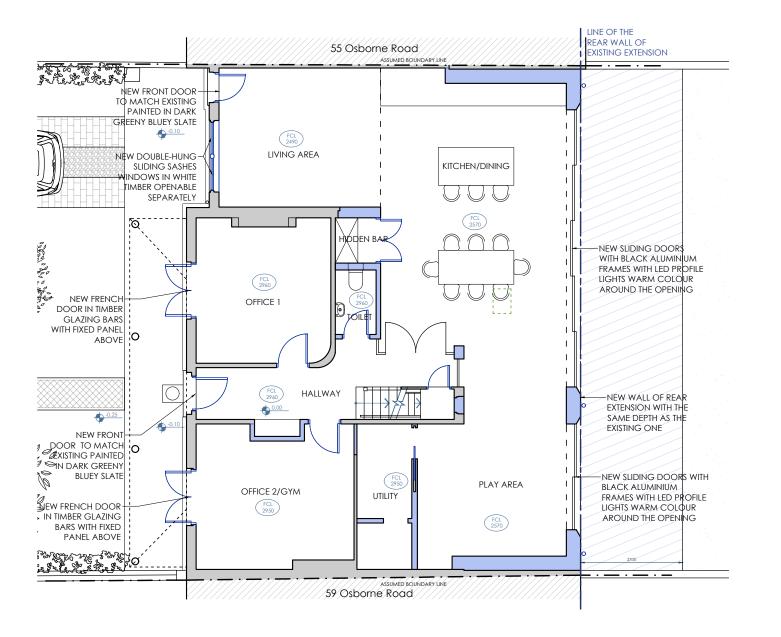
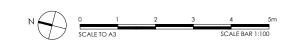
## PROPOSED GROUND FLOOR PLAN SCALE 1:100@A3





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## GENERAL LEGEND:

EXTENT OF DEMOLITION - SECTION EXTENT OF DEMOLITION - ON PLAN

EXTENT OF CONSTRUCTION - SECTION

EXTENT OF CONSTRUCTION - ON PLAN

REV DESCRIPTION DRAWN DATE

AMENDMENTS

PLANNING APPLICATION





Phoebe Greig & Misa Ogura

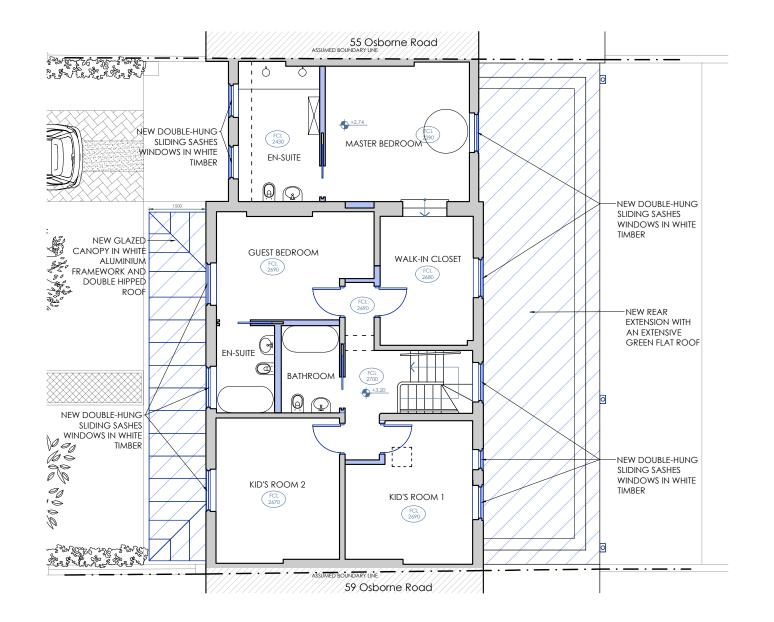
57 Osborne road, London E7 0PJ

Rear Extension, internal and external Refurbishment

AS PROPOSED GF PLAN

SCALE AT A3:	DRAWN:	CHECKED:
1:100	GM	EB
	-	
DATE:	DRAWING NO:	REVISION:
02/11/2023	09	A

## PROPOSED FIRST FLOOR PLAN SCALE 1:100@A3



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REV DESCRIPTION DRAWN DATE AMENDMENTS

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PLANNING APPLICATION



Phoebe Greig & Misa Ogura

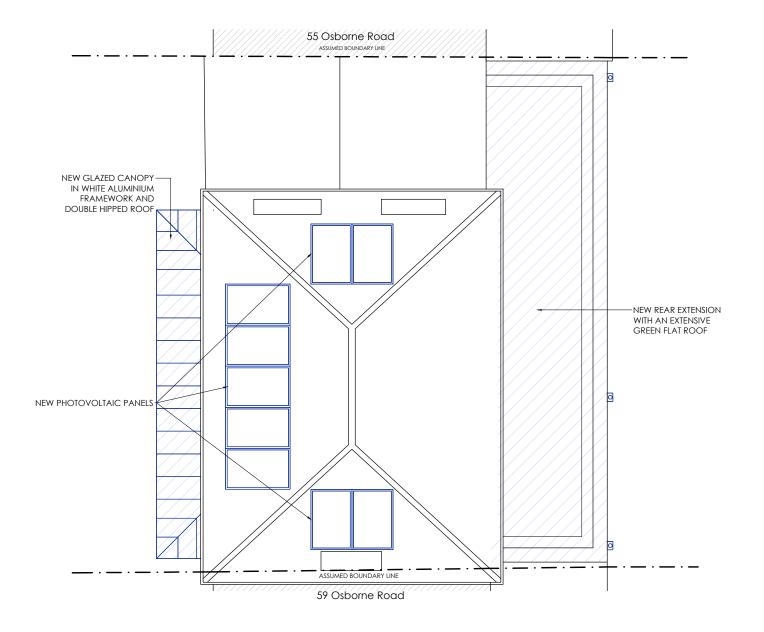
57 Osborne road, London E7 OPJ

Rear Extension, internal and external Refurbishment

AS PROPOSED FF PLAN

DRAWN:	CHECKED:
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DRAWING NO:	REVISION:
10	A
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## PROPOSED ROOF PLAN OPTION 1 SCALE 1:100@A3



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REV DESCRIPTION DRAWN DATE

**AMENDMENTS** 

PLANNING APPLICATION





Phoebe Greig & Misa Ogura

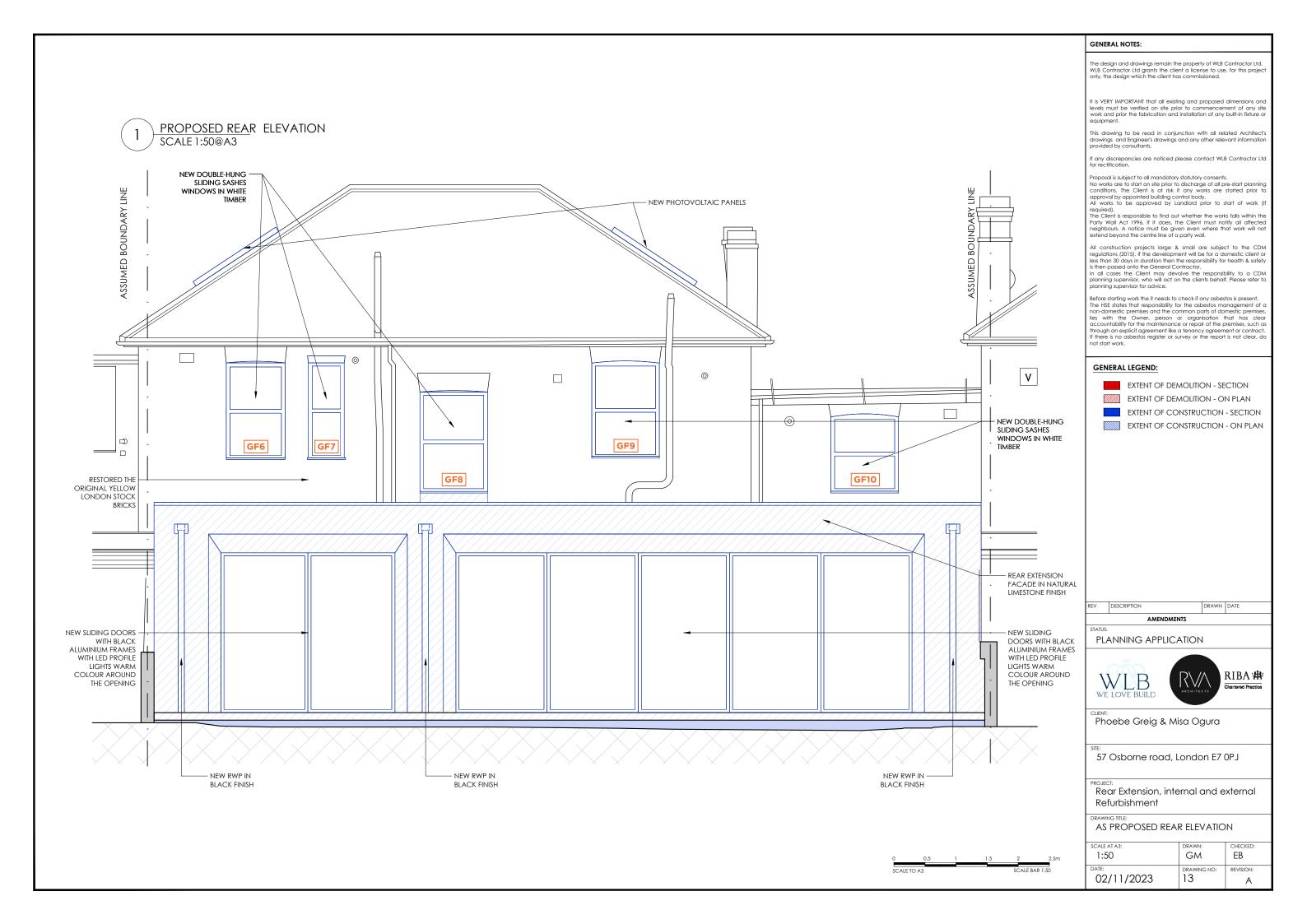
57 Osborne road, London E7 OPJ

Rear Extension, internal and external Refurbishment

AS PROPOSED ROOF PLAN

SCALE AT A3:	DRAWN:	CHECKED:
1:100	GM	EB
DATE: 02/11/2023	DRAWING NO:	revision:

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# PROPOSED REAR ELEVATION WITH MATERIAL SCALE 1:50@A3 BOUNDARY ASSUMED BOUNDARY ASSUMED ٧

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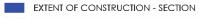
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## GENERAL LEGEND:

EXTENT OF DEMOLITION - SECTION EXTENT OF DEMOLITION - ON PLAN



EXTENT OF CONSTRUCTION - ON PLAN

REV DESCRIPTION DRAWN DATE

AMENDMENTS

PLANNING APPLICATION





Phoebe Greig & Misa Ogura

57 Osborne road, London E7 OPJ

Rear Extension, internal and external Refurbishment

AS PROPOSED REAR ELEVATION

scale at a3:	DRAWN:	CHECKED:
1:50	GM	EB
27/10/2023	DRAWING NO:	REVISION:

## PROPOSED FRONT ELEVATION - ADJOINING PROPERTIES SCALE 1:100@A3



## PROPOSED REAR ELEVATION - ADJOINING PROPERTIES SCALE 1:100@A3



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REV DESCRIPTION DRAWN DATE

AMENDMENTS

PLANNING APPLICATION





Phoebe Greig & Misa Ogura

57 Osborne road, London E7 OPJ

Rear Extension, internal and external Refurbishment

AS PROPOSED ELEVATIONS-LANDSCAPE

SCALE AT A3:	DRAWN:	CHECKED:
1:100	GM	EB
02/11/2023	DRAWING NO:	REVISION:

## PROPOSED SECTION AA SCALE 1:50@A3 NEW PHOTOVOLTAIC PANELS -NEW DOUBLE-HUNG -SLIDING SASHES WINDOWS IN WHITE TIMBER NEW GLAZED CANOPY NEW DOUBLE-HUNG SLIDING SASHES IN WHITE ALUMINIUM FRAMEWORK AND DOUBLE HIPPED ROOF WINDOWS IN WHITE TIMBER REAR EXTENSION FACADE IN NATURAL NEW SLIDING DOORS WITH BLACK ALUMINIUM FRAMES WITH LED PROFILE LIGHTS WARM COLOUR AROUND WHITE FLUTED THE OPENING COLUMNS

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REV DESCRIPTION DRAWN DATE

AMENDMENTS

PLANNING APPLICATION





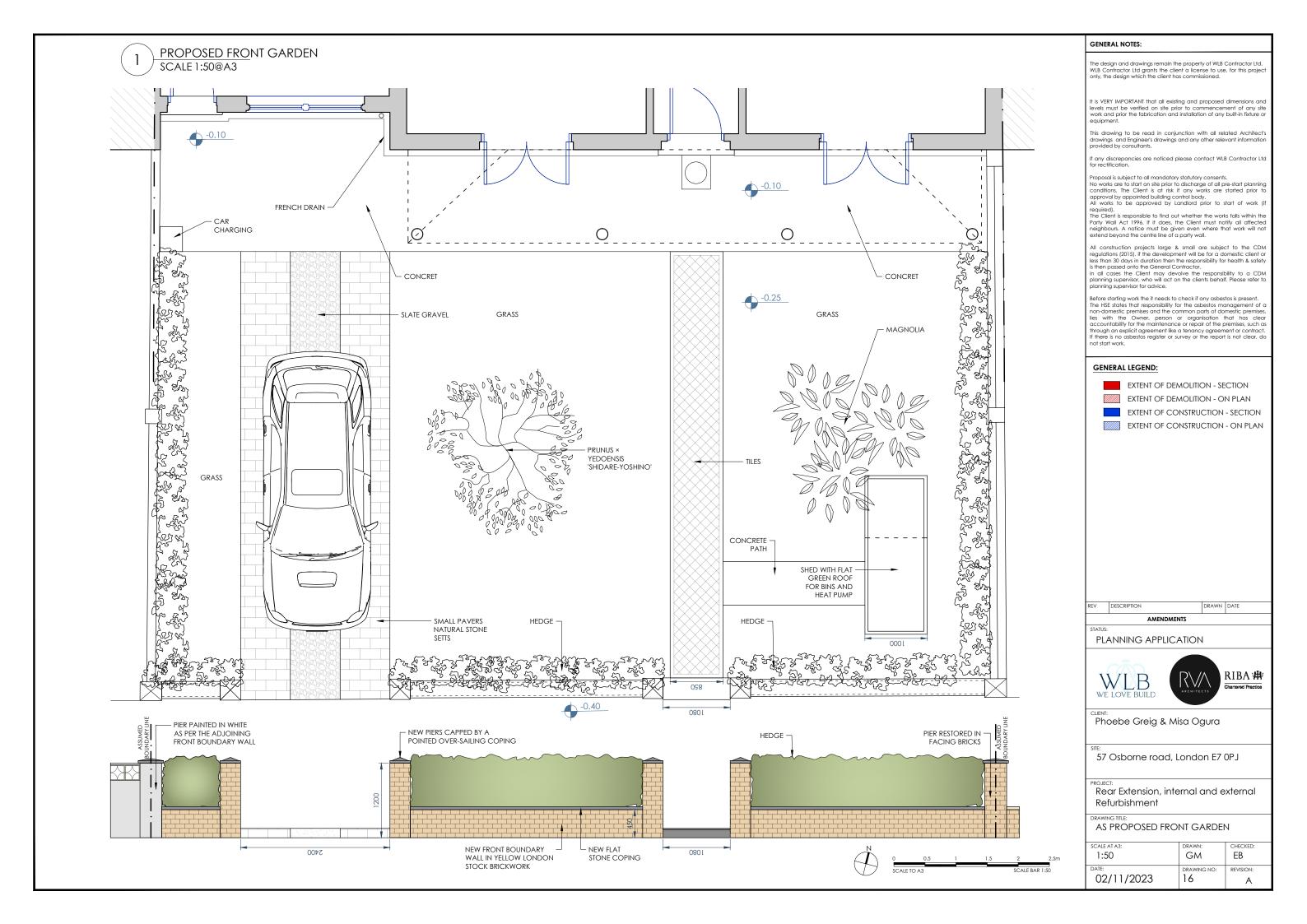
Phoebe Greig & Misa Ogura

57 Osborne road, London E7 OPJ

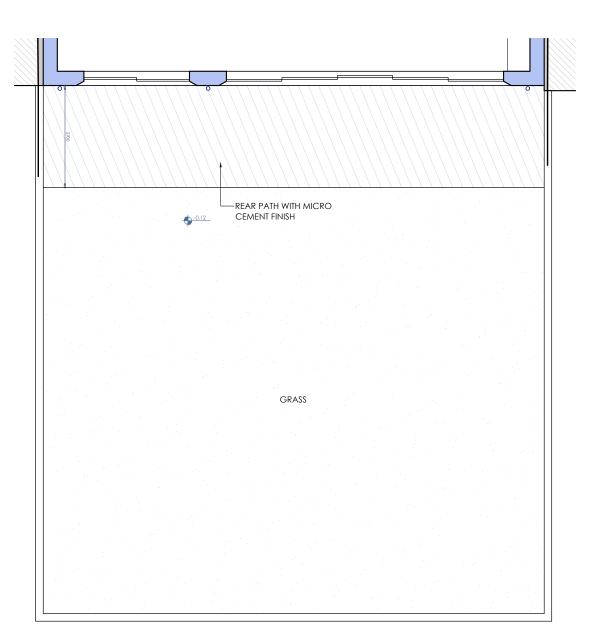
Rear Extension, internal and external Refurbishment

AS PROPOSED SECTION

SCALE AT A3:	DRAWN:	CHECKED:
1:50	GM	EB
02/11/2023	DRAWING NO:	REVISION:



## PROPOSE REAR GARDEN SCALE 1:100@A3





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AMENDMENTS

PLANNING APPLICATION





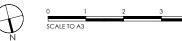
Phoebe Greig & Misa Ogura

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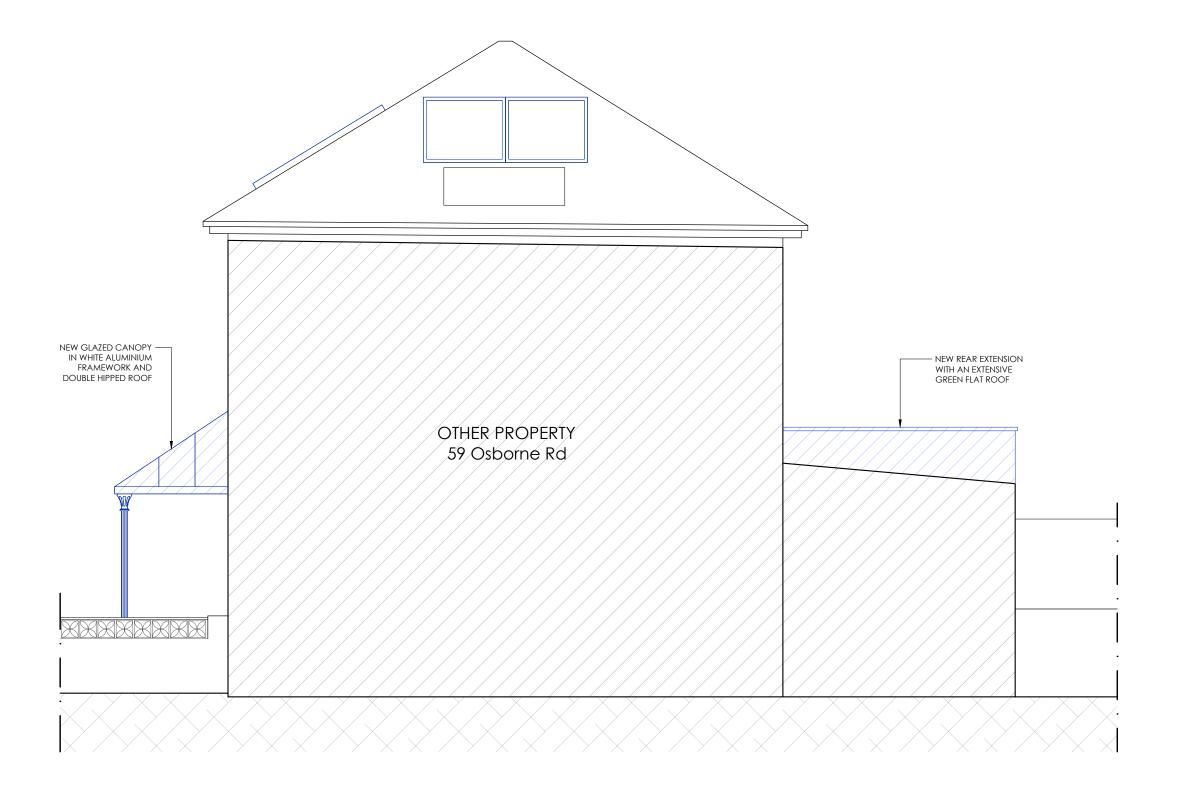
Rear Extension, internal and external Refurbishment

AS PROPOSED REAR GARDEN

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## PROPOSED SIDE ELEVATION N.59 SCALE 1:50@A3



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EXTENT OF CONSTRUCTION - SECTION

EXTENT OF CONSTRUCTION - ON PLAN

REV DESCRIPTION DRAWN DATE **AMENDMENTS** 

PLANNING APPLICATION





Phoebe Greig & Misa Ogura

57 Osborne road, London E7 OPJ

Rear Extension, internal and external Refurbishment

AS PROPOSED SIDE ELEVEVATION

SCALE AT A3:	DRAWN:	CHECKED:
1:50	GM	EB
DATE:	DRAWING NO:	REVISION:
02/11/2023	18	Α

## PROPOSED SIDE ELEVATION N.55 SCALE 1:50@A3 - COACH HOUSE NEW REAR EXTENSION WITH AN EXTENSIVE - NEW GLAZED CANOPY **GREEN FLAT ROOF** IN WHITE ALUMINIUM FRAMEWORK AND DOUBLE HIPPED ROOF OTHER PROPERTY 55 Osbørne Rd KKKKKKKKK

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**AMENDMENTS** 

PLANNING APPLICATION





Phoebe Greig & Misa Ogura

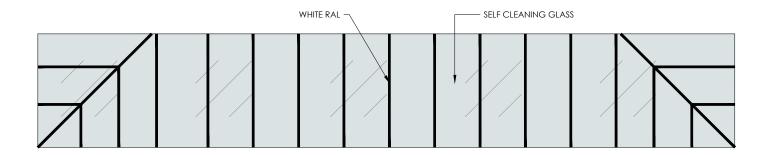
57 Osborne road, London E7 OPJ

Rear Extension, internal and external Refurbishment

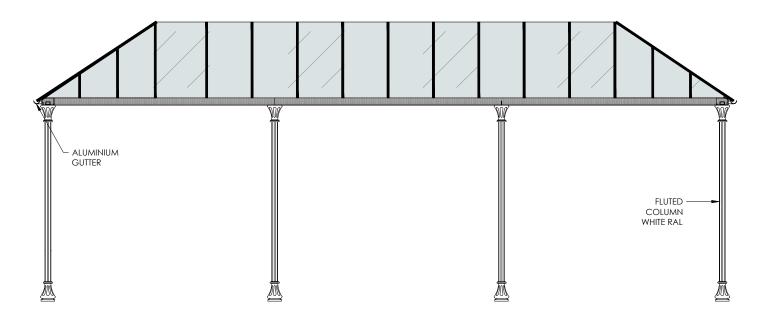
AS PROPOSED SIDE ELEVEVATION

SCALE AT A3:	DRAWN:	CHECKED:
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DATE:	DRAWING NO:	REVISION:
02/11/2023	19	Δ
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## PROPOSED CANOPY PLAN SCALE 1:50@A3



## PROPOSED CANOPY ELEVATION SCALE 1:50@A3



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All works to be approved by Landlord prior to start of work (if

The Client is responsible to find out whether the works falls within the Party Wall Act 1996. If it does, the Client must notify all affected neighbours. A notice must be given even where that work will not extend beyond the centre line of a party wall.

All construction projects large & small are subject to the CDM regulations (2015), if the development will be for a domestic client or less than 30 days in duration then the responsibility for health & safety is then passed onto the General Contractor.

in all cases the Client may devolve the responsibility to a CDM planning supervisor, who will act on the clients behalf. Please refer to planning supervisor for advice.

Before starting work the it needs to check if any asbestos is present. The HSE states that responsibility for the asbestos management of a non-domestic premises and the common parts of domestic premises, lies with the Owner, person or organisation that has clear accountability for the maintenance or repair of the premises, such as through an explicit agreement like a tenancy agreement or contract. If there is no asbestos register or survey or the report is not clear, do not start work. not start work.

## GENERAL LEGEND:

EXTENT OF DEMOLITION - SECTION EXTENT OF DEMOLITION - ON PLAN

EXTENT OF CONSTRUCTION - SECTION

EXTENT OF CONSTRUCTION - ON PLAN

REV DESCRIPTION DRAWN DATE

**AMENDMENTS** 

PLANNING APPLICATION



Phoebe Greig & Misa Ogura

57 Osborne road, London E7 OPJ

Rear Extension, internal and external Refurbishment

AS PROPOSED CANOPY

DRAWN:	CHECKED:
GM	EB
DRAWING NO:	REVISION:
100	A
	GM