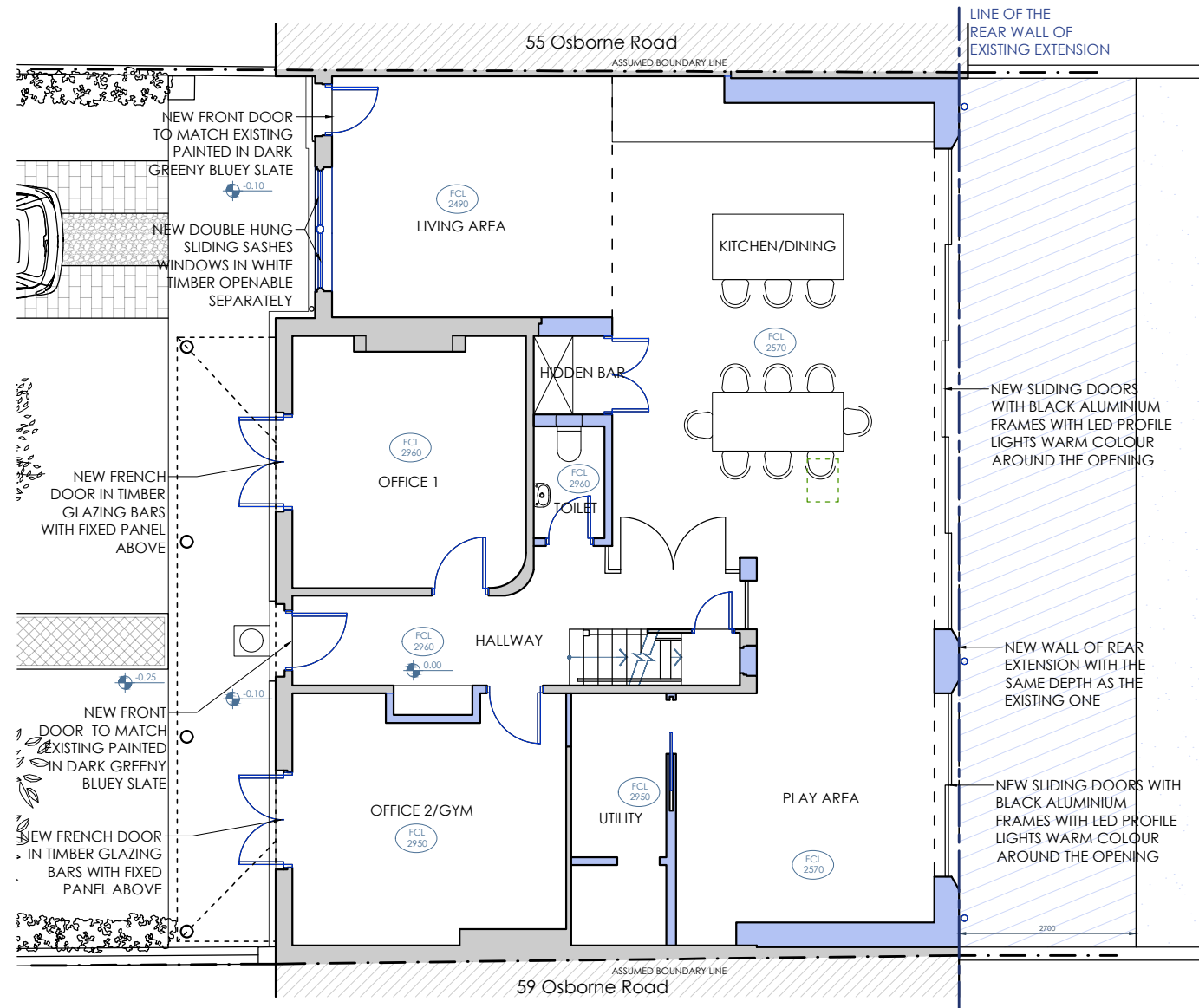


1 PROPOSED GROUND FLOOR PLAN
SCALE 1:100@A3



GENERAL NOTES:

The design and drawings remain the property of WLB Contractor Ltd. WLB Contractor Ltd grants the client a license to use, for this project only, the design which the client has commissioned.

It is VERY IMPORTANT that all existing and proposed dimensions and levels must be verified on site prior to commencement of any site work and prior the fabrication and installation of any built-in fixture or equipment.

This drawing to be read in conjunction with all related Architect's drawings and Engineer's drawings and any other relevant information provided by consultants.

If any discrepancies are noticed please contact WLB Contractor Ltd for rectification.

Proposal is subject to all mandatory statutory consents. No works are to start on site prior to discharge of all pre-start planning conditions. The Client is at risk if any works are started prior to approval by appointed building control body. All works to be approved by Landlord prior to start of work (if required).

The Client is responsible to find out whether the works falls within the Party Wall Act 1996. If it does, the Client must notify all affected neighbours. A notice must be given even where that work will not extend beyond the centre line of a party wall.

All construction projects large & small are subject to the CDM regulations (2015). If the development will be for a domestic client or less than 30 days in duration then the responsibility for health & safety is then passed onto the General Contractor. In all cases the Client may devolve the responsibility to a CDM planning supervisor, who will act on the clients behalf. Please refer to planning supervisor for advice.

Before starting work the it needs to check if any asbestos is present. The HSE states that responsibility for the asbestos management of a non-domestic premises and the common parts of domestic premises, lies with the Owner, person or organisation that has clear accountability for the maintenance or repair of the premises, such as through an explicit agreement like a tenancy agreement or contract. If there is no asbestos register or survey or the report is not clear, do not start work.

GENERAL LEGEND:

- EXTENT OF DEMOLITION - SECTION
- EXTENT OF DEMOLITION - ON PLAN
- EXTENT OF CONSTRUCTION - SECTION
- EXTENT OF CONSTRUCTION - ON PLAN

REV	DESCRIPTION	DRAWN	DATE
-----	-------------	-------	------

AMENDMENTS

STATUS:
PLANNING APPLICATION



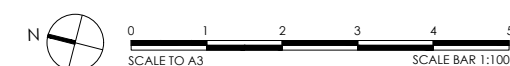
CLIENT:
Phoebe Greig & Misa Ogura

SITE:
57 Osborne road, London E7 0PJ

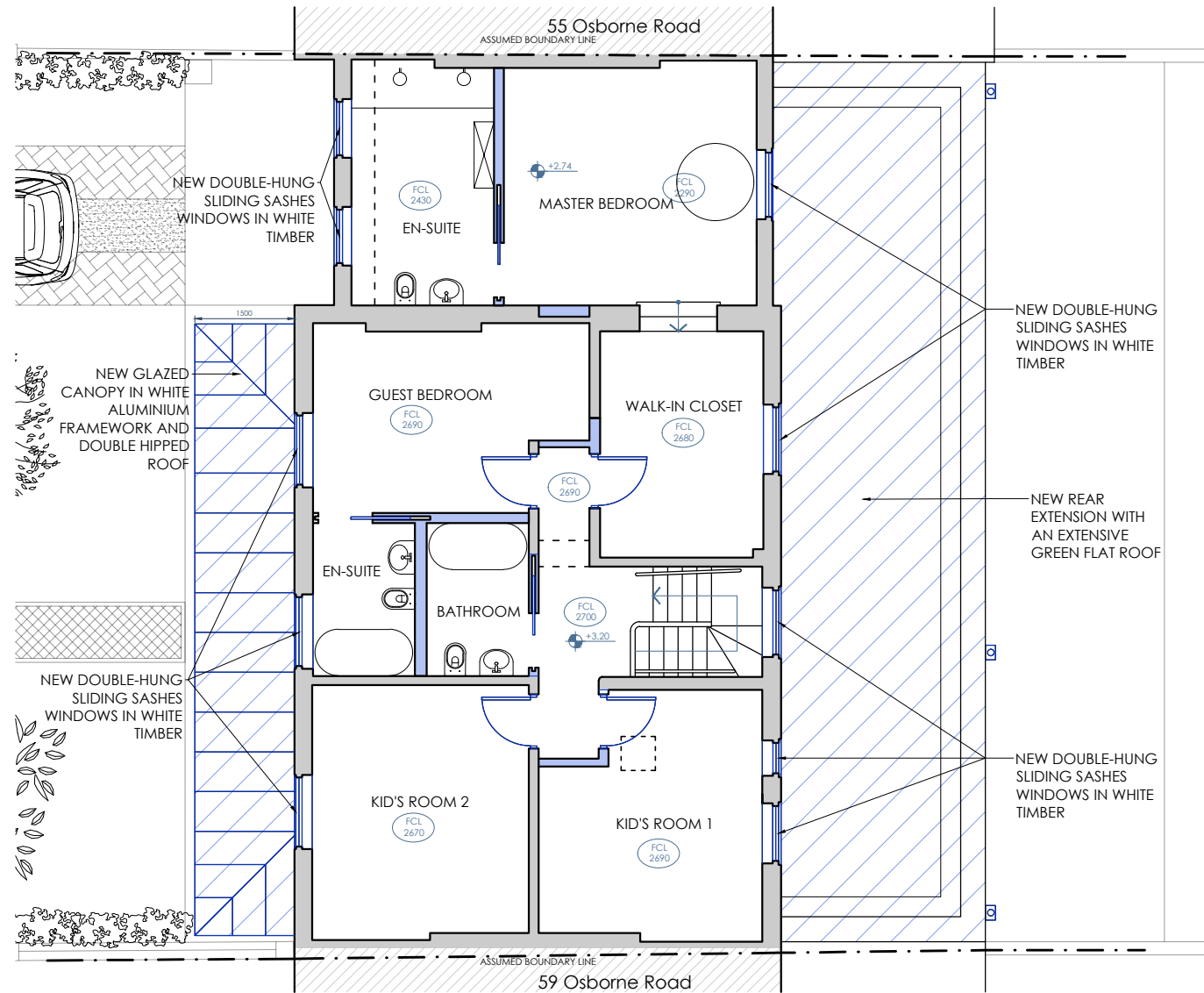
PROJECT:
Rear Extension, internal and external Refurbishment

DRAWING TITLE:
AS PROPOSED GF PLAN

SCALE AT A3: 1:100	DRAWN: GM	CHECKED: EB
DATE: 02/11/2023	DRAWING NO: 09	REVISION: A



1 PROPOSED FIRST FLOOR PLAN
SCALE 1:100@A3



GENERAL NOTES:

The design and drawings remain the property of WLB Contractor Ltd. WLB Contractor Ltd grants the client a license to use, for this project only, the design which the client has commissioned.

It is VERY IMPORTANT that all existing and proposed dimensions and levels must be verified on site prior to commencement of any site work and prior the fabrication and installation of any built-in fixture or equipment.

This drawing to be read in conjunction with all related Architect's drawings and Engineer's drawings and any other relevant information provided by consultants.

If any discrepancies are noticed please contact WLB Contractor Ltd for rectification.

Proposal is subject to all mandatory statutory consents. No works are to start on site prior to discharge of all pre-start planning conditions. The Client is at risk if any works are started prior to approval by appointed building control body. All works to be approved by Landlord prior to start of work (if required).

The Client is responsible to find out whether the works falls within the Party Wall Act 1996. If it does, the Client must notify all affected neighbours. A notice must be given even where that work will not extend beyond the centre line of a party wall.

All construction projects large & small are subject to the CDM regulations (2015). If the development will be for a domestic client or less than 30 days in duration then the responsibility for health & safety is then passed onto the General Contractor.

In all cases the Client may devolve the responsibility to a CDM planning supervisor, who will act on the clients behalf. Please refer to planning supervisor for advice.

Before starting work the it needs to check if any asbestos is present. The HSE states that responsibility for the asbestos management of a non-domestic premises and the common parts of domestic premises, lies with the Owner, person or organisation that has clear accountability for the maintenance or repair of the premises, such as through an explicit agreement like a tenancy agreement or contract. If there is no asbestos register or survey or the report is not clear, do not start work.

GENERAL LEGEND:

- EXTENT OF DEMOLITION - SECTION
- EXTENT OF DEMOLITION - ON PLAN
- EXTENT OF CONSTRUCTION - SECTION
- EXTENT OF CONSTRUCTION - ON PLAN

REV	DESCRIPTION	DRAWN	DATE
-----	-------------	-------	------

AMENDMENTS

STATUS:
PLANNING APPLICATION



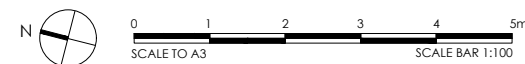
CLIENT:
Phoebe Greig & Misa Ogura

SITE:
57 Osborne road, London E7 0PJ

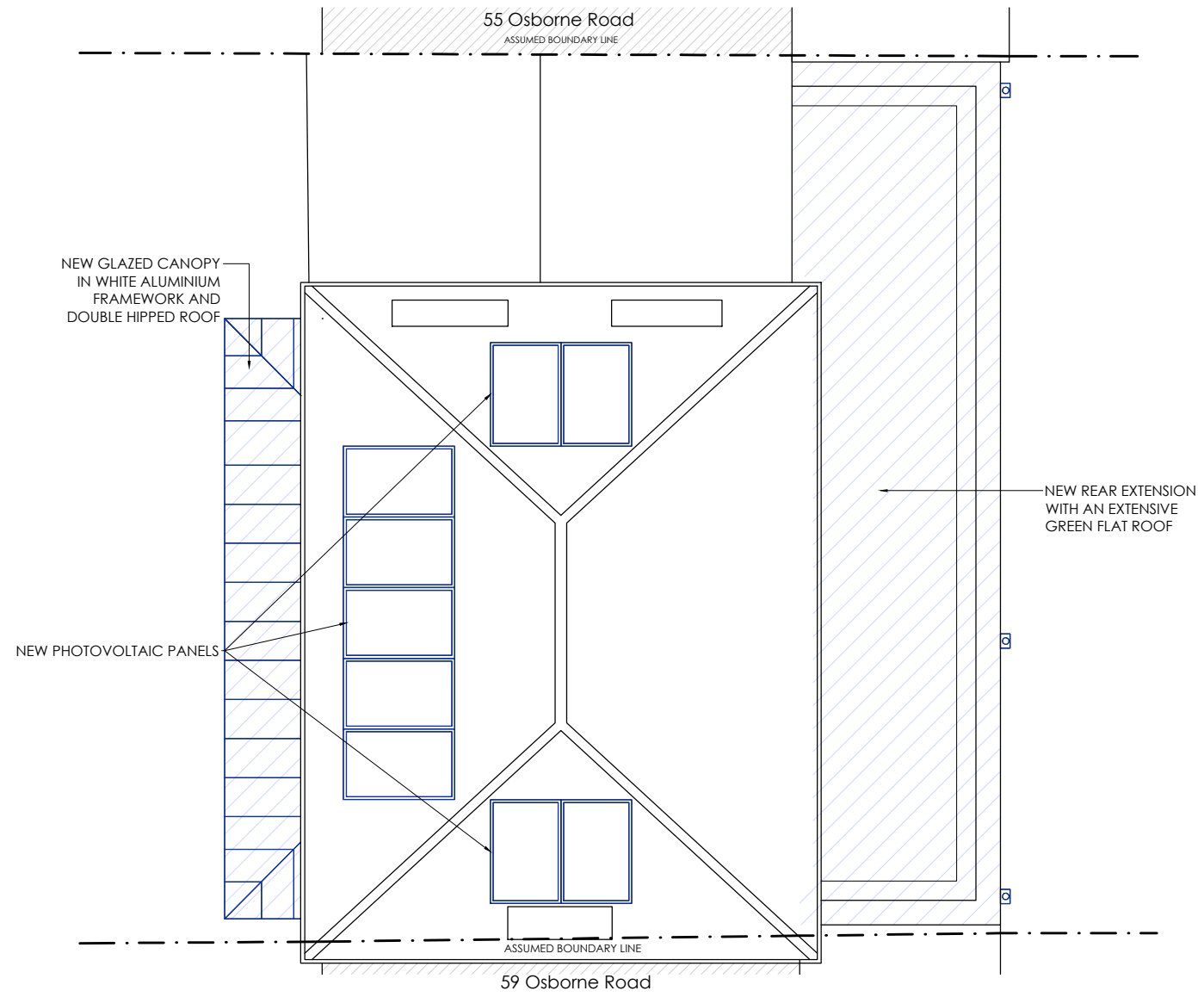
PROJECT:
Rear Extension, internal and external Refurbishment

DRAWING TITLE:
AS PROPOSED FF PLAN

SCALE AT A3: 1:100	DRAWN: GM	CHECKED: EB
DATE: 02/11/2023	DRAWING NO: 10	REVISION: A



1 PROPOSED ROOF PLAN OPTION 1
SCALE 1:100@A3



GENERAL NOTES:

The design and drawings remain the property of WLB Contractor Ltd. WLB Contractor Ltd grants the client a license to use, for this project only, the design which the client has commissioned.

It is VERY IMPORTANT that all existing and proposed dimensions and levels must be verified on site prior to commencement of any site work and prior the fabrication and installation of any built-in fixture or equipment.

This drawing to be read in conjunction with all related Architect's drawings and Engineer's drawings and any other relevant information provided by consultants.

If any discrepancies are noticed please contact WLB Contractor Ltd for rectification.

Proposal is subject to all mandatory statutory consents.

No works are to start on site prior to discharge of all pre-start planning conditions. The Client is at risk if any works are started prior to approval by appointed building control body.

All works to be approved by Landlord prior to start of work (if required).

The Client is responsible to find out whether the works falls within the Party Wall Act 1996. If it does, the Client must notify all affected neighbours. A notice must be given even where that work will not extend beyond the centre line of a party wall.

All construction projects large & small are subject to the CDM regulations (2015). If the development will be for a domestic client or less than 30 days in duration then the responsibility for health & safety is then passed onto the General Contractor.

In all cases the Client may devolve the responsibility to a CDM planning supervisor, who will act on the clients behalf. Please refer to planning supervisor for advice.

Before starting work the it needs to check if any asbestos is present. The HSE states that responsibility for the asbestos management of a non-domestic premises and the common parts of domestic premises, lies with the Owner, person or organisation that has clear accountability for the maintenance or repair of the premises, such as through an explicit agreement like a tenancy agreement or contract. If there is no asbestos register or survey or the report is not clear, do not start work.

GENERAL LEGEND:

- EXTENT OF DEMOLITION - SECTION
- EXTENT OF DEMOLITION - ON PLAN
- EXTENT OF CONSTRUCTION - SECTION
- EXTENT OF CONSTRUCTION - ON PLAN

REV	DESCRIPTION	DRAWN	DATE
AMENDMENTS			

STATUS:
PLANNING APPLICATION



CLIENT:
Phoebe Greig & Misa Ogura

SITE:
57 Osborne road, London E7 0PJ

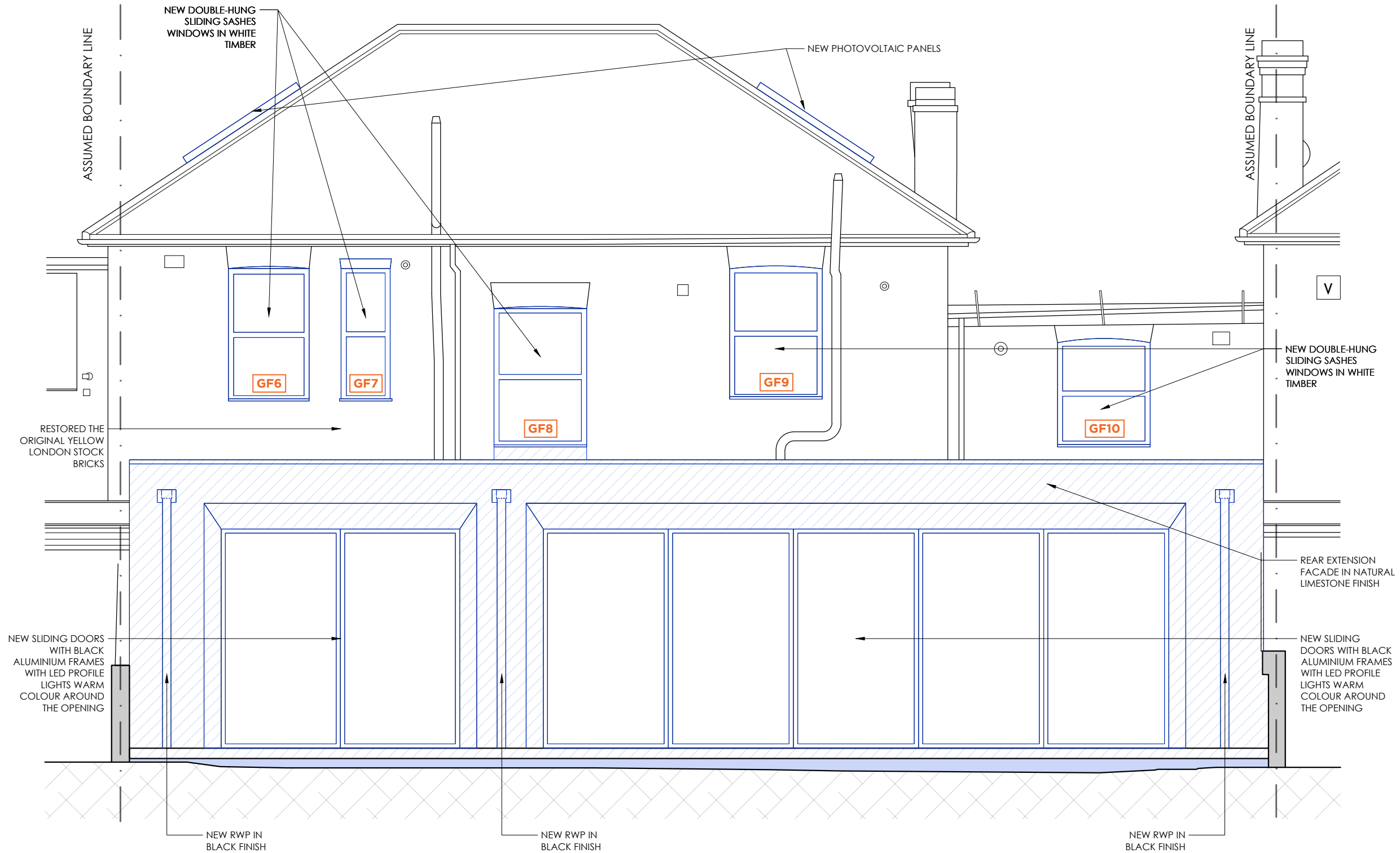
PROJECT:
Rear Extension, internal and external Refurbishment

DRAWING TITLE:
AS PROPOSED ROOF PLAN

SCALE AT A3: 1:100	DRAWN: GM	CHECKED: EB
DATE: 02/11/2023	DRAWING NO: 11	REVISION: A



1 PROPOSED REAR ELEVATION
SCALE 1:50@A3



GENERAL NOTES:

The design and drawings remain the property of WLB Contractor Ltd. WLB Contractor Ltd grants the client a license to use, for this project only, the design which the client has commissioned.

It is VERY IMPORTANT that all existing and proposed dimensions and levels must be verified on site prior to commencement of any site work and prior the fabrication and installation of any built-in fixture or equipment.

This drawing to be read in conjunction with all related Architect's drawings and Engineer's drawings and any other relevant information provided by consultants.

If any discrepancies are noticed please contact WLB Contractor Ltd for rectification.

Proposal is subject to all mandatory statutory consents. No works are to start on site prior to discharge of all pre-start planning conditions. The Client is at risk if any works are started prior to approval by appointed building control body. All works to be approved by Landlord prior to start of work (if required).

The Client is responsible to find out whether the works falls within the Party Wall Act 1996. If it does, the Client must notify all affected neighbours. A notice must be given even where that work will not extend beyond the centre line of a party wall.

All construction projects large & small are subject to the CDM regulations (2015). If the development will be for a domestic client or less than 30 days in duration then the responsibility for health & safety is then passed onto the General Contractor. In all cases the Client may devolve the responsibility to a CDM planning supervisor, who will act on the clients behalf. Please refer to planning supervisor for advice.

Before starting work the it needs to check if any asbestos is present. The HSE states that responsibility for the asbestos management of a non-domestic premises and the common parts of domestic premises, lies with the Owner, person or organisation that has clear accountability for the maintenance or repair of the premises, such as through an explicit agreement like a tenancy agreement or contract. If there is no asbestos register or survey or the report is not clear, do not start work.

GENERAL LEGEND:

- EXTENT OF DEMOLITION - SECTION
- EXTENT OF DEMOLITION - ON PLAN
- EXTENT OF CONSTRUCTION - SECTION
- EXTENT OF CONSTRUCTION - ON PLAN

REV	DESCRIPTION	DRAWN	DATE
-----	-------------	-------	------

AMENDMENTS

STATUS:
PLANNING APPLICATION



CLIENT:
Phoebe Greig & Misa Ogura

SITE:
57 Osborne road, London E7 0PJ

PROJECT:
Rear Extension, internal and external Refurbishment

DRAWING TITLE:
AS PROPOSED REAR ELEVATION

SCALE AT A3: 1:50	DRAWN: GM	CHECKED: EB
DATE: 02/11/2023	DRAWING NO: 13	REVISION: A



1 PROPOSED REAR ELEVATION WITH MATERIAL
SCALE 1:50@A3



GENERAL NOTES:

The design and drawings remain the property of WLB Contractor Ltd. WLB Contractor Ltd grants the client a license to use, for this project only, the design which the client has commissioned.

It is VERY IMPORTANT that all existing and proposed dimensions and levels must be verified on site prior to commencement of any site work and prior to the fabrication and installation of any built-in fixture or equipment.

This drawing to be read in conjunction with all related Architect's drawings and Engineer's drawings and any other relevant information provided by consultants.

If any discrepancies are noticed please contact WLB Contractor Ltd for rectification.

Proposal is subject to all mandatory statutory consents.

No works are to start on site prior to discharge of all pre-start planning conditions. The Client is at risk if any works are started prior to approval by appropriate building control body.

All works to be approved by landlord prior to start of work (if required).

The Client is responsible to find out whether the works falls within the Party Wall Act 1994. If it does, the Client must notify all affected neighbours. A notice must be given even where the work will not extend beyond the centre line of a party wall.

All construction projects large & small are subject to the CDM regulations (2015). If the development will be for a domestic client or less than 30 days in duration then the responsibility for health & safety is then passed onto the General Contractor. In all cases the Client may devolve the responsibility to a CDM planning supervisor, who will act on the clients behalf. Please refer to planning supervisor for advice.

Before starting work the it needs to check if any asbestos is present. The HSE states that responsibility for the asbestos management of non-domestic premises and the common parts of domestic premises, lies with the Owner, person or organisation that has clear accountability for the maintenance or repair of the premises, such as through an explicit agreement like a tenancy agreement or contract. If there is no asbestos register or survey or the report is not clear, do not start work.

GENERAL LEGEND:

- EXTENT OF DEMOLITION - SECTION
- EXTENT OF DEMOLITION - ON PLAN
- EXTENT OF CONSTRUCTION - SECTION
- EXTENT OF CONSTRUCTION - ON PLAN

REV	DESCRIPTION	DRAWN	DATE
-----	-------------	-------	------

AMENDMENTS

STATUS:
PLANNING APPLICATION



CLIENT:
Phoebe Greig & Misa Ogura

SITE:
57 Osborne road, London E7 0PJ

PROJECT:
Rear Extension, internal and external Refurbishment

DRAWING TITLE:
AS PROPOSED REAR ELEVATION

SCALE AT A3: 1:50	DRAWN: GM	CHECKED: EB
DATE: 27/10/2023	DRAWING NO: 14	REVISION: A

1 PROPOSED FRONT ELEVATION - ADJOINING PROPERTIES
SCALE 1:100@A3



2 PROPOSED REAR ELEVATION - ADJOINING PROPERTIES
SCALE 1:100@A3



GENERAL NOTES:

The design and drawings remain the property of WLB Contractor Ltd. WLB Contractor Ltd grants the client a license to use, for this project only, the design which the client has commissioned.

It is VERY IMPORTANT that all existing and proposed dimensions and levels must be verified on site prior to commencement of any site work and prior the fabrication and installation of any built-in fixture or equipment.

This drawing to be read in conjunction with all related Architect's drawings and Engineer's drawings and any other relevant information provided by consultants.

If any discrepancies are noticed please contact WLB Contractor Ltd for rectification.

Proposal is subject to all mandatory statutory consents.

No works are to start on site prior to discharge of all pre-start planning conditions. The Client is at risk if any works are started prior to approval by appointed building control body.

All works to be approved by Landlord prior to start of work (if required).

The Client is responsible to find out whether the works falls within the Party Wall Act 1996. If it does, the Client must notify all affected neighbours. A notice must be given even where that work will not extend beyond the centre line of a party wall.

All construction projects large & small are subject to the CDM regulations (2015). If the development will be for a domestic client or less than 30 days in duration then the responsibility for health & safety is then passed onto the General Contractor.

In all cases the Client may devolve the responsibility to a CDM planning supervisor, who will act on the clients behalf. Please refer to planning supervisor for advice.

Before starting work the it needs to check if any asbestos is present. The HSE states that responsibility for the asbestos management of a non-domestic premises and the common parts of domestic premises, lies with the Owner, person or organisation that has clear accountability for the maintenance or repair of the premises, such as through an explicit agreement like a tenancy agreement or contract. If there is no asbestos register or survey or the report is not clear, do not start work.

GENERAL LEGEND:

- EXTENT OF DEMOLITION - SECTION
- EXTENT OF DEMOLITION - ON PLAN
- EXTENT OF CONSTRUCTION - SECTION
- EXTENT OF CONSTRUCTION - ON PLAN

REV	DESCRIPTION	DRAWN	DATE
-----	-------------	-------	------

AMENDMENTS

STATUS:
PLANNING APPLICATION



CLIENT:
Phoebe Greig & Misa Ogura

SITE:
57 Osborne road, London E7 0PJ

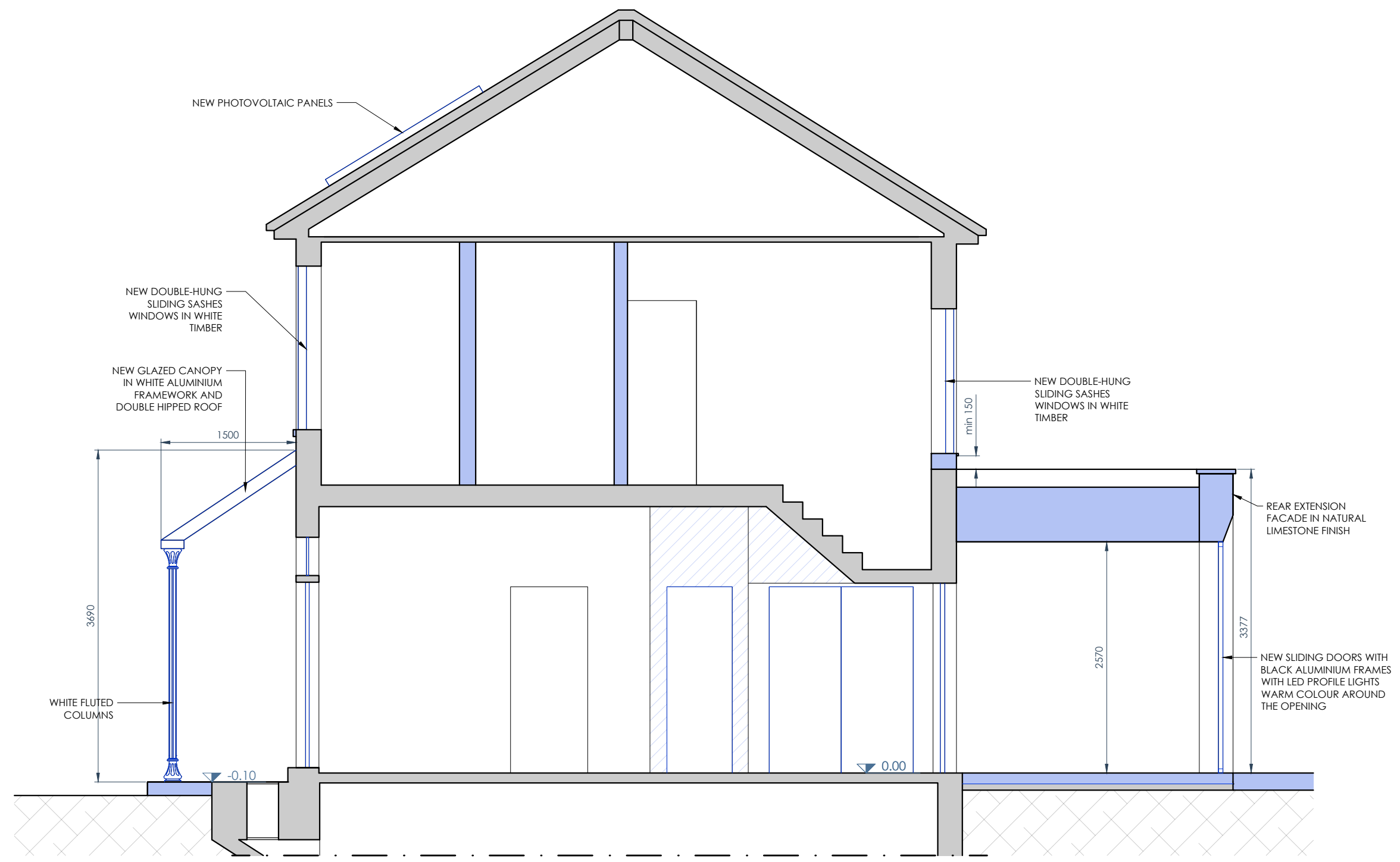
PROJECT:
Rear Extension, internal and external Refurbishment

DRAWING TITLE:
AS PROPOSED ELEVATIONS-LANDSCAPE

SCALE AT A3: 1:100	DRAWN: GM	CHECKED: EB
DATE: 02/11/2023	DRAWING NO: 14(A)	REVISION: A



1 PROPOSED SECTION AA
SCALE 1:50@A3



GENERAL NOTES:

The design and drawings remain the property of WLB Contractor Ltd. WLB Contractor Ltd grants the client a license to use, for this project only, the design which the client has commissioned.

It is VERY IMPORTANT that all existing and proposed dimensions and levels must be verified on site prior to commencement of any site work and prior the fabrication and installation of any built-in fixture or equipment.

This drawing to be read in conjunction with all related Architect's drawings and Engineer's drawings and any other relevant information provided by consultants.

If any discrepancies are noticed please contact WLB Contractor Ltd for rectification.

Proposal is subject to all mandatory statutory consents.

No works are to start on site prior to discharge of all pre-start planning conditions. The Client is at risk if any works are started prior to approval by appointed building control body.

All works to be approved by Landlord prior to start of work (if required).

The Client is responsible to find out whether the works falls within the Party Wall Act 1996. If it does, the Client must notify all affected neighbours. A notice must be given even where that work will not extend beyond the centre line of a party wall.

All construction projects large & small are subject to the CDM regulations (2015). If the development will be for a domestic client or less than 30 days in duration then the responsibility for health & safety is then passed onto the General Contractor.

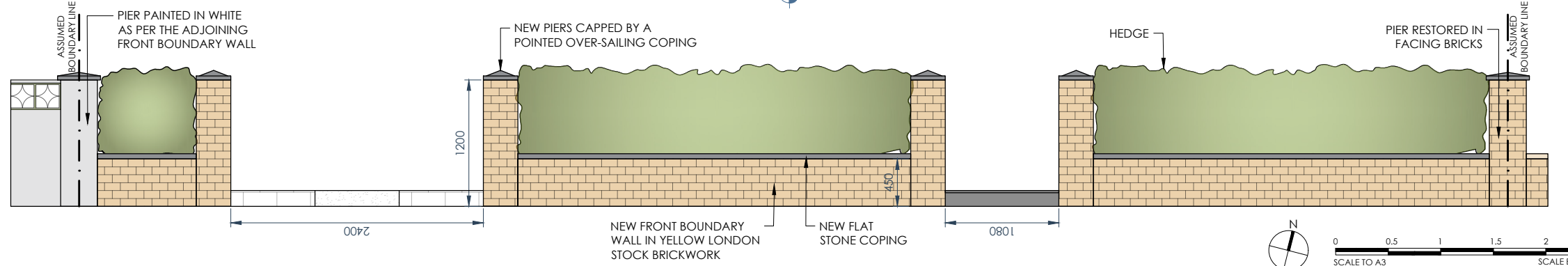
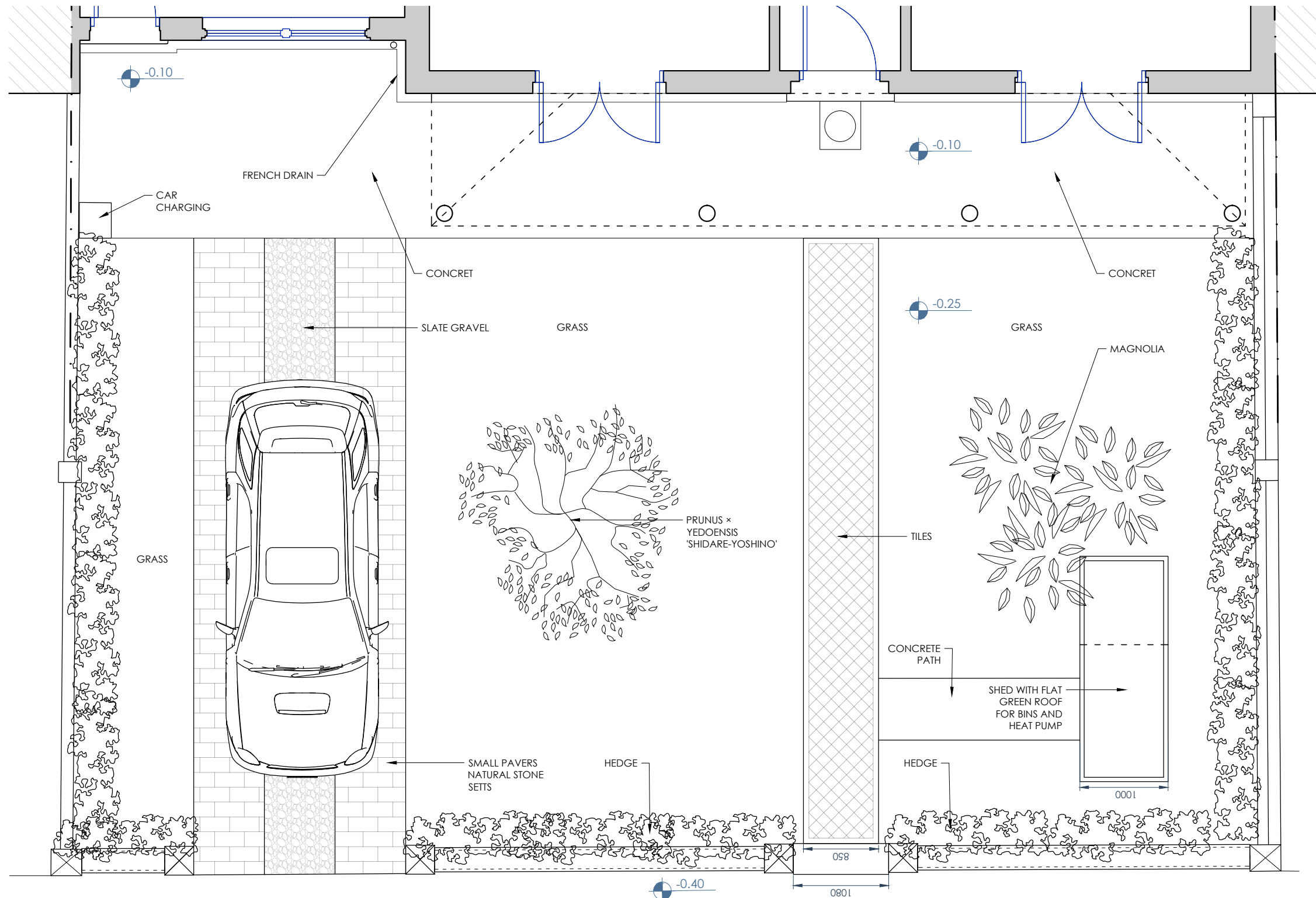
In all cases the Client may devolve the responsibility to a CDM planning supervisor, who will act on the clients behalf. Please refer to planning supervisor for advice.

Before starting work the it needs to check if any asbestos is present. The HSE states that responsibility for the asbestos management of a non-domestic premises and the common parts of domestic premises, lies with the Owner, person or organisation that has clear accountability for the maintenance or repair of the premises, such as through an explicit agreement like a tenancy agreement or contract. If there is no asbestos register or survey or the report is not clear, do not start work.

- GENERAL LEGEND:**
- EXTENT OF DEMOLITION - SECTION
 - EXTENT OF DEMOLITION - ON PLAN
 - EXTENT OF CONSTRUCTION - SECTION
 - EXTENT OF CONSTRUCTION - ON PLAN

REV	DESCRIPTION	DRAWN	DATE
AMENDMENTS			
STATUS: PLANNING APPLICATION			
  			
CLIENT: Phoebe Greig & Misa Ogura			
SITE: 57 Osborne road, London E7 0PJ			
PROJECT: Rear Extension, internal and external Refurbishment			
DRAWING TITLE: AS PROPOSED SECTION			
SCALE AT A3: 1:50	DRAWN: GM	CHECKED: EB	
DATE: 02/11/2023	DRAWING NO: 15	REVISION: A	

1 PROPOSED FRONT GARDEN
SCALE 1:50@A3



GENERAL NOTES:

The design and drawings remain the property of WLB Contractor Ltd. WLB Contractor Ltd grants the client a license to use, for this project only, the design which the client has commissioned.

It is VERY IMPORTANT that all existing and proposed dimensions and levels must be verified on site prior to commencement of any site work and prior to the fabrication and installation of any built-in fixture or equipment.

This drawing to be read in conjunction with all related Architect's drawings and Engineer's drawings and any other relevant information provided by consultants.

If any discrepancies are noticed please contact WLB Contractor Ltd for rectification.

Proposal is subject to all mandatory statutory consents. No works are to start on site prior to discharge of all pre-start planning conditions. The Client is at risk if any works are started prior to approval by appointed building control body. All works to be approved by Landlord prior to start of work (if required).

The Client is responsible to find out whether the works falls within the Party Wall Act 1996. If it does, the Client must notify all affected neighbours. A notice must be given even where that work will not extend beyond the centre line of a party wall.

All construction projects large & small are subject to the CDM regulations (2015). If the development will be for a domestic client or less than 30 days in duration then the responsibility for health & safety is then passed onto the General Contractor.

In all cases the Client may devolve the responsibility to a CDM planning supervisor, who will act on the clients behalf. Please refer to planning supervisor for advice.

Before starting work the it needs to check if any asbestos is present. The HSE states that responsibility for the asbestos management of a non-domestic premises and the common parts of domestic premises, lies with the Owner, person or organisation that has clear accountability for the maintenance or repair of the premises, such as through an explicit agreement like a tenancy agreement or contract. If there is no asbestos register or survey or the report is not clear, do not start work.

GENERAL LEGEND:

- EXTENT OF DEMOLITION - SECTION
- EXTENT OF DEMOLITION - ON PLAN
- EXTENT OF CONSTRUCTION - SECTION
- EXTENT OF CONSTRUCTION - ON PLAN

REV	DESCRIPTION	DRAWN	DATE
-----	-------------	-------	------

AMENDMENTS

STATUS:
PLANNING APPLICATION



CLIENT:
Phoebe Greig & Misa Ogura

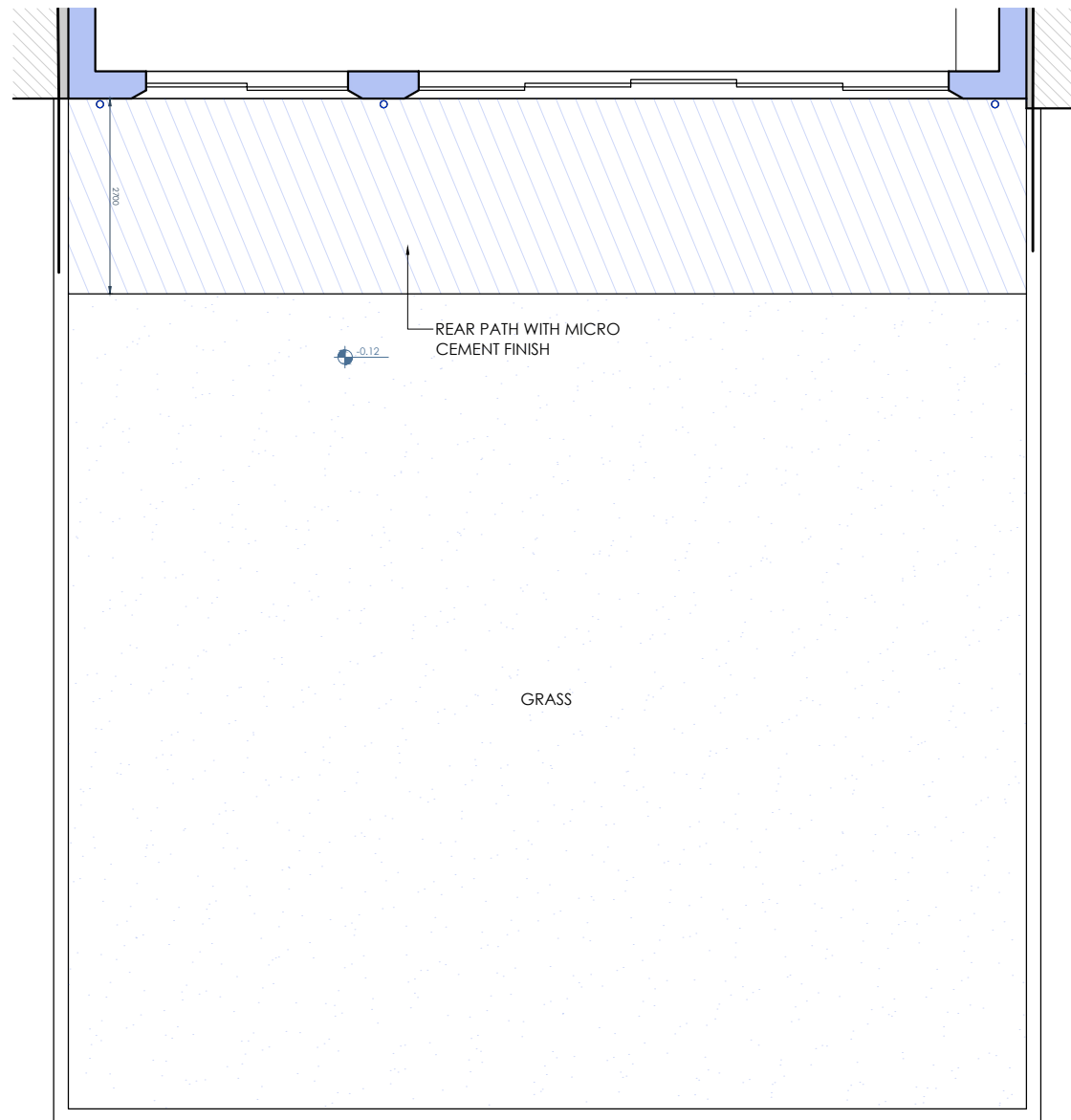
SITE:
57 Osborne road, London E7 0PJ

PROJECT:
Rear Extension, internal and external Refurbishment

DRAWING TITLE:
AS PROPOSED FRONT GARDEN

SCALE AT A3: 1:50	DRAWN: GM	CHECKED: EB
DATE: 02/11/2023	DRAWING NO: 16	REVISION: A

1 PROPOSE REAR GARDEN
SCALE 1:100@A3



GENERAL NOTES:

The design and drawings remain the property of WLB Contractor Ltd. WLB Contractor Ltd grants the client a license to use, for this project only, the design which the client has commissioned.

It is VERY IMPORTANT that all existing and proposed dimensions and levels must be verified on site prior to commencement of any site work and prior the fabrication and installation of any built-in fixture or equipment.

This drawing to be read in conjunction with all related Architect's drawings and Engineer's drawings and any other relevant information provided by consultants.

If any discrepancies are noticed please contact WLB Contractor Ltd for rectification.

Proposal is subject to all mandatory statutory consents. No works are to start on site prior to discharge of all pre-start planning conditions. The Client is at risk if any works are started prior to approval by appointed building control body. All works to be approved by Landlord prior to start of work (if required).

The Client is responsible to find out whether the works falls within the Party Wall Act 1996. If it does, the Client must notify all affected neighbours. A notice must be given even where that work will not extend beyond the centre line of a party wall.

All construction projects large & small are subject to the CDM regulations (2015). If the development will be for a domestic client or less than 30 days in duration then the responsibility for health & safety is then passed onto the General Contractor.

In all cases the Client may devolve the responsibility to a CDM planning supervisor, who will act on the clients behalf. Please refer to planning supervisor for advice.

Before starting work the it needs to check if any asbestos is present. The HSE states that responsibility for the asbestos management of a non-domestic premises and the common parts of domestic premises, lies with the Owner, person or organisation that has clear accountability for the maintenance or repair of the premises, such as through an explicit agreement like a tenancy agreement or contract. If there is no asbestos register or survey or the report is not clear, do not start work.

GENERAL LEGEND:

- EXTENT OF DEMOLITION - SECTION
- EXTENT OF DEMOLITION - ON PLAN
- EXTENT OF CONSTRUCTION - SECTION
- EXTENT OF CONSTRUCTION - ON PLAN

REV	DESCRIPTION	DRAWN	DATE
-----	-------------	-------	------

AMENDMENTS

STATUS:
PLANNING APPLICATION



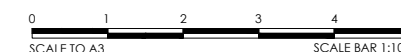
CLIENT:
Phoebe Greig & Misa Ogura

SITE:
57 Osborne road, London E7 0PJ

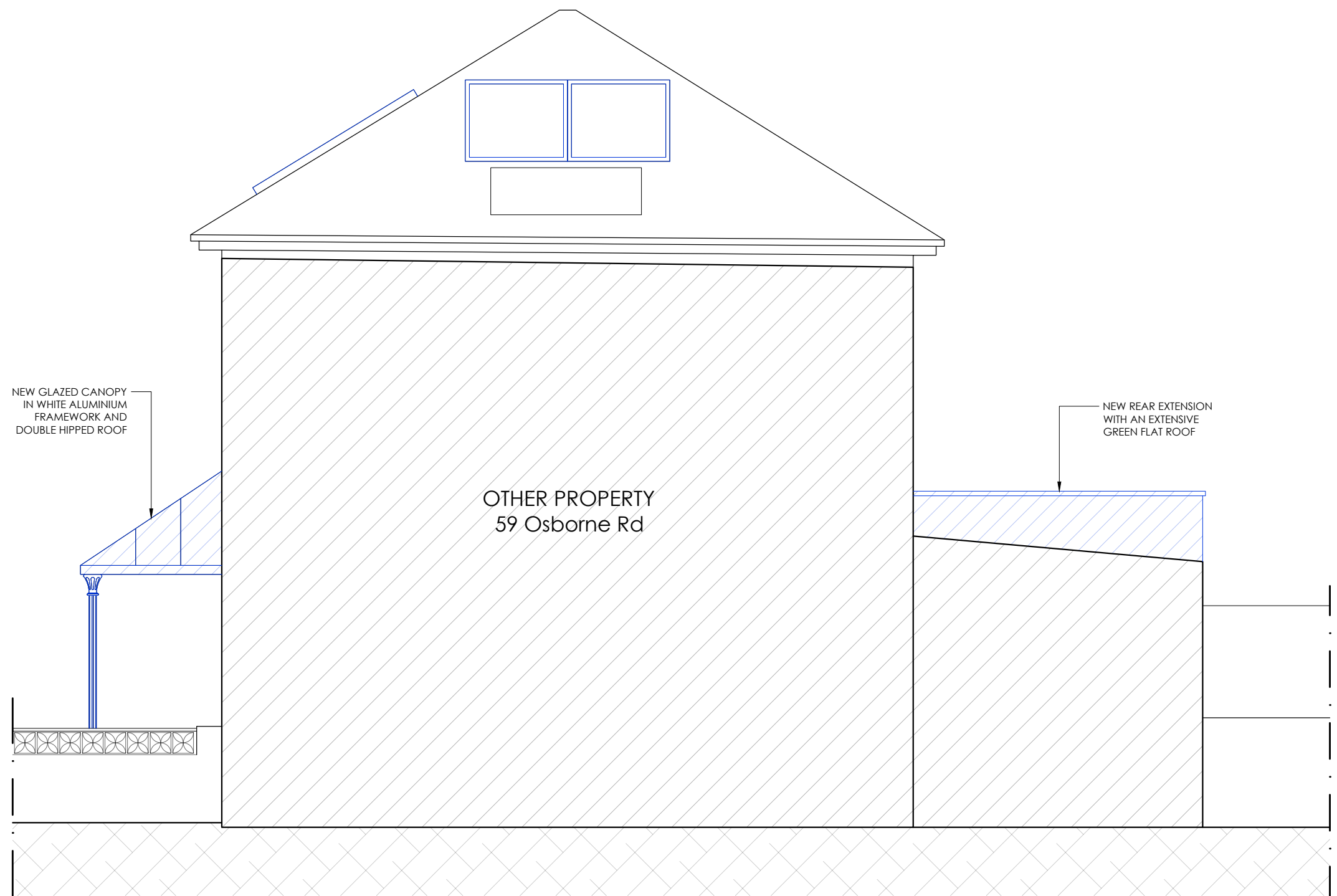
PROJECT:
Rear Extension, internal and external Refurbishment

DRAWING TITLE:
AS PROPOSED REAR GARDEN

SCALE AT A3: 1:100	DRAWN: GM	CHECKED: EB
DATE: 02/11/2023	DRAWING NO: 17	REVISION: A



1 PROPOSED SIDE ELEVATION N.59
SCALE 1:50@A3



GENERAL NOTES:

The design and drawings remain the property of WLB Contractor Ltd. WLB Contractor Ltd grants the client a license to use, for this project only, the design which the client has commissioned.

It is VERY IMPORTANT that all existing and proposed dimensions and levels must be verified on site prior to commencement of any site work and prior the fabrication and installation of any built-in fixture or equipment.

This drawing to be read in conjunction with all related Architect's drawings and Engineer's drawings and any other relevant information provided by consultants.

If any discrepancies are noticed please contact WLB Contractor Ltd for rectification.

Proposal is subject to all mandatory statutory consents.

No works are to start on site prior to discharge of all pre-start planning conditions. The Client is at risk if any works are started prior to approval by appointed building control body.

All works to be approved by Landlord prior to start of work (if required).

The Client is responsible to find out whether the works falls within the Party Wall Act 1996. If it does, the Client must notify all affected neighbours. A notice must be given even where that work will not extend beyond the centre line of a party wall.

All construction projects large & small are subject to the CDM regulations (2015). If the development will be for a domestic client or less than 30 days in duration then the responsibility for health & safety is then passed onto the General Contractor.

In all cases the Client may devolve the responsibility to a CDM planning supervisor, who will act on the clients behalf. Please refer to planning supervisor for advice.

Before starting work the it needs to check if any asbestos is present. The HSE states that responsibility for the asbestos management of a non-domestic premises and the common parts of domestic premises, lies with the Owner, person or organisation that has clear accountability for the maintenance or repair of the premises, such as through an explicit agreement like a tenancy agreement or contract. If there is no asbestos register or survey or the report is not clear, do not start work.

GENERAL LEGEND:

- EXTENT OF DEMOLITION - SECTION
- EXTENT OF DEMOLITION - ON PLAN
- EXTENT OF CONSTRUCTION - SECTION
- EXTENT OF CONSTRUCTION - ON PLAN

REV	DESCRIPTION	DRAWN	DATE
-----	-------------	-------	------

AMENDMENTS

STATUS:
PLANNING APPLICATION



CLIENT:
Phoebe Greig & Misa Ogura

SITE:
57 Osborne road, London E7 0PJ

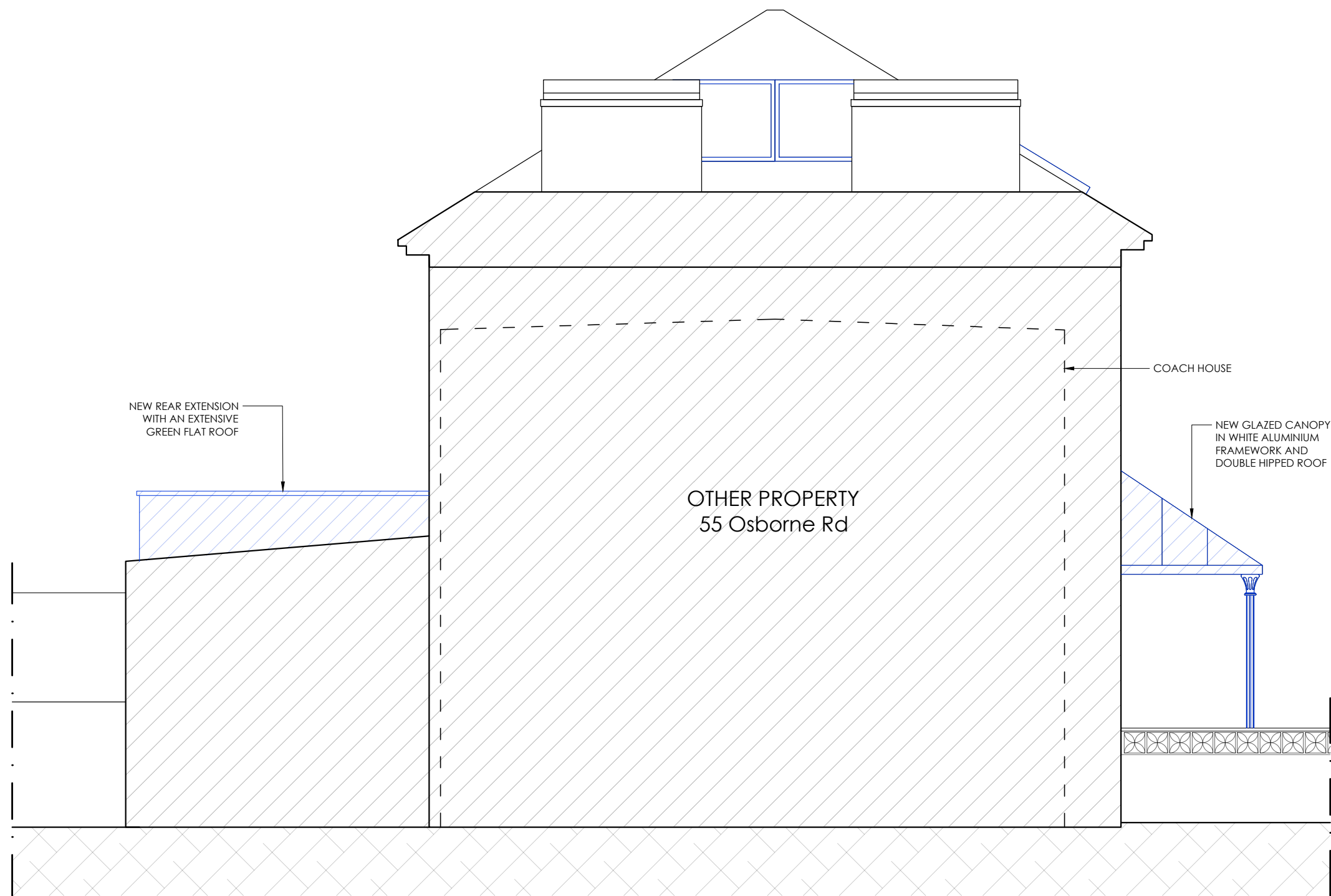
PROJECT:
Rear Extension, internal and external Refurbishment

DRAWING TITLE:
AS PROPOSED SIDE ELEVATION

SCALE AT A3: 1:50	DRAWN: GM	CHECKED: EB
DATE: 02/11/2023	DRAWING NO: 18	REVISION: A



1 PROPOSED SIDE ELEVATION N.55
SCALE 1:50@A3



GENERAL NOTES:

The design and drawings remain the property of WLB Contractor Ltd. WLB Contractor Ltd grants the client a license to use, for this project only, the design which the client has commissioned.

It is VERY IMPORTANT that all existing and proposed dimensions and levels must be verified on site prior to commencement of any site work and prior the fabrication and installation of any built-in fixture or equipment.

This drawing to be read in conjunction with all related Architect's drawings and Engineer's drawings and any other relevant information provided by consultants.

If any discrepancies are noticed please contact WLB Contractor Ltd for rectification.

Proposal is subject to all mandatory statutory consents.

No works are to start on site prior to discharge of all pre-start planning conditions. The Client is at risk if any works are started prior to approval by appointed building control body.

All works to be approved by Landlord prior to start of work (if required).

The Client is responsible to find out whether the works falls within the Party Wall Act 1996. If it does, the Client must notify all affected neighbours. A notice must be given even where that work will not extend beyond the centre line of a party wall.

All construction projects large & small are subject to the CDM regulations (2015). If the development will be for a domestic client or less than 30 days in duration then the responsibility for health & safety is then passed onto the General Contractor.

In all cases the Client may devolve the responsibility to a CDM planning supervisor, who will act on the clients behalf. Please refer to planning supervisor for advice.

Before starting work the it needs to check if any asbestos is present. The HSE states that responsibility for the asbestos management of a non-domestic premises and the common parts of domestic premises, lies with the Owner, person or organisation that has clear accountability for the maintenance or repair of the premises, such as through an explicit agreement like a tenancy agreement or contract. If there is no asbestos register or survey or the report is not clear, do not start work.

GENERAL LEGEND:

- EXTENT OF DEMOLITION - SECTION
- EXTENT OF DEMOLITION - ON PLAN
- EXTENT OF CONSTRUCTION - SECTION
- EXTENT OF CONSTRUCTION - ON PLAN

REV	DESCRIPTION	DRAWN	DATE
AMENDMENTS			

STATUS:
PLANNING APPLICATION



CLIENT:
Phoebe Greig & Misa Ogura

SITE:
57 Osborne road, London E7 0PJ

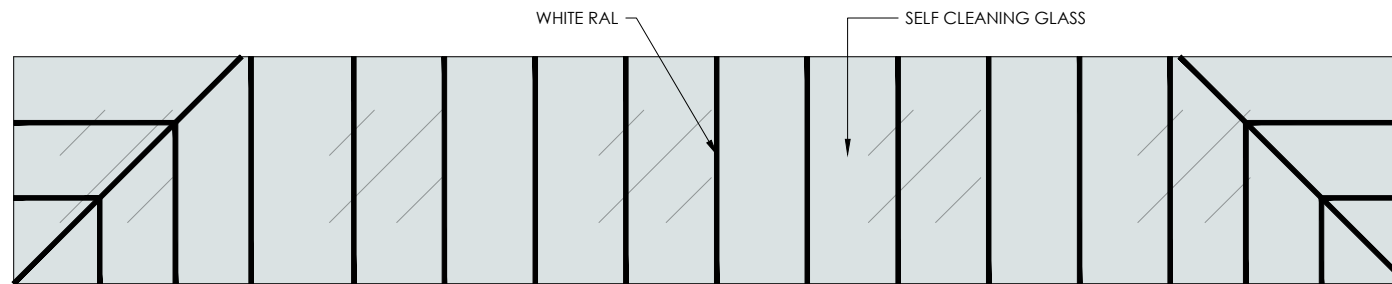
PROJECT:
Rear Extension, internal and external Refurbishment

DRAWING TITLE:
AS PROPOSED SIDE ELEVATION

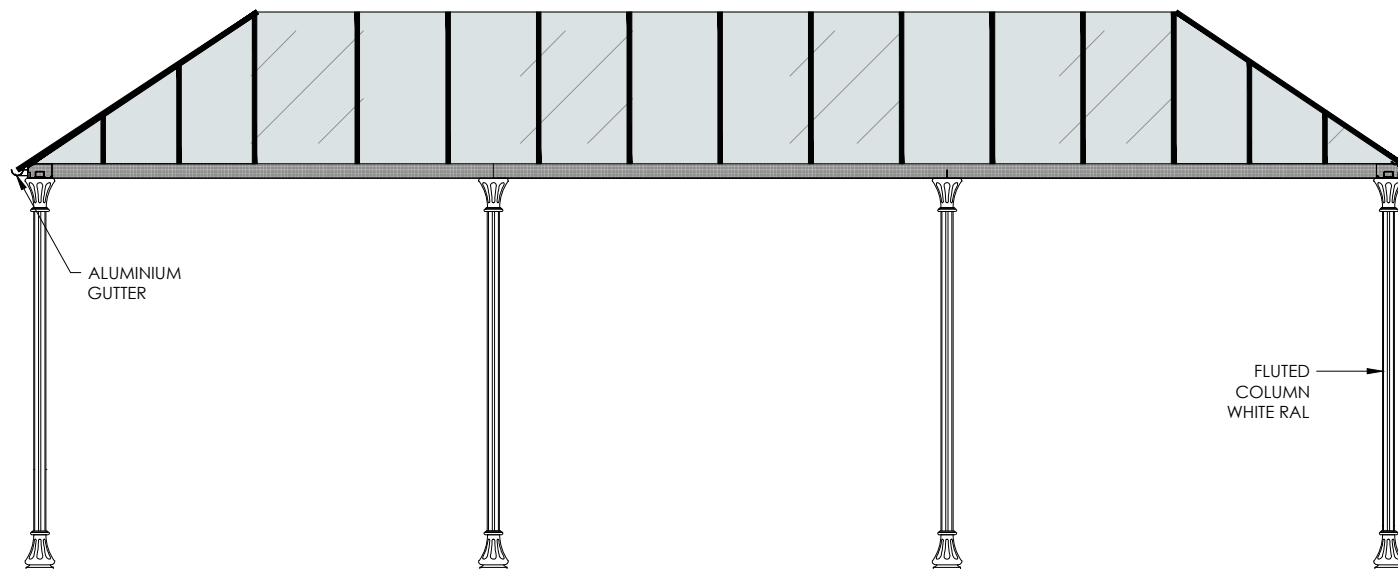
SCALE AT A3: 1:50	DRAWN: GM	CHECKED: EB
DATE: 02/11/2023	DRAWING NO: 19	REVISION: A



1 PROPOSED CANOPY PLAN
SCALE 1:50@A3



2 PROPOSED CANOPY ELEVATION
SCALE 1:50@A3



GENERAL NOTES:

The design and drawings remain the property of WLB Contractor Ltd. WLB Contractor Ltd grants the client a license to use, for this project only, the design which the client has commissioned.

It is VERY IMPORTANT that all existing and proposed dimensions and levels must be verified on site prior to commencement of any site work and prior the fabrication and installation of any built-in fixture or equipment.

This drawing to be read in conjunction with all related Architect's drawings and Engineer's drawings and any other relevant information provided by consultants.

If any discrepancies are noticed please contact WLB Contractor Ltd for rectification.

Proposal is subject to all mandatory statutory consents.

No works are to start on site prior to discharge of all pre-start planning conditions. The Client is at risk if any works are started prior to approval by appointed building control body.

All works to be approved by Landlord prior to start of work (if required).

The Client is responsible to find out whether the works falls within the Party Wall Act 1996. If it does, the Client must notify all affected neighbours. A notice must be given even where that work will not extend beyond the centre line of a party wall.

All construction projects large & small are subject to the CDM regulations (2015). If the development will be for a domestic client or less than 30 days in duration then the responsibility for health & safety is then passed onto the General Contractor.

In all cases the Client may devolve the responsibility to a CDM planning supervisor, who will act on the clients behalf. Please refer to planning supervisor for advice.

Before starting work the it needs to check if any asbestos is present. The HSE states that responsibility for the asbestos management of a non-domestic premises and the common parts of domestic premises, lies with the Owner, person or organisation that has clear accountability for the maintenance or repair of the premises, such as through an explicit agreement like a tenancy agreement or contract. If there is no asbestos register or survey or the report is not clear, do not start work.

GENERAL LEGEND:

- EXTENT OF DEMOLITION - SECTION
- EXTENT OF DEMOLITION - ON PLAN
- EXTENT OF CONSTRUCTION - SECTION
- EXTENT OF CONSTRUCTION - ON PLAN

REV	DESCRIPTION	DRAWN	DATE
-----	-------------	-------	------

AMENDMENTS

STATUS:
PLANNING APPLICATION



CLIENT:
Phoebe Greig & Misa Ogura

SITE:
57 Osborne road, London E7 0PJ

PROJECT:
Rear Extension, internal and external Refurbishment

DRAWING TITLE:
AS PROPOSED CANOPY

SCALE AT A3: 1:50	DRAWN: GM	CHECKED: EB
DATE: 02/11/2023	DRAWING NO: 100	REVISION: A