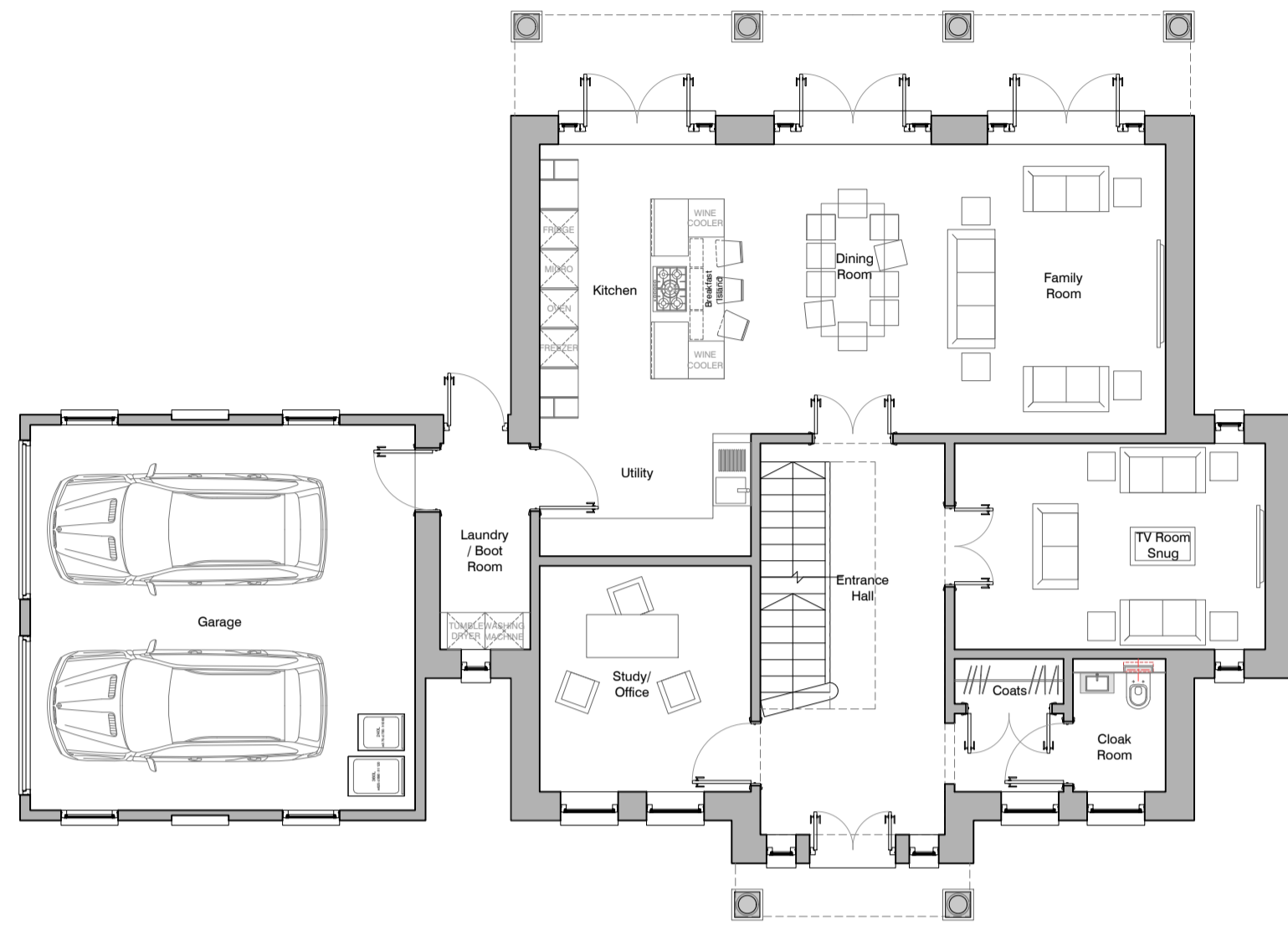
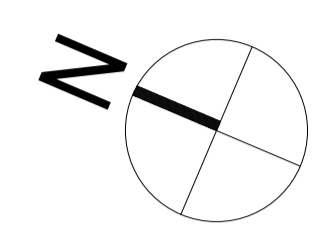
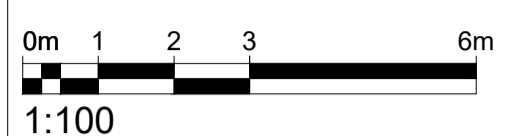
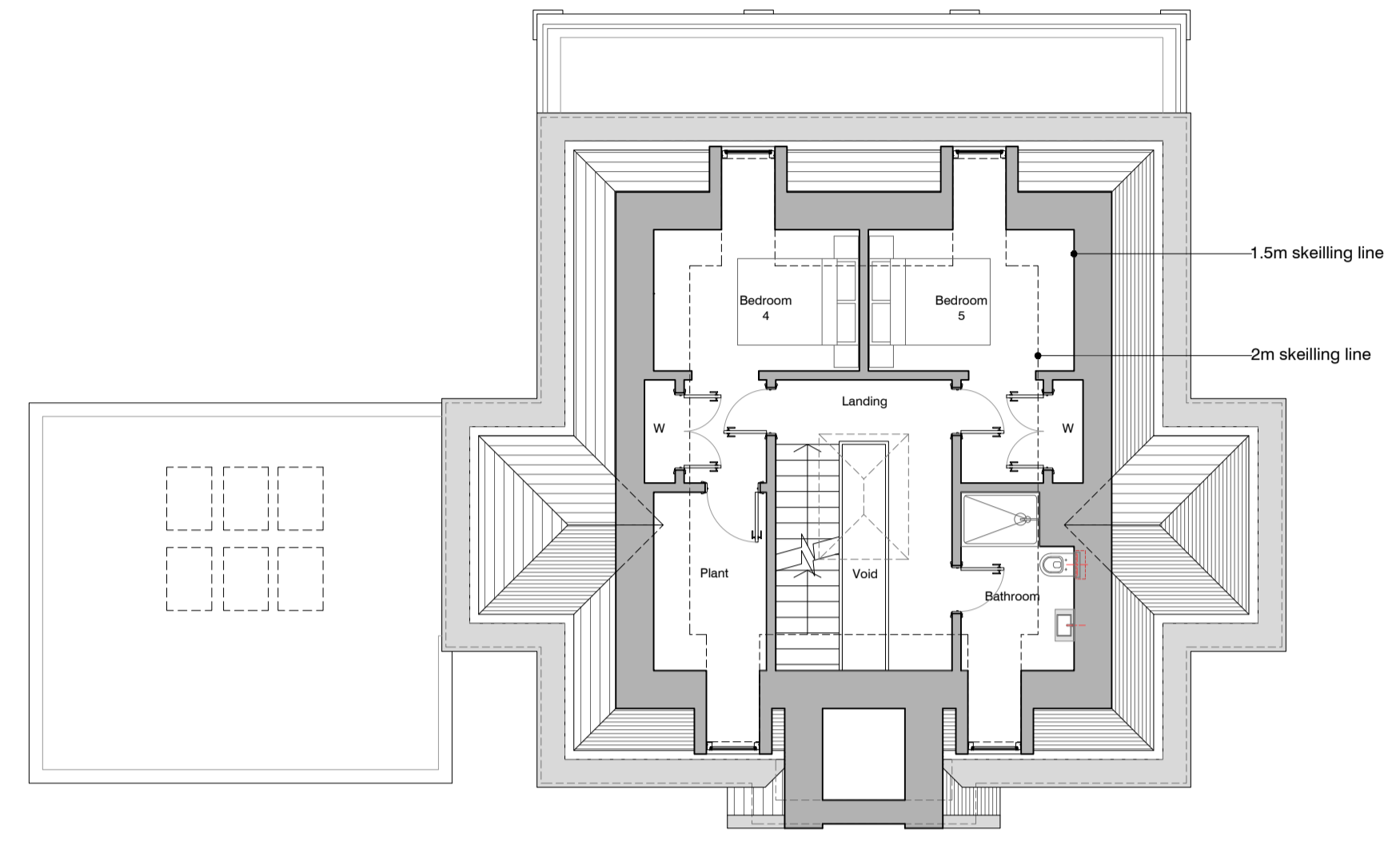


THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE MAKING SHOP DRAWINGS OR COMMENCING WORK OF ANY KIND. NO DIMENSIONS TO BE SCALED FROM THE DRAWING.

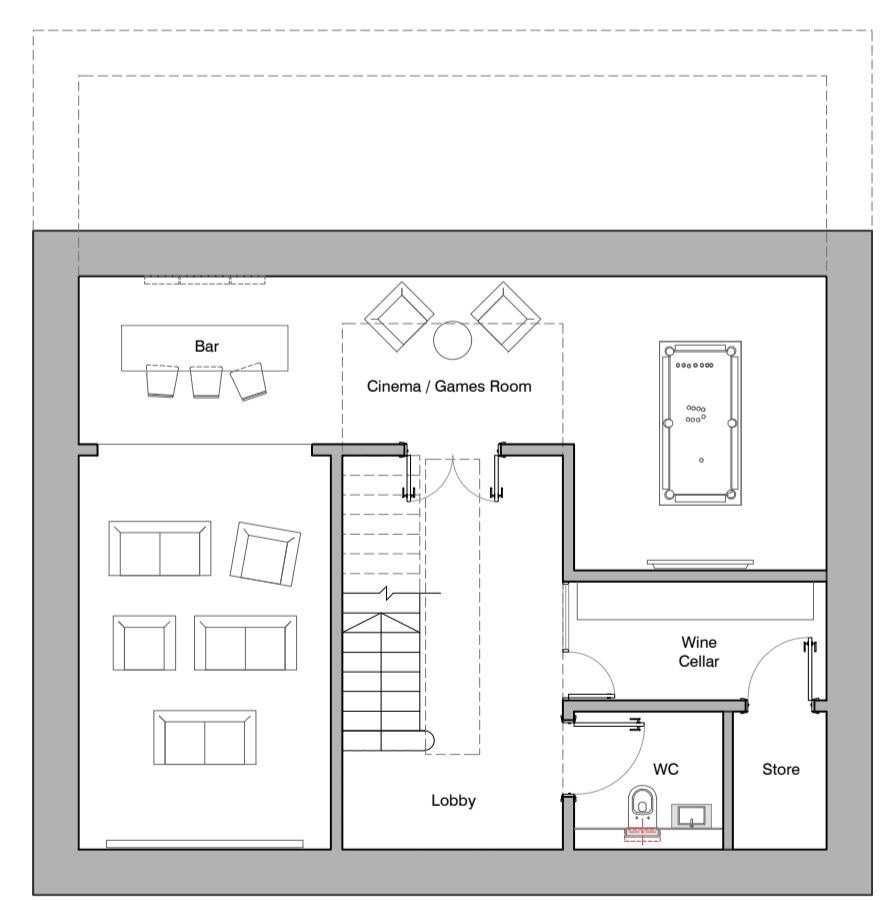
1. THE BOUNDARIES SHOWN ARE BASED ON INFORMATION BY OTHERS. ALL BOUNDARIES TO BE VERIFIED ON SITE PRIOR TO COMMENCING CONSTRUCTION.
2. TOPOGRAPHICAL LEVELS TO BE CONFIRMED.
3. DESIGN & QUOTED AREAS ARE SUBJECT TO DESIGN DEVELOPMENT & STATUTORY CONSENTS.
4. ALL SURVEY INFORMATION SHOWN IS SUBJECT TO FURTHER SITE INVESTIGATION DURING DEMOLITION.



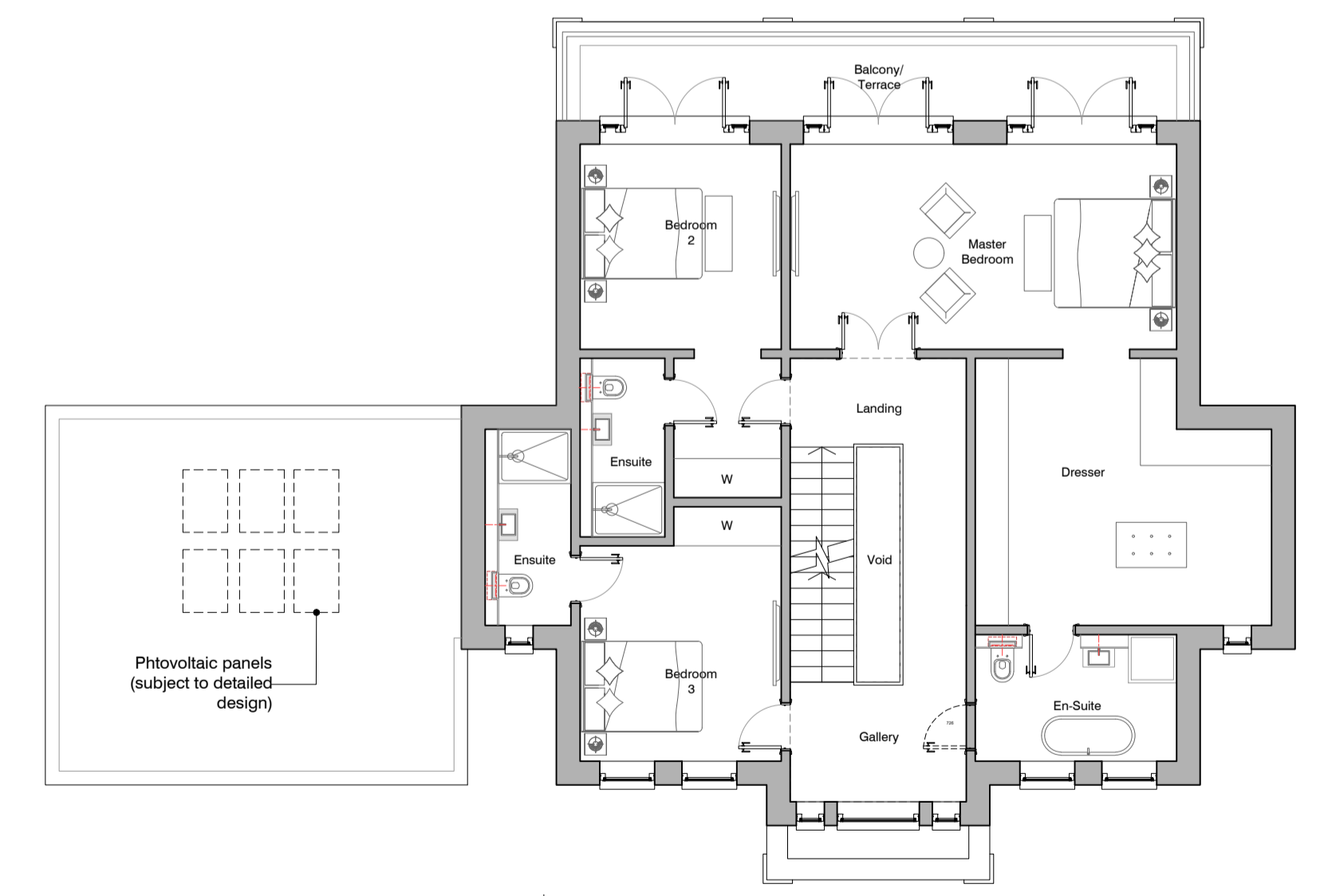
01 Proposed Ground Floor Plan 113 sqm + Garage 37 sqm
Scale 1:100 @ A1



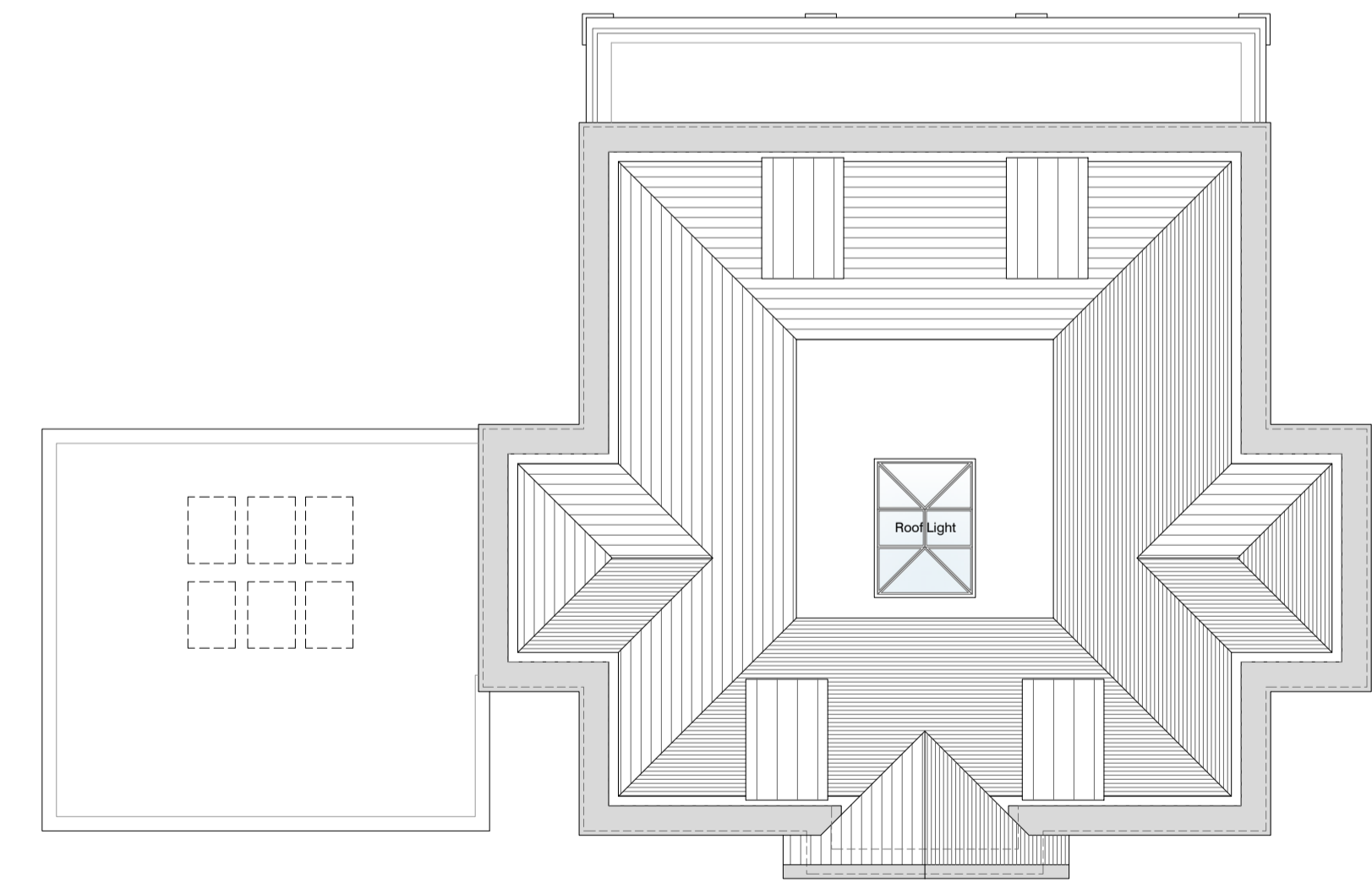
03 Proposed 2nd Floor Plan 56 sqm
Scale 1:100 @ A1



00 Proposed Basement Plan 75 sqm
Scale 1:100 @ A1



02 Proposed 1st Floor Plan 113 sqm
Scale 1:100 @ A1



04 Proposed Roof Plan
Scale 1:100 @ A1

HOUSE TWO - Areas:

BF:	75m ²	(807sq. ft)
GF:	113m ²	(1216sq. ft)
FF:	113m ²	(1216sq. ft)
SF:	55m ²	(592sq. ft)
TOTAL:	356m ²	(3831sq. ft)
Garage:	37m ²	(398 sq. ft)

REV	DATE	REVISIONS	CHK
A	09.11.23	Double doors to Bedroom 2	MC

mohsin cooper
ARCHITECTS
MOHSIN COOPER LIMITED, 7 HIVE MANOR PARADE,
HIVE STREET, HIVE, EAST SUSSEX, BN9 2DF
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PROJECT:
Proposed Dwellinghouses at 4, The Avenue, Radlett

CLIENT:
Mr Michael Mitzman

DRAWING TITLE:
Proposed House Type 2 Plans

SCALE:	DRAWN:	MC	DATE:	OCT 2023
1:100@A1	CHECKED:	MC	DATE:	OCT 2023

NUMBER:	REVISION:
0520-PL-202	A

STATUS:
S2

PLANNING APPLICATION