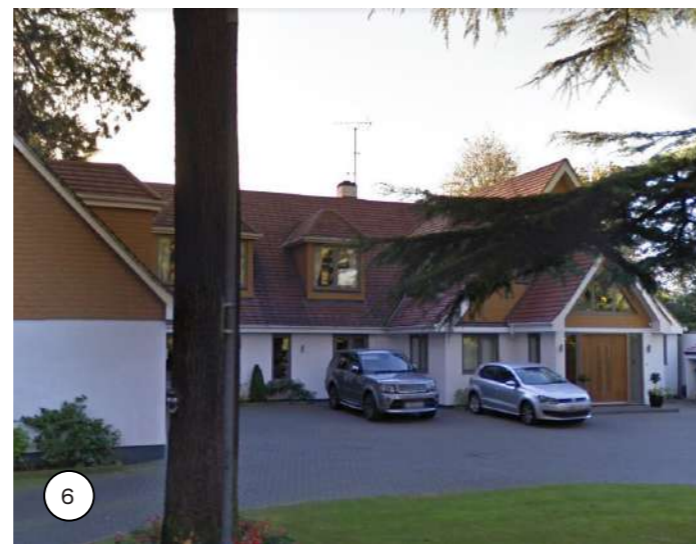
The success of distinct and contrasting styles along a single road is reliant upon the width of each plot which prevents dilution of the architectural expression in each case.



- 1- Tudor Revival style on Gills Hill
- 2 - Post-war group of bungalows on Williams Way
- 3 - Arts & Crafts style on Beech Ave
- 4 - 8-14 Newlands Way (various styles)
- 5 - 17-19 Newlands Way (various styles)



# Local Context Analysis



## The Avenue Character

The scale and plot size of The Avenue is very similar to Newlands Road and Oaklands Avenue, and the same set of disparate influences can be seen resisting a dominant style (as noted in the officer's report for no 11 The Avenue - 17-1137FUL).

Unlike some of the aforementioned roads to the West of the village, the Southern part of The Avenue has the additional benefit of several mature trees which in many cases form a significant part of the character and feel of the streetscene.

The clusters of trees serve to screen and divide plot from plot and so only enhance the scale and separation of one from another – a spatial quality which supports grand architectural expression irrespective of neighbouring buildings.

**1- Neo-Gothic  
No 3 The Avenue**

**2 - Modern interpretation of Neo-Classicism  
No 3 The Warren**

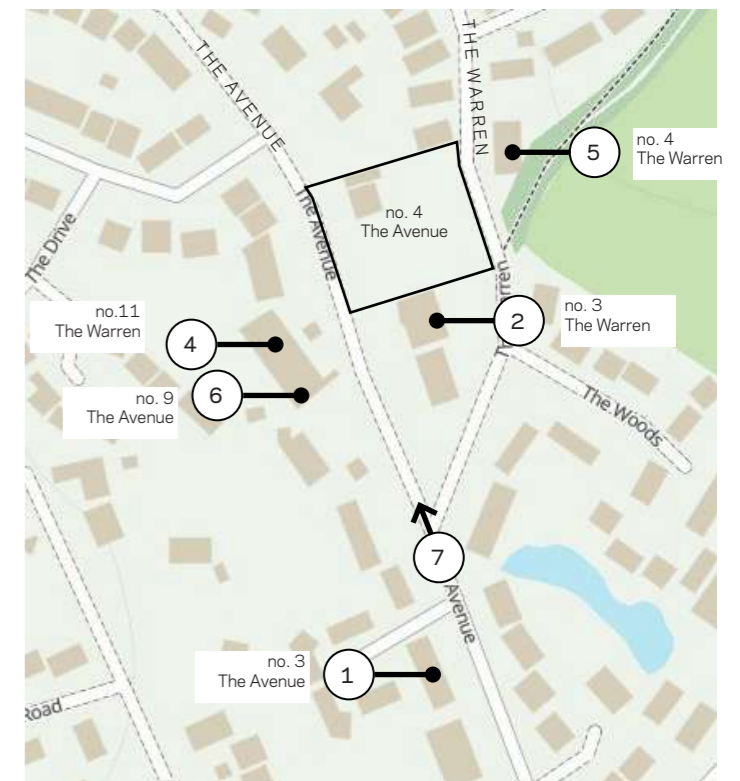
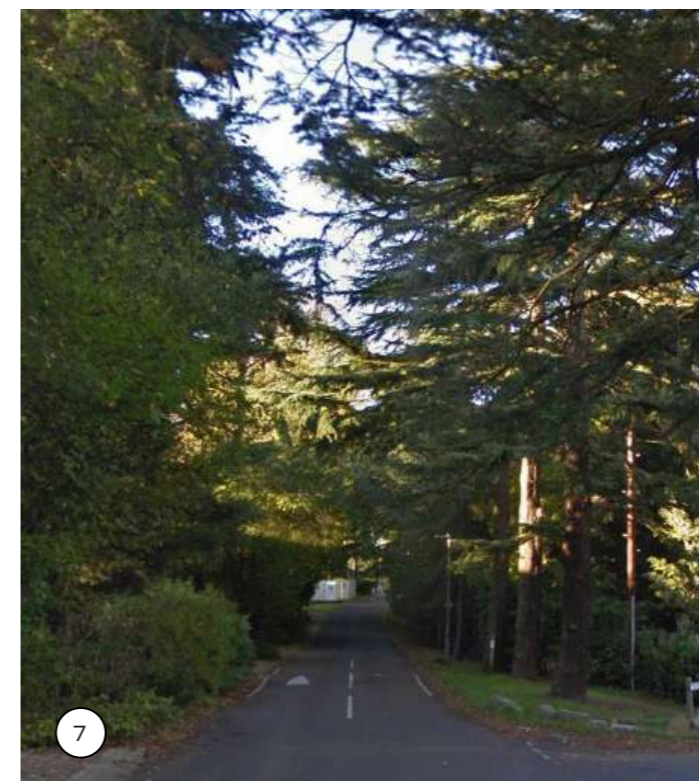
**3 - Neo-classicism  
No 30 The Avenue**

**4 - Neo-Georgian  
No 11 The Avenue**

**5 - Modern interpretation of Neo-Classicism  
No 4 The Warren**

**6 - Contemporary Vernacular / Arts & Crafts  
No 9 The Avenue**

**7 - View up The Avenue through mature trees lining highway.**





# Site Constraints



**No 6  
The Warren**  
**Site Constraints**

The site is 0.36 Ha in area and is positioned between The Avenue to the East and The Warren to the West, two quiet residential roads to the NE of Radlett.

The site features several large trees and is comparatively heavily wooded with trees obscuring views within the site and creating a series of clearings and pockets of lawn. Close boarded timber fencing forms the boundary on all sides with the exception of the East which is casually delineated with mature shrubs.

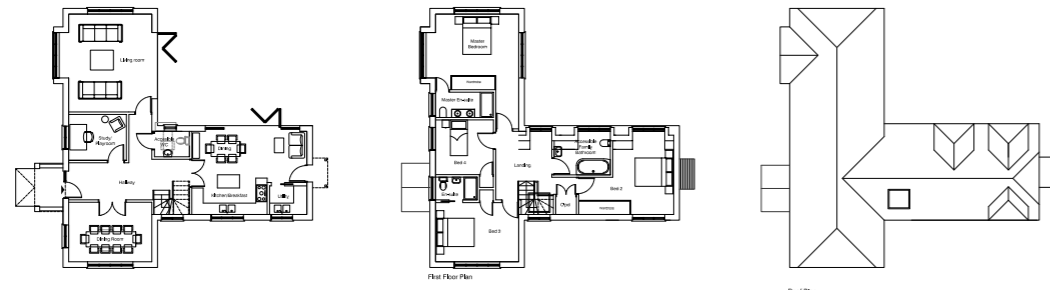
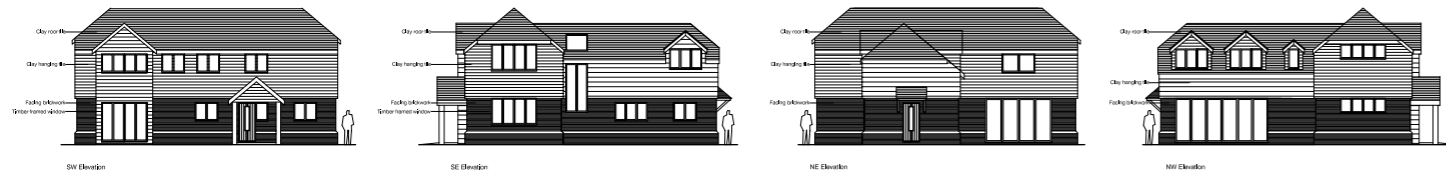
### Existing House

The existing house is positioned to the North West of the site and accessed from The Avenue. The house itself is thought to have been built in the early 1900s. It is in a poor state of repair such that retrofitting and refurbishment would be economically unviable with compromised performance and sustainability in occupation. It is not Listed or locally listed.

The house is well screened from the highway on account of evergreen shrubs and as such does not contribute to the streetscene. Its demolition was assessed as part of Pre-App 14/0082/PA where its replacement with 4 no new dwellings considered to be 'consistent with the prevailing pattern of development.'



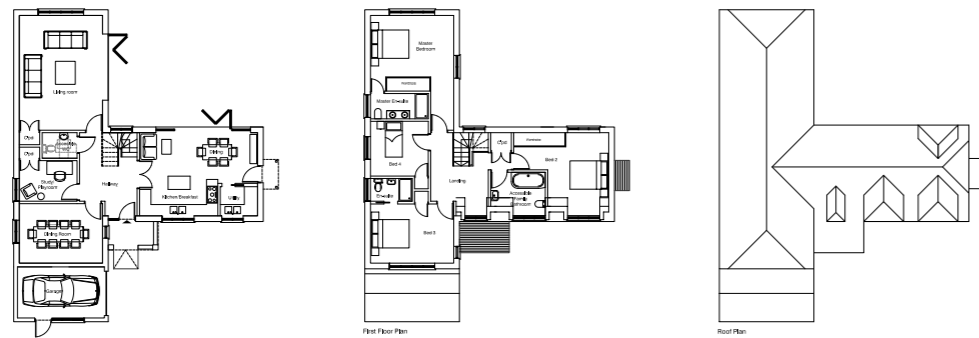
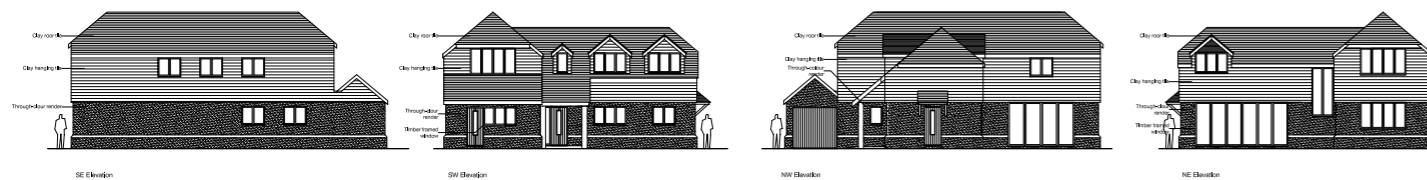
# Planning History



HOUSE TYPE 1 for Plot 1  
GIA:  
Ground floor - 93 sqm  
First floor - 90 sqm



1:100 @ A1 SCALE  
0m 1 5 10



HOUSE TYPE 2 for Plot 2  
GIA:  
Ground floor - 93 sqm  
First floor - 90 sqm

## Planning History & Consented Scheme 14/1622/FUL

This application submitted in 2014 gained consent for the subdivision of the plot and the construction of 2 no new 4 bed dwellings with access from The Warren and from The Avenue. The houses were proposed in a nominally traditional style with a palette of facing brickwork, tile hanging and concrete roof tiles.

## Summary of new proposals & changes / rationale

The current proposals have been developed to enhance the potential development of the site in recognition of the quality and scale of development in Radlett and the area around The Warren and The Avenue in the last 10 years.

As previously noted, the existing house at 4 The Avenue is in poor condition and it is proposed that this is replaced with a new dwelling on the site of the current house under the current proposals.

The 2 further homes proposed for the site sit in the same locations as was previously approved. New enhanced designs have been developed commensurate with the emerging high level of quality in the local area and to meet the appropriate stylistic preferences of the area.

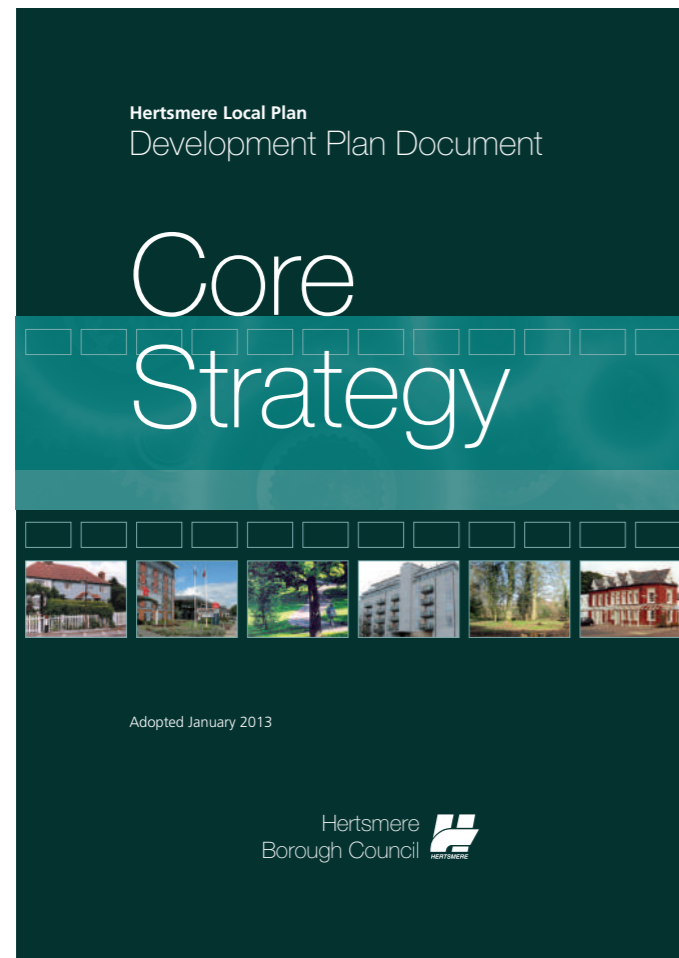
House 1 and 2 are proposed as a pair of Neo-Georgian houses located centrally on their plots and directly addressing The Avenue.

House 3 is proposed as an Arts & Crafts style house located to the corner of its plot and addressing The Warren.





# Planning Policy Context



## Planning Context

In overview, the most sustainable form of development is that which takes advantage of established infrastructure or services and in doing so reduces the demand on greenfield sites to provide new housing. In a location such as Radlett, sited adjacent to Green Belt land, this is particularly relevant.

The proposed dwellings at 4, The Avenue makes good use of an existing plot in an established residential area. It is located within the development boundary of Radlett, and within reach of existing established infrastructure, services and transport links. It will allow for and support the use of sustainable transport choices and avoid reliance upon a car to access local businesses and services.

At the heart of the **National Planning Policy Framework** is a presumption in the favour of sustainable development as described in paragraph 11. It notes that approval decisions should not be delayed where proposals accord with local development plans.

At a local level the proposals accord with the Hertsmere Local Plan Core Strategy adopted in 2013 (superceding the Hertsmere Local Plan 2003) . Relevant policies include:

### Policy CS1 The supply of new homes

The local plan outlines the targets that HBC have set for housing provision over the period 2012 - 2027 equating to a rate of +266 homes per year. As a windfall site, providing a net gain of 2 good size homes well suited to Radlett, the proposals stand to make a valuable contribution to the fulfilment of these targets.

CS1 also references policies: CS12, CS13, CS14, CS15, CS16 and CS17

### Policy CS2 The location of new homes

Alongside larger and denser conurbations such as Borehamwood and Potters Bar, Radlett is identified as one of 4 key locations for new housing in Hertsmere.

### Policy CS22 Securing a high quality and accessible environment

The proposals accord with policy CS22 in that they are high quality and accessible new homes which enhance the local context. The proposals represent a marginal intensification of the local areas but on a very large plot resulting in new plots that remain in the top size bracket of 0.1Ha (see plot size diagram on page 6).

The new homes are spacious and could comfortably meet the requirements of Part M4 cat 3.

### Policy CS12 The Enhancement of the Natural Environment

The proposals have been developed with careful thought given to the retention and protection of the existing good quality mature trees on site.

### Policy CS13: Green Belt

The site is not located in Green Belt land.

### Policy CS14: Protection or enhancement of historic heritage assets

The proposals do not involve or affect an identified site, Listed building, protected site or other heritage asset referenced in the policy.

### Policy CS15: Promoting recreational access to open spaces and the countryside

The proposals do not affect access to or appearance of open spaces and countryside including the Green Belt.

### Policy CS16: Environmental impact of development

The proposals are not located within a flood plain. The proposals allow for the incorporation of features and fittings that will promote sustainable drainage arrangements, energy usage and water usage.

### Policy CS17: Energy and CO2 Reductions

The proposals will allow for a 'fabric first' approach at detailed design stage including optimised levels of insulation and airtightness. Proposals also allow for the integration of renewable technologies such as air or ground source heat pumps and photovoltaic panels (subject to specialist feasibility reviews). Such measures will allow the development to achieve significant improvement on Part L TER rates.



## Use, Amount and Layout



### Use & Amount

The proposals contained within this application are for the demolition of the existing house at 4 The Avenue and the construction of 3 no C3 use class new dwellings as outlined in the below schedule of accommodation.

House 1: 450 sq m / 5B  
House 2: 356 sq m / 5B  
House 3: 418 sq m / 5B

### Site Layout

The three houses are evenly distributed across the site. House 1 occupies the site of the existing house set back approximately 17m from the highway. It is accessed directly from The Avenue via a short driveway.

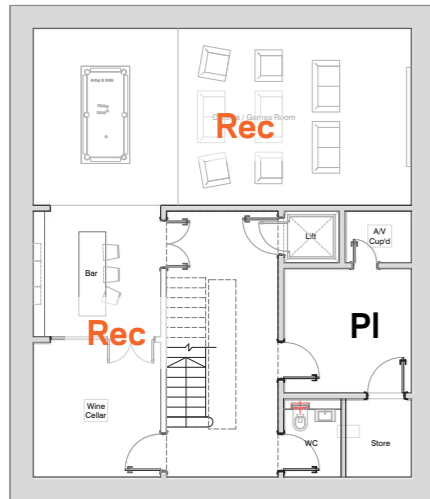
A garage block is located on the North side of the house and a 100sqm private garden is located to the rear of the plot where several existing mature trees form an attractive setting and screen views to and from the plot.

House 2 is situated approximately 20m to the South of House 1. It shares a similar general layout with a driveway and garage block on the northern flank and private garden to the rear.

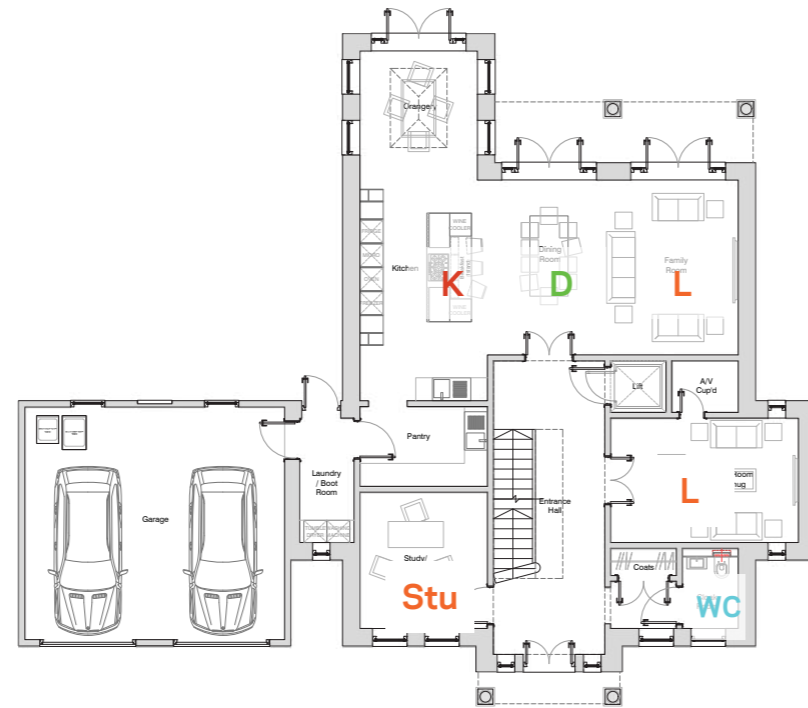
House 3 is situated approximately 17 - 23m (to two different faces) to the North East of House 2. It is accessed from The Warren with a garage sited on the East elevation. Taking a 'T' shape planform, a private garden and terrace is located within the apex on the West side of the plan. The house sits approximately 2.5m from the South boundary and all rooms along that edge of the plan are ancillary / non-habitable in nature.



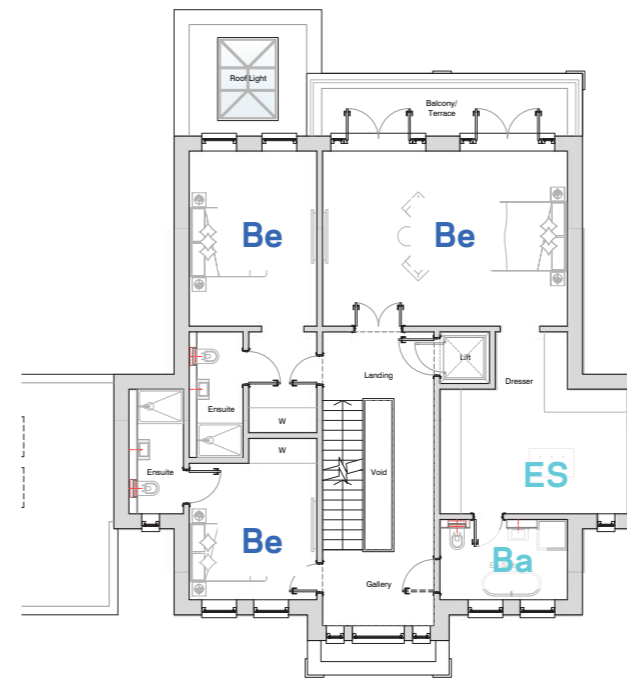
HOUSE 1



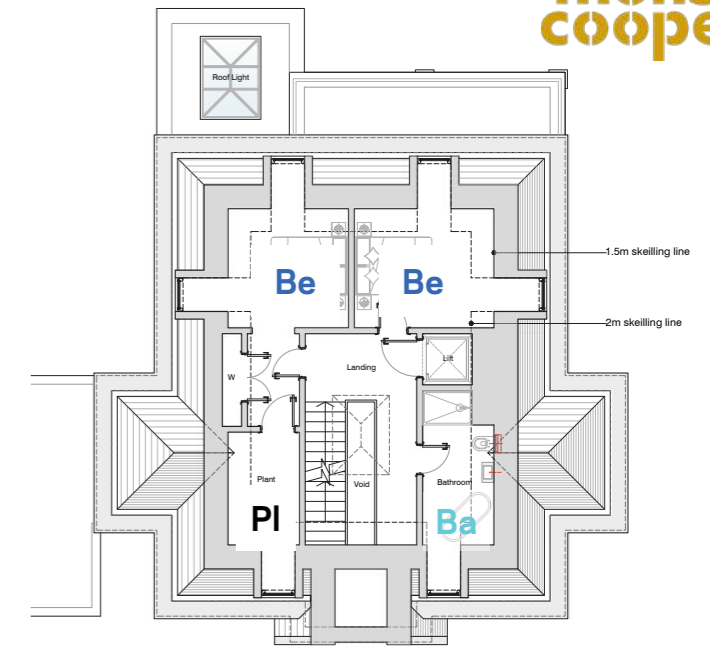
Basement



Ground Floor

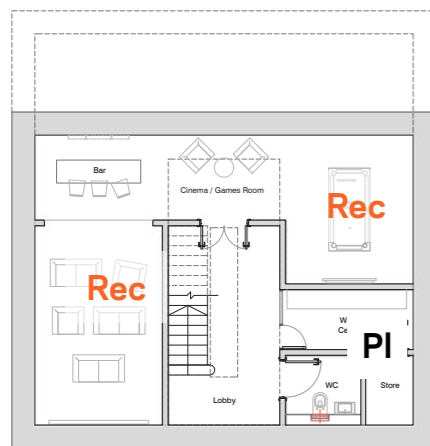


First Floor

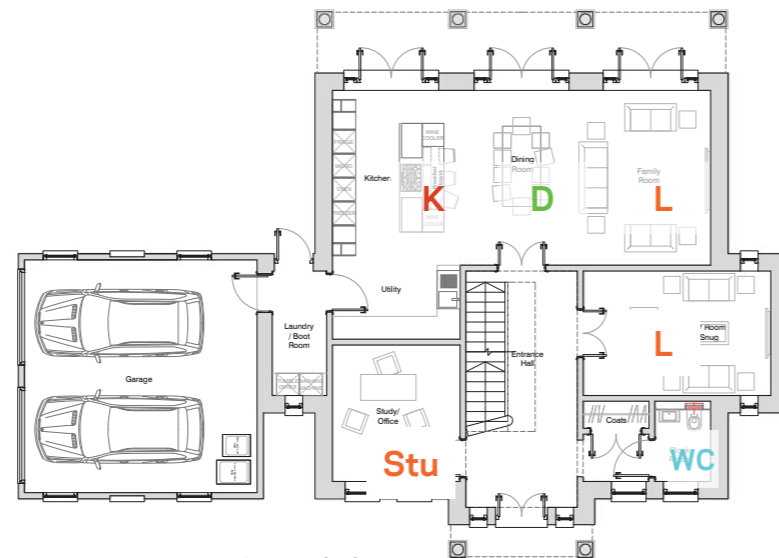


Second Floor

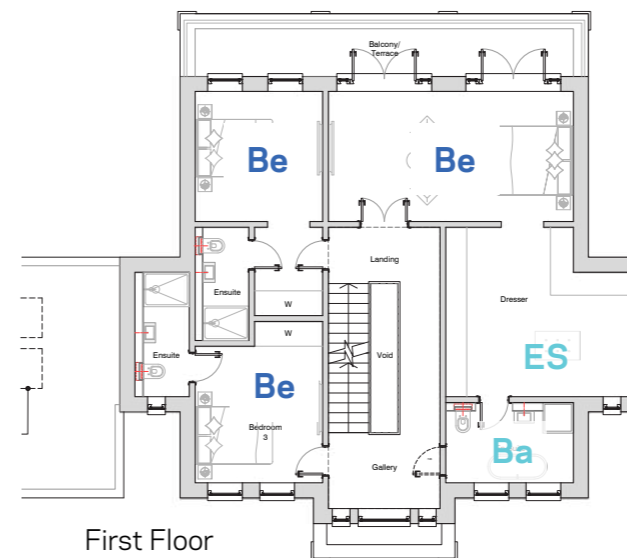
HOUSE 2



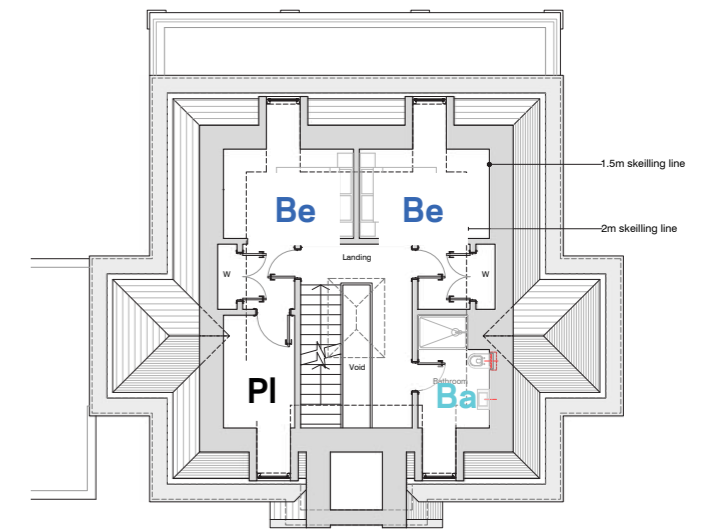
Basement



Ground Floor



First Floor



Second Floor

# House Layouts

## Internal Layouts: Houses 1 & 2

Both houses are laid out along broadly the same principles, although House 1 has a marginally larger overall planform allowing for additional rooms and features. Both houses benefit from a Basement providing a Cinema, Games Room, Bar, Wine Cellar and Plant room.

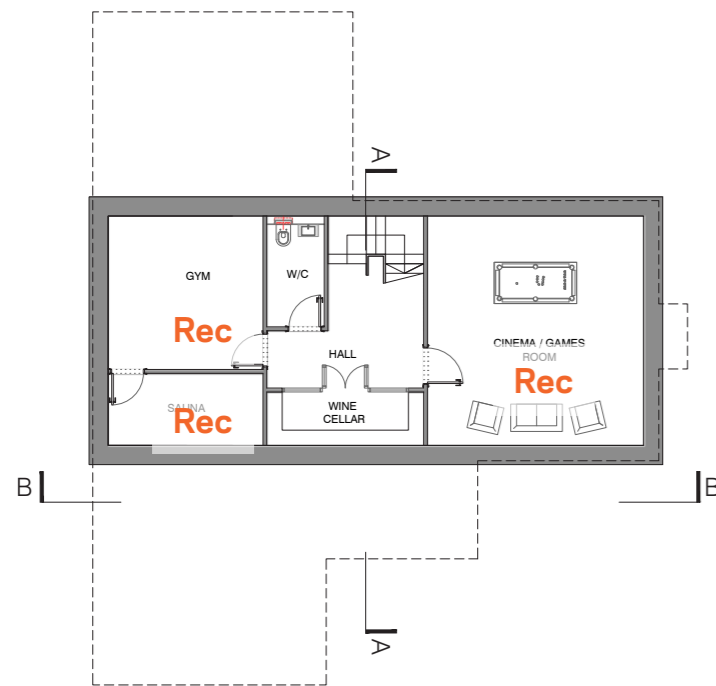
The main entrance to both houses is positioned centrally on the front elevation and opens into a grand entrance hall with staircase. A large open plan Kitchen, Living and Dining Room leads directly off the entrance hall and occupies the full width of the house to the rear of the plan with views of, and opening onto, the garden. The ground floor plan also features a TV Room, WC & Cloakroom and Study. A Pantry (House 1) / Utility Space (House 2) leads off the Kitchen, through a Laundry Room and provides an internal link to the Garage.

At first floor the Master Suite leads centrally off the Landing to the top of the stairs and features a generously sized bedroom, dressing room and Master En suite. The Master Suite also benefits from access to a terrace with views across the garden to the rear of each house. The Master Suite is located on the right hand side of the plan whilst Bedrooms 2 & 3 occupy the left hand side. Both benefit from built in wardrobe space and well proportioned shower-room En Suites. There is also a Family Bathroom at first floor level positioned towards the front of the plan.

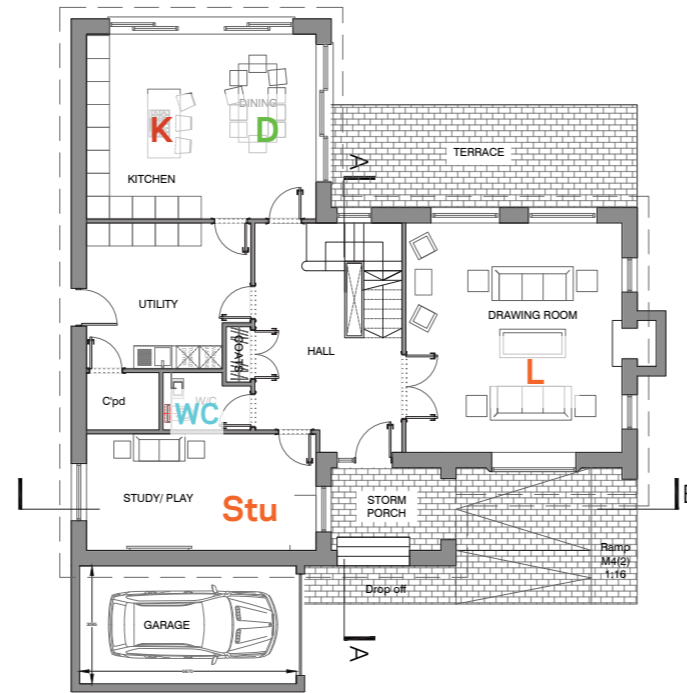
The second floor is formed within the roof space of the House 1 & 2 and provides for two further bedrooms with integrated dressing areas. A further bathroom is located at second floor level along with a Plant space. Rooms at second floor feature dormer windows while a rooflight brings natural light into the landing area.



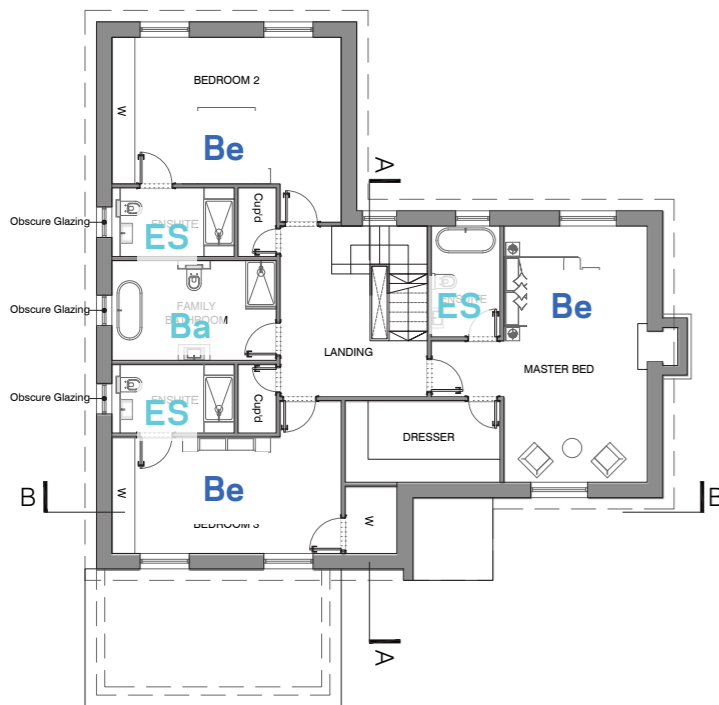
# House Layouts



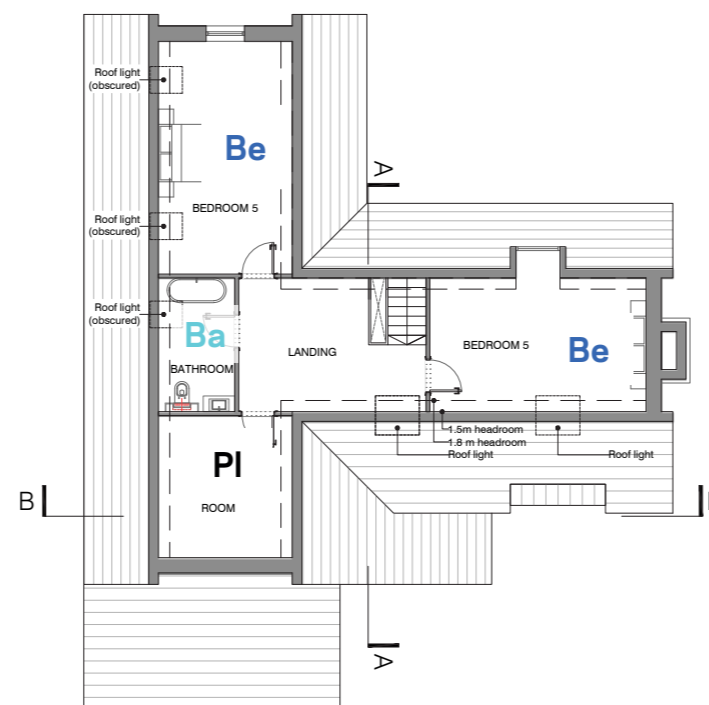
Basement



Ground Floor



First Floor



Roof Plan

## HOUSE 3

### Internal Layouts - House 3

House 3 is laid out around a T-shape plan form. The main entrance is located at the intersect between the two wings via an enclosed 'Storm Porch'. It provides access to a generously proportioned entrance hall and galleried staircase.

A triple aspect Drawing Room is located directly to the right of the Hall and this room opens out onto the Garden to the West of the plan.

Turning left from the Hall one enters the wing of the house which is oriented East West. This wing includes a Study / Snug / Playroom to the front of the house with a combined Kitchen / Dining Space to the West (rear of the house) opening out onto the Garden adjacent to the Living Room.

A Utility Room and WC is located in the middle of the wing together with a back door opening out directly adjacent to the Southern boundary.

A Basement occupies part of the footprint of the house and is oriented North South. It comprises a Cinema Games Room, Wine Cellar and WC.

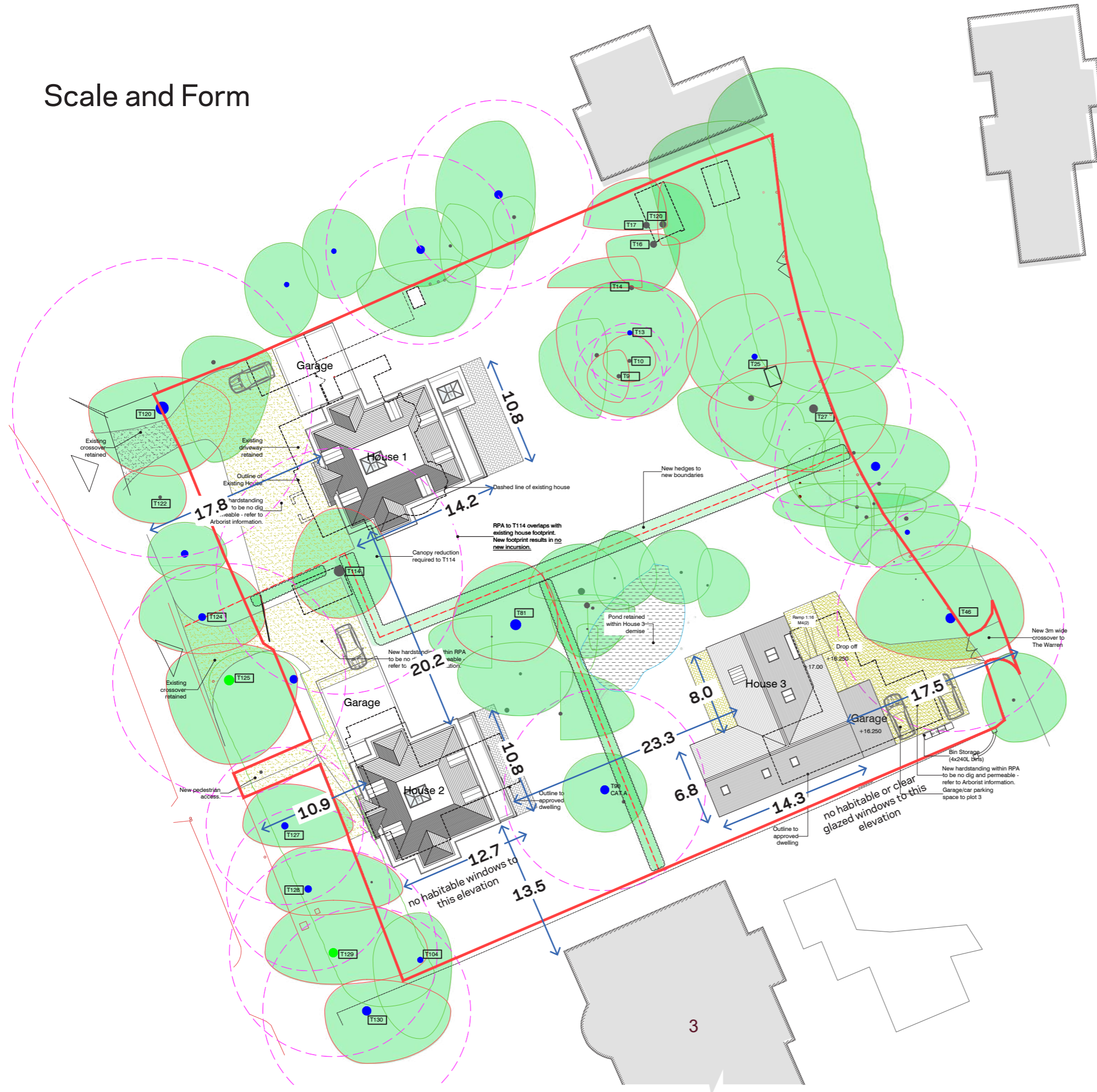
Three of the five bedrooms are located at 1F level with the Master Suite (including en suite and dressing room) to the North of the plan. The bedroom is dual aspect with views to the driveway and garden. Two further double bedroom suites occupy the East and West ends of the opposite wing of the house comprising a generously sized bedroom with shower room en-suite in each case.

A Family Bathroom is positioned centrally in this wing of the house and separates the two primary bedroom suites.

Two further double bedrooms are located at 2F in the North and West extents of the two wings. A further family bathroom is located at 2F level to serve the two bedrooms. A plant Room is positioned to the Eastern extent of the plan.



# Scale and Form



## Scale and Form

(all dimensions are approximate)

The proposals adopt a scale and form that is entirely appropriate for the size and character of the new subdivided plots, and which aligns with the general pattern of development in this part of Radlett.

Houses 1 and 2 are the larger of the three and directly address The Avenue. House 3 sits on a marginally smaller plot to the South West of the overall development site and is accessed from The Warren.

The plot sizes are as follows:

- House 1: 0.18 Ha
- House 2: 0.11 Ha
- House 3: 0.10 Ha

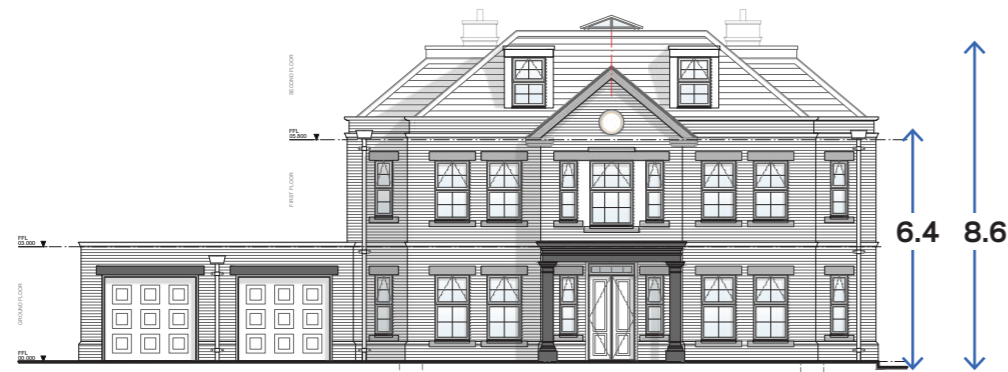
Houses 1 and 2 both address The Avenue, but a subtle dominance to House 1 is implied by virtue of a deeper 17m set back from the Highway, while House 2 is set back by approximately 9.8m. The flanks of House 1 and House 2 are approximately 20m apart and offset from one another. This placement lends nuance to the layout and avoids any overlooking issues between the two plots.

Mature trees including T81 (Western Red Cedar / 24m height) have the additional effect of naturally screening and separating the two plots whilst dwarfing both houses in terms of height.

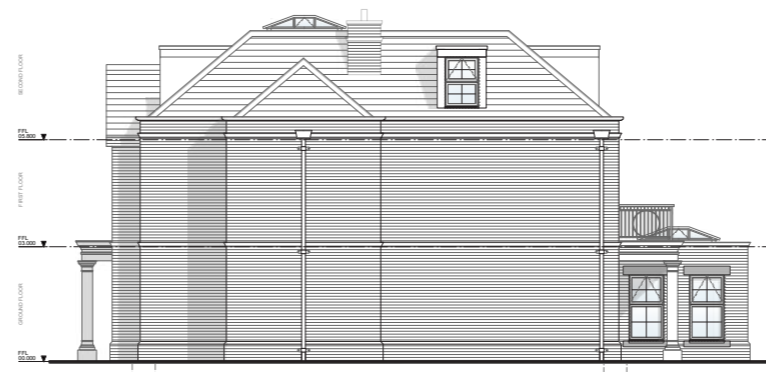
House 3 sits approximately 23m to the North-East of House 2 and at the foot of a gentle slope which runs South-West - North-East. Again the two plots are naturally screened by existing mature trees and shrubs, most notably T81 and T90 (Western Red Cedar / 18m height).



# Scale and Form

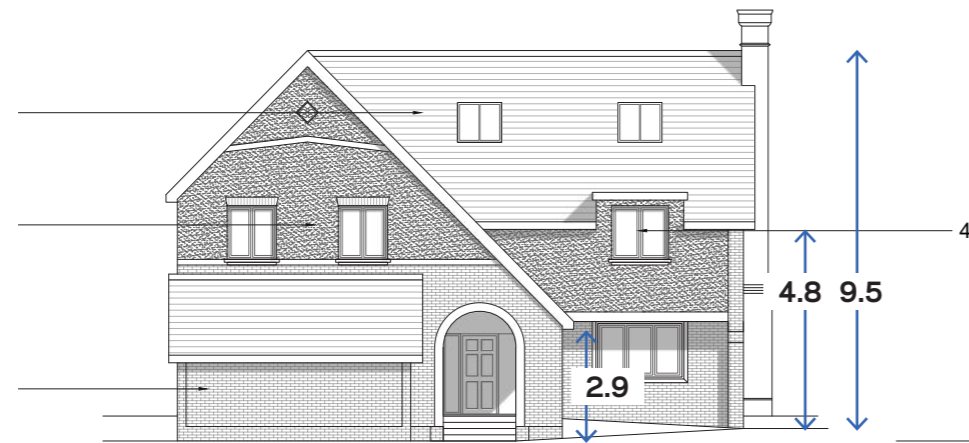


HOUSE 1 Front Elevation



Side Elevation

(all dimensions are approximate)



HOUSE 3 Front Elevation



Side Elevation



top: 10 The Warren, Radlett  
middle: 20 Beech Avenue, Radlett  
bottom: Meynell Avenue, E9

Houses 1 and 2 are both 2 storey with pitched mansard roofs and parapet, where the roof provides floorspace at 2F level. The height to the parapet is 6.4m and the height to the ridge 8.6m; at this scale the proposed dwellings will adopt a scale commensurate with neighbouring properties and the separation distances between the proposed and existing buildings.

The primary footprint of House 1 is 10.8m x 14.2m with additional elements such as the Orangery and the garage taking the overall extent of the footprint to a maximum of 19.2 x 16m.

House 2 shares a similar but smaller footprint of 10.8 x 12.7m with the garage extending the width of the footprint to a maximum of 18.3m.

Houses 1 and 2 both adopt a Neo-Georgian form comprising a broadly symmetrical square planform with gabled entrance portico, projecting bays to the flanks and a full width portico and balcony to the rear. The mansard roof is tucked behind the parapet wall allowing for the expression of the proportions of the first and

second storey enhanced by decorative masonry string courses. The stylistic articulation has the effect of segmenting and subdividing the massing with traditional proportions.

House 3 is sited on a more constrained part of the plot and this informs the planform of the house. Adopting a 'T' shape plan, the North wing of house creates sufficient external area to the front and rear of the house for parking, vehicle movements and amenity without impinging on existing RPAs relating to large TPO trees. The East-West wing of the house measures approx 14.3m in length (excluding the garage), and 6.8m in width. The North wing extends 8m and is also 6.8m in width.

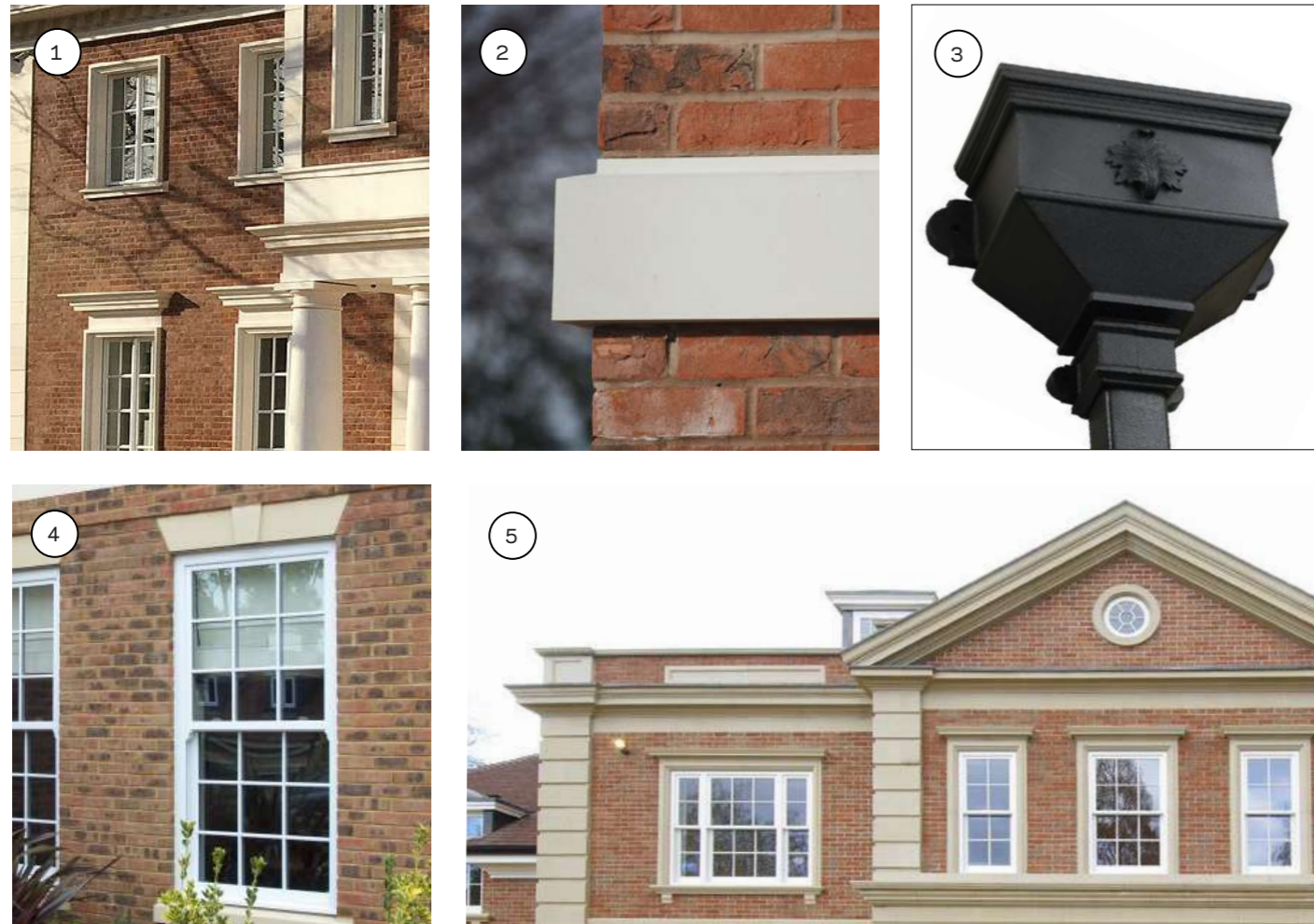
By contrast to Houses 1 & 2, House 3's plot also delivers a more constrained and indirect relationship with the highway. The building is positioned to the far South of the plot (in an existing clearing) and is not centred on the width of the plot like House 1 & 2. Access to the plot is also positioned to the far South East corner (by means of an extant rear garden gate entrance).

Reflecting this more nuanced setting and position (by comparison to House 1 & 2), House 3 adopts an asymmetrical and more idiosyncratic form. The design comprises a pitched roof form comprising two interlocking wings and an asymmetrical gable frontage on the South side of the principal elevation. The formal language of the house stylistically references the Arts & Crafts movement, the likes of which can be found throughout Radlett and around The Avenue and The Warren.

Whilst House 3 will provide an appropriate counterpoint to House 1 and 2 in terms of style, it is nonetheless proposed as a grand home with a scale to suit the larger plots in this part of Radlett. The height of the house will be approx 4.8m to the eaves and 9.5m to the ridge. By contrast, the catslide reaches down to a level approx 2.9m from external ground; directly adjacent the ground floor portion of the North wing is recessed matching that of the enclosed storm porch adjacent. Such features lend the design a human scale and sense of enclosure. They are befitting of the Arts & Crafts style which draws heavily on the vernacular and the semi-rural.



## Appearance and Materials



- 1 - Neo-Georgian style in facing brickwork with classical portico element
- 2 - Stone string course in facing brickwork
- 3 - Embellished cast iron rainwater hopper
- 4 - Sliding sash windows with stone head element
- 5 - Gable in brickwork with 'roundel' window

The materials of all three houses will be carefully selected to deliver a high quality traditional appearance.

House 1 & 2 will be formed in a palette of facing brickwork, masonry string courses, cills and heads, and slate tiles. Windows and doors will be high quality polyester powder coated aluminium sashes with traditional profiles.

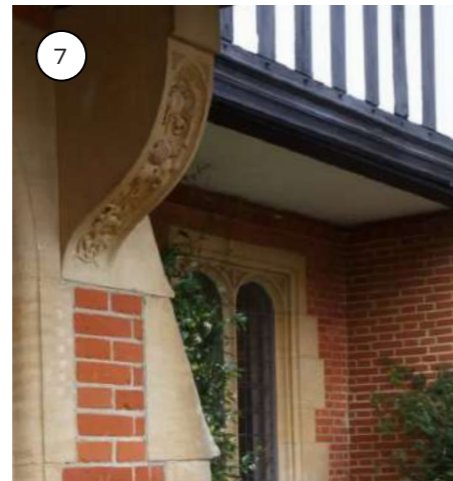
The houses adopt a Neo-Georgian form and style. They employ the following articulating features giving them a traditional appearance similar to several houses towards the southern end of The Avenue.

- Mansard roof with parapet
- Stone string courses
- Stone head and cills
- Stone portico and cornice
- Feature cast iron rainwater hoppers and downpipes.

As described earlier in this report, stylistic approach and appearance is appropriate for the large plots that they will be sited within.



## Appearance and Materials



- 6 - Subservient dormer window set within roof slope
- 7 - Overhanging first floor element with enclosed undercroft at ground floor
- 8 - Dominant gable fronted principal elevation with cat slide roof
- 9 - Panels of contrasting materials with decorative brickwork detailing expressed
- 10 - Subservient roof slopes enclosing ground floor. Bay windows tucked beneath first floor eaves.
- 11 - Strong expression of chimney externally
- 12 - Naturalistic decorative plasterwork to gable

House 3 will be formed in a palette of facing brickwork, timber fascia, red/brown tiles, roughcast render and tile hanging.

Windows and doors will comprise traditional profiles formed in high quality polyester powder coated aluminium.

As previously described, the house references an Arts & Crafts approach, a broad range of examples of which are prevalent throughout Radlett.

Arts & Crafts celebrates the vernacular, honesty to materials & making, and naturalistic influence to detailing and decoration. The design employs a handful of key articulating features and formal elements that contribute to the overall appearance of the house.

- Decorative brickwork detailing as transition between materials and an articulating detail to the chimney
- Exposed brickwork head and archway detailing
- Decorative ornament (such as Acanthus) and horizontal banding to render on principal gable
- Overhanging first floor element with enclosed undercroft beneath



# Appearance and Materials



House Type 1: Front Elevation (Coloured)



House Type 1: Rear Elevation (Coloured)



House Type 2: Front Elevation (Coloured)



House Type 2: Rear Elevation (Coloured)



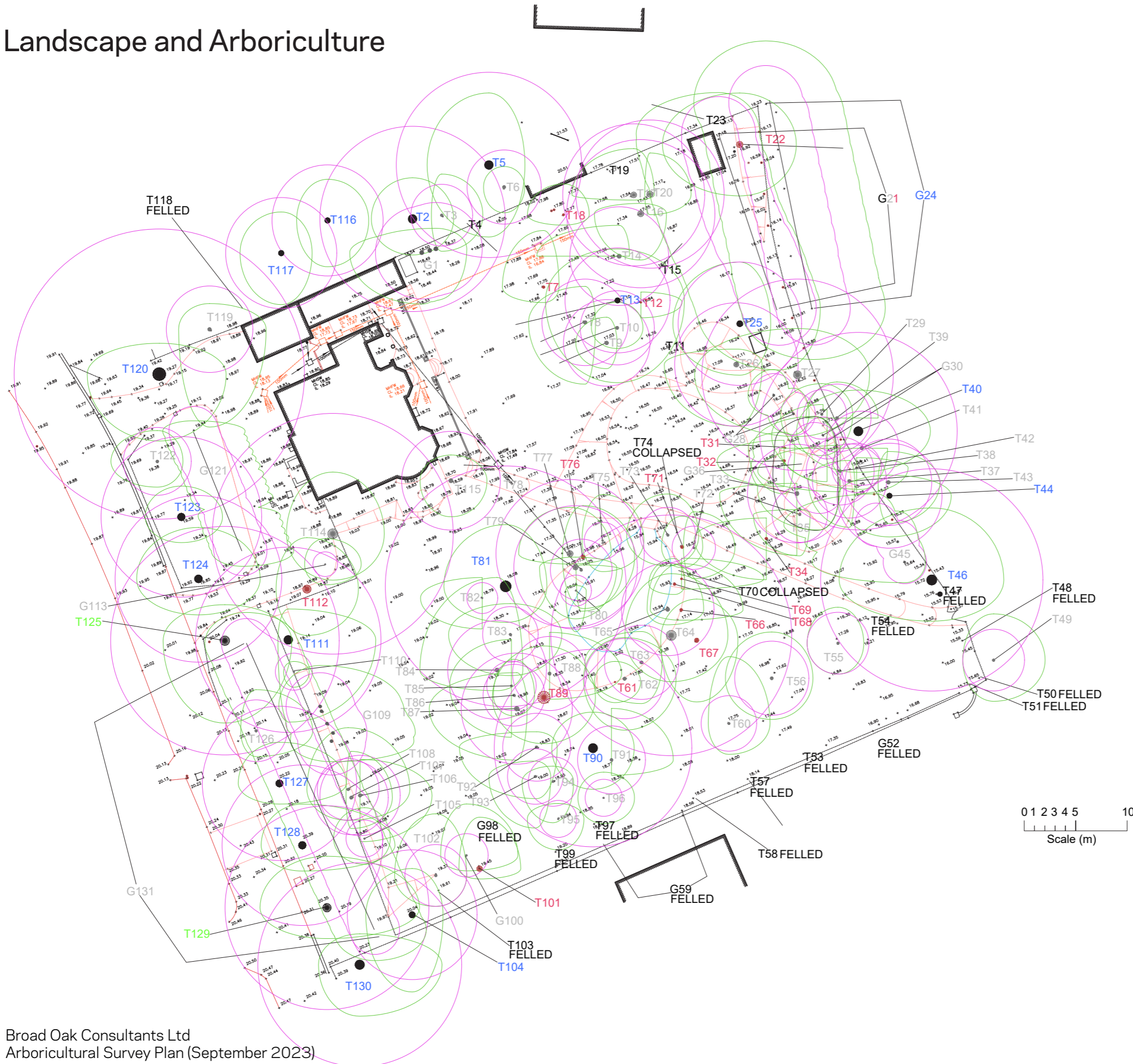
House Type 3: Front Elevation (Coloured)



House Type 3: Rear Elevation (Coloured)



# Landscape and Arboriculture



## Landscape

### Preservation of existing trees

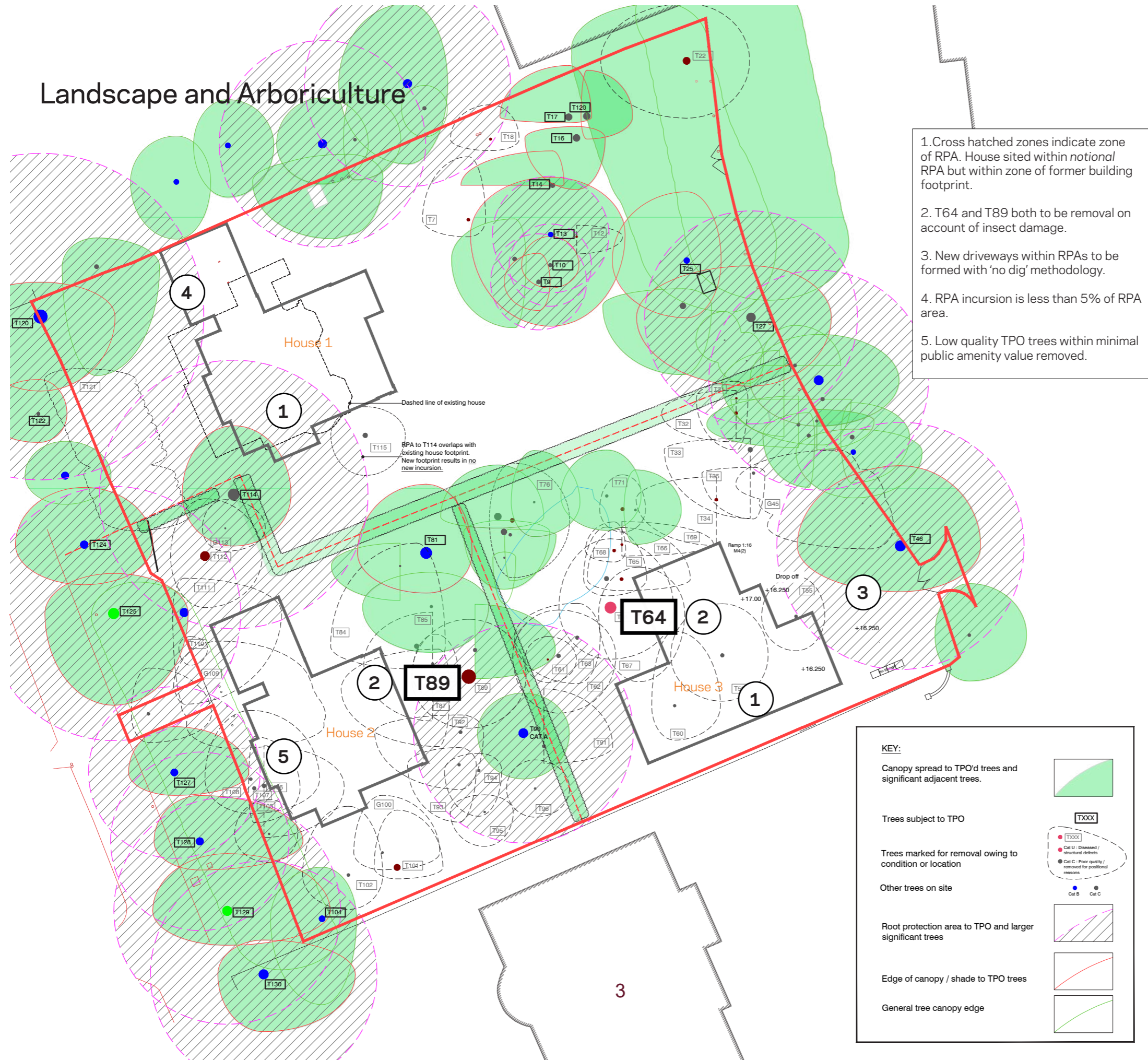
The preservation of the mature landscaping existing on the site at present is one of the primary features of the approach taken with these proposals.

Detailed landscaping proposals for the gardens of each dwelling do not form part of the application (and it is expected that this will be conditioned) but recognition of the arboricultural quality of the site does.

As with the original consented proposal 14/1622/FUL, the siting of each dwelling has been considered so as to avoid the need for the removal of any existing tree or shrub of good quality. More details are provided in the Arboricultural Report.



# Landscape and Arboriculture



1. Cross hatched zones indicate zone of RPA. House sited within *notional* RPA but within zone of former building footprint.
2. T64 and T89 both to be removal on account of insect damage.
3. New driveways within RPAs to be formed with 'no dig' methodology.
4. RPA incursion is less than 5% of RPA area.
5. Low quality TPO trees within minimal public amenity value removed.

## Retained and Removed Trees

The diagram opposite shows the arrangement of retained and removed trees in relation to one another, along with Root Protection Areas (RPA) to TPO and other significant trees.

The evaluation of trees on site has been based on an Arboricultural survey and report by Broad Oak Tree Consultants who originally surveyed the site in 2014 for the original consent, but have updated their findings in September 2023.

Broad Oak have classified all trees in terms of quality & condition ranging from category B, category C and category U. All category U trees are proposed to be removed on account of their structural or diseased condition and on recommendation of the specialist's findings.

Some trees are proposed to be removed where they are both of negligible quality (typically category C or U) and would benefit the proposed development.

TPO no. 1094/2003 applies to a number of trees across the site and category B trees covered by this order are retained as part of the proposals. There are some TPO trees that have been classified as category U or C and are proposed to be removed for the reasons described. T64 and T89 are two examples of this.

In some cases Category C TPO trees are proposed for removal where they deliver minimal public visual amenity value and would provide for a better, more accessible development site were they to be removed.

In summary, the strategy applied with regards to trees on the site is to maintain good quality trees that contribute to public and private amenity value. The proposed changes retains a vast majority of trees on the site along with the site's heavily wooded character.

**KEY:**

- Canopy spread to TPO'd trees and significant adjacent trees.
- Trees subject to TPO
- Trees marked for removal owing to condition or location
- Other trees on site
- Root protection area to TPO and larger significant trees
- Edge of canopy / shade to TPO trees
- General tree canopy edge

**Legend for tree categories:**

- TXXX
- Cat U: Diseased / structural defects
- Cat C: Poor quality / removed for positional reasons
- Cat B
- Cat C



# Landscape and Arboriculture



**1 - Classical style garden with formal arrangement close to the house and naturalistic land leading to wider landscape beyond.**

**2 - Formal garden arrangement with hedgerow as dividing element.**

**3 - Yew hedgerow (Taxus Baccata)**

## Boundary treatments

It is proposed that the new boundary treatments within the development site (between House 1, 2 & 3) are formed using new hedgerows.

The benefits to the use of hedgerow as opposed to masonry walls or fencing include increased biodiversity and acoustic separation.

Hedgerows are also more likely to provide an appropriate foil for classically styled landscaping that would suit the proposed houses. Classical homes are typically complemented by gardens with a blend of naturalistic and formal qualities. It is anticipated that future occupiers are likely to implement such a design. Hedges that deliver sculptural qualities suit this approach and function as a cohesive element between a formal and naturalistic parts of the garden.

Disease has decimated Box (*Buxus Sempervirens*) hedge in the UK in recent years. Yew (*Taxus Baccata*) is presently a more sustainable choice for hedges of this nature.

## Hard Landscaping and Access

In total 2no new access points will be formed as part of the proposals to provide vehicular access to House 2 and 3. Access to House 1 will take the form of a refurbished existing access point.

The access to House 2 and 3 will not necessitate the loss of any trees and will be formed using a 'no-dig' approach to prevent damage to tree roots.

All access and associated driveways will be formed in permeable paving or hard surfacing thus mitigating risk of drainage run-off. These paved areas have also been kept to minimum to minimise the loss of soft landscaped areas across the site and to verges adjacent to the public highway.

## Biodiversity

It is anticipated that confirmation of biodiversity measures to be implemented on site will be secured by condition.

A significant amount of hedging will be planted on site as part of the proposals and this will provide a new kind of habitat for a variety of birds, mammals and insects at ground level and above.

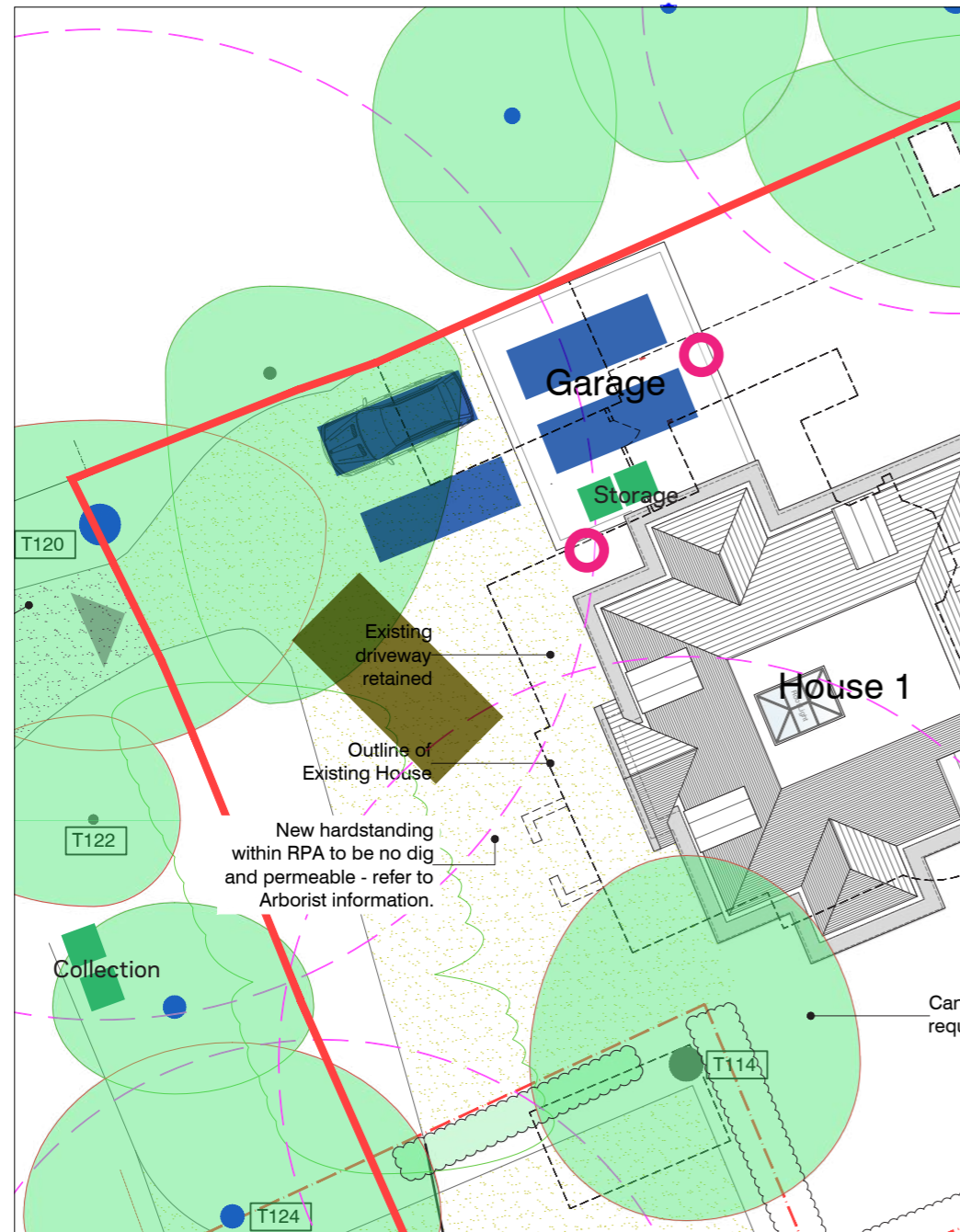
Other biodiversity features which can easily be introduced to site are wood piles which provide shelter for wildlife and provide a habitat for mosses, lichen, fungi and insects.

With the redevelopment of the site new opportunities for a sustainable and resilient planting scheme will emerge. It is anticipated that this too would be secured by condition and would feature a mix of native and drought tolerant perennial plants and shrubs.

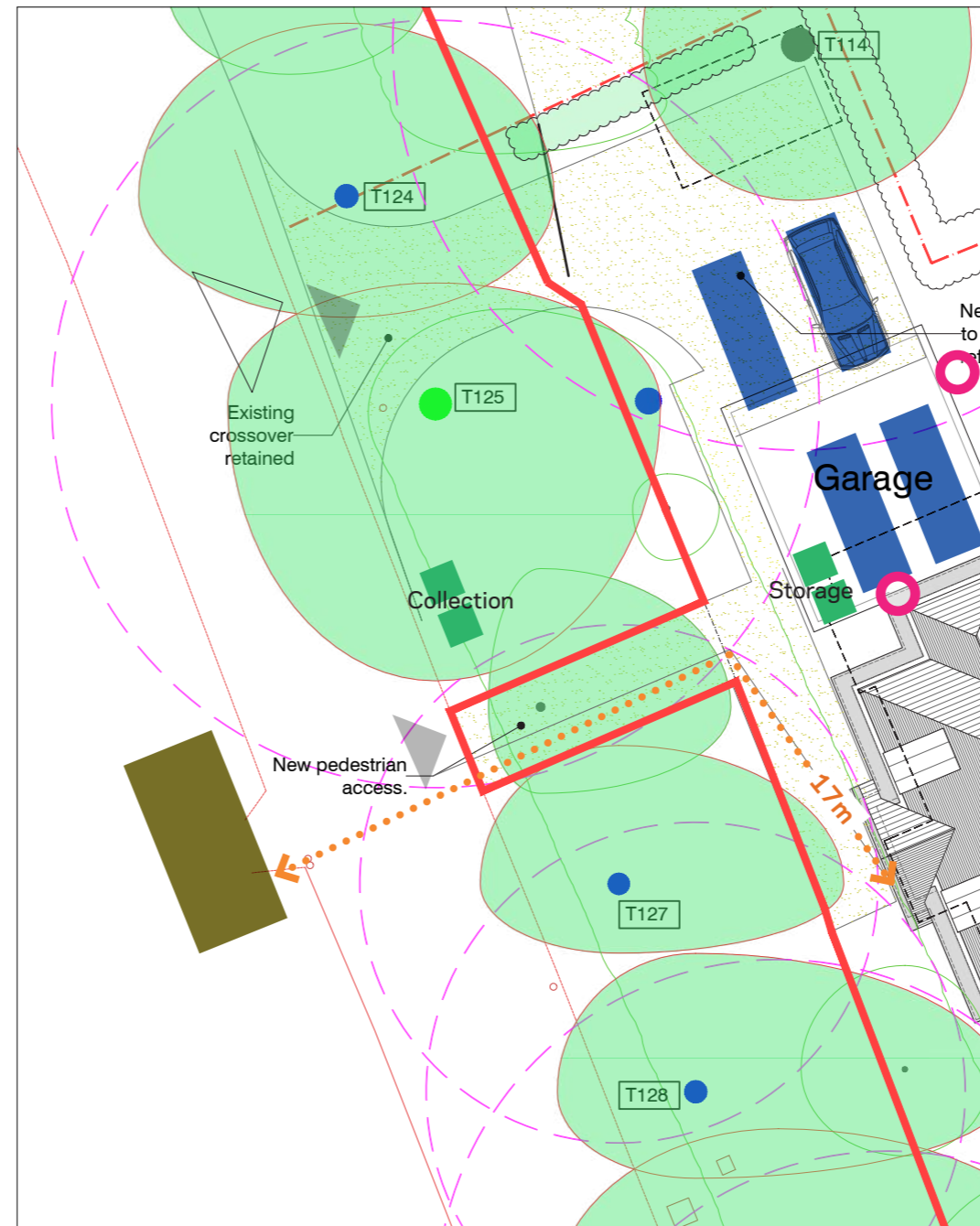
Water features are valuable biodiversity features. The existing pond is already a valuable source of water for wildlife and provides a breeding ground for frogs, toads and other pondlife. It is proposed to be retained as part of the development and protected during works.



# Access



House 1



House 2

- Parking 1 no car
- Fire Tender
- EV charging
- Waste Collection (kerbside)

## Access

2no new highway access points are created by the proposals to serve House 2 and 3 and provide vehicular access to The Avenue and The Warren respectively. The existing highway access will be used for House 1.

In all cases visibility in both directions is good by virtue of the existing arrangement of trees in relation to the road. It is not anticipated that any special arrangements will be necessary to achieve visibility splay and sight lines as recommended by the Manual for Streets.

All vehicular access is a minimum of 3.3m wide with radii either side to allow left or right turn without damage to the adjacent verge.

## Wheelchair Accessibility

The layout of the frontage to all three dwellings is broadly level with the exception of House 3. On this plot, a ramped approach provides level, step free access compliant with Part M cat 2.

Each frontage incorporates opportunities for a wheelchair drop of point providing easy access to the main entrance.

## Fire Access

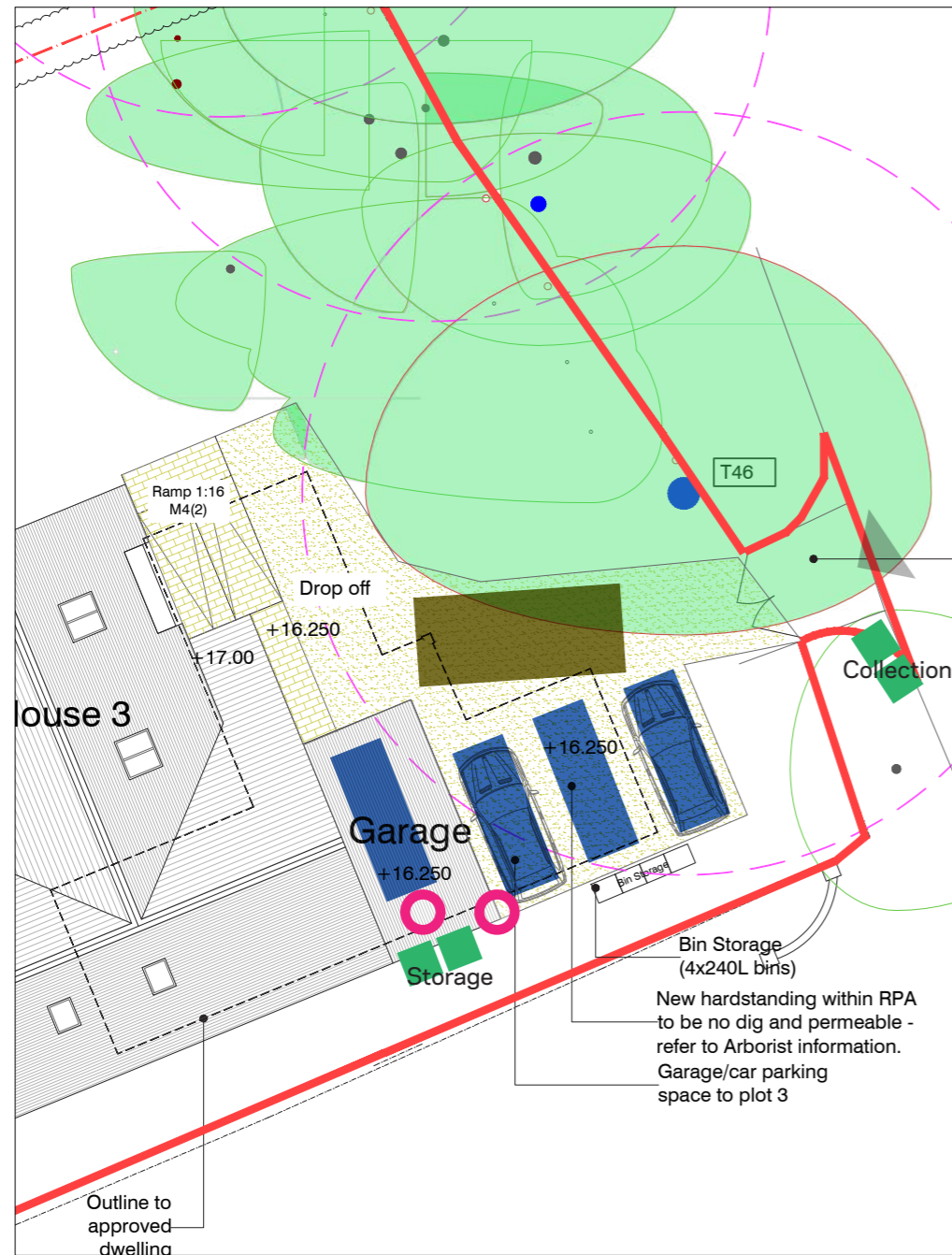
In the event of a fire, the fire brigade tender would be able to pull into the site of House 1 and alongside the building to gain access. The reversing distance would be less than 15m.

The fire tender would be able to get within 17m of the front door of House 2 by means of a position on The Avenue itself.

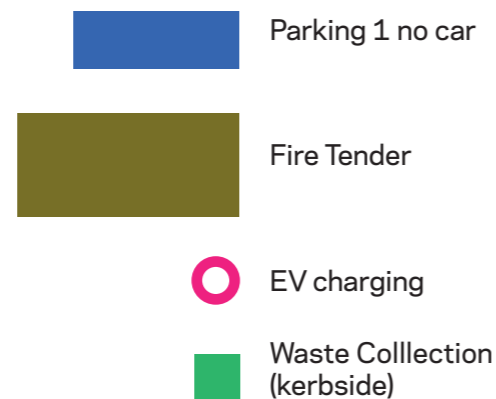
The fire tender would be able to pull into the site of House 3 and gain a similar proximity to the building as with House 1. Again the reversing distance would be minimal.



# Access



House 3



## Waste Storage and Collection

House 1 & 2 benefit from double garages with dedicated space for the storage of recyclable and non recyclable waste in local authority wheelie bins.

A dedicated bin store adjacent to the South boundary would be provided for the storage of waste at House 3.

Waste collection would be via kerbside collection as per other properties adjacent to the development site.

## Parking

Parking provision has been designed so as to meet the requirements of the HBC Parking Standards SPD.

House 1 and 2 both have a double garage for long term parking plus 2 no forecourt spaces for short term parking. An EV charging point will be available within the garage and an additional point will be accessible externally for short term spaces. Cycle storage is provided within the garage.

House 3 has a single garage for long term parking plus forecourt space for a further 3no vehicles with the same arrangement for EV charging and cycle storage as described for House 1 & 2.



## Conclusion



The proposals presented in this application comprise three high quality, detached family homes.

The designs develop a previously approved proposal approved in 2014 and proposes fresh, sustainable house types more attuned to current local demand and expectations of quality.

The buildings are proposed in broadly the same locations on the site and the number of units within the development site remains the same as the approved scheme.

This development will replace a tired older property in a poor state of repair with three sustainable family homes. The proposed dwellings will enhance the street scene, harmonise with prevalent local character, and make good use of a sustainably located and under-developed plot.

On the above basis we seek planning approval of this detailed application from the Local Authority.





#### Report Notes

1. THE BOUNDARIES SHOWN ARE BASED ON INFORMATION BY OTHERS. ALL BOUNDARIES TO BE VERIFIED ON SITE PRIOR TO COMMENCING CONSTRUCTION.
2. TOPOGRAPHICAL LEVELS TO BE CONFIRMED.
3. DESIGN & QUOTED AREAS ARE SUBJECT TO DESIGN DEVELOPMENT & STATUTORY CONSENTS.
4. ALL SURVEY INFORMATION SHOWN IS SUBJECT TO FURTHER SITE INVESTIGATION DURING DEMOLITION.

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