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57 Osborne Road E7 0PJ

## Design and Access Statement in Support of Planning Application

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*Front Elevation on Osborne Road*

<b>1</b>	<b>INTRODUCTION .....</b>	<b>2</b>
1.1	PURPOSE OF STATEMENT .....	2
1.2	SITE DESCRIPTION .....	2
<b>2</b>	<b>DESIGN .....</b>	<b>5</b>
2.1	USE .....	5
2.2	AMOUNT .....	5
2.3	LAYOUT .....	13
2.4	SCALE .....	13
2.5	APPEAREANCE .....	14
2.6	LANDSCAPING .....	15
<b>3</b>	<b>ACCESS .....</b>	<b>15</b>
<b>4</b>	<b>STATEMENT OF PROPOSED WORKS .....</b>	<b>15</b>

## 1 **INTRODUCTION**

This Design and Access Statement has been prepared by RVA Services Ltd, who was appointed as agent for the Full Planning Application relating to the proposed refurbishment at 57 Osborne Road E7 0PJ.

Planning Permission is required for the proposed alterations that affect the external appearance of the building and the garden areas.

In its final form, this statement has been reviewed and revised by the applicant Phoebe Greig and Misa Ogura, owner of the property at issue.

This document has to be read in conjunction with all supporting documents:

- Site Location Plan, with the property boundary, highlighted in red.
- Block Plan, as existing and as proposed.
- Existing front and rear garden.
- Proposed front and rear garden.
- Existing floor plans, sections and elevations.
- Proposed floor plans, sections and elevations.
- Full Planning Application Form.

Additional documents are submitted in relation to the proposal, as follows:

- Noise Impact Assessment (for the proposed installation of a Heat Pump system).
- Door & Windows Schedule (for the proposed replacement of doors and windows).

### 1.1 **PURPOSE OF STATEMENT**

The purpose of this statement is to explain the scope of the proposed works and assess the impact of the mentioned works, the refurbishment proposal wants to enhance the features of the building giving a positive contribution to the special interest of the area and underpin the three design principles stated by Newham Council:

- The conservation principle
- The street scene principle
- The "like-for-like principle"

### 1.2 **SITE DESCRIPTION**

Application site comprises a two-storey mid-terrace property located on the southern side of Osborne Road, within Newham Council.

The property is located within the Woodgrange Conservation area and it is not listed.

Woodgrange Conservation Area, in Forest Gate, is a distinctive Victorian residential estate, with a consistent theme of distinctive house styles set in a markedly spacious and green setting.

The Newham Council designated the Woodgrange Estate a conservation area in 1976 and was extended in 1979 to include shops on Woodgrange Road built as part of the original development.

The conservation area derives its special character from the consistency of buildings both in terms of their scale, detailed design, materials and building lines. The designs generally follow established stylistic trends of the late Victorian period, and it is an architectural conservatism and repetition of form and detail which gives the area its distinctive character and cohesive townscape quality.

Unfortunately, the property at issue is categorised by the Council as an example of a non-positive building within the conservation area.

The building has been heavily altered over the years and has now lost the positive contribution to the special interest of the conservation area given by the pattern of the original development, as well as the continuity of the building line, the setting and greenery.

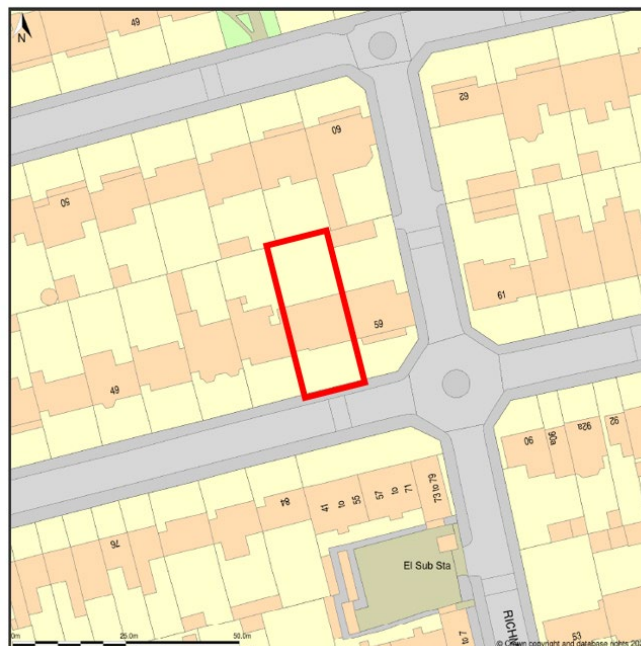
The property comprises a main dwellinghouse and an adjoining coach house on the left hand side. This is a typical characteristic of Woodgrange Conservation Area. The house was divided into two flats before the applicant began the owner, however the main property and the coach house are now merged together on the land registry.

The dwelling is a 2 storeys house, including a basement under the main dwellinghouse. On the ground floor level, the two flats are connected by a door, instead on the first floor they are separated.

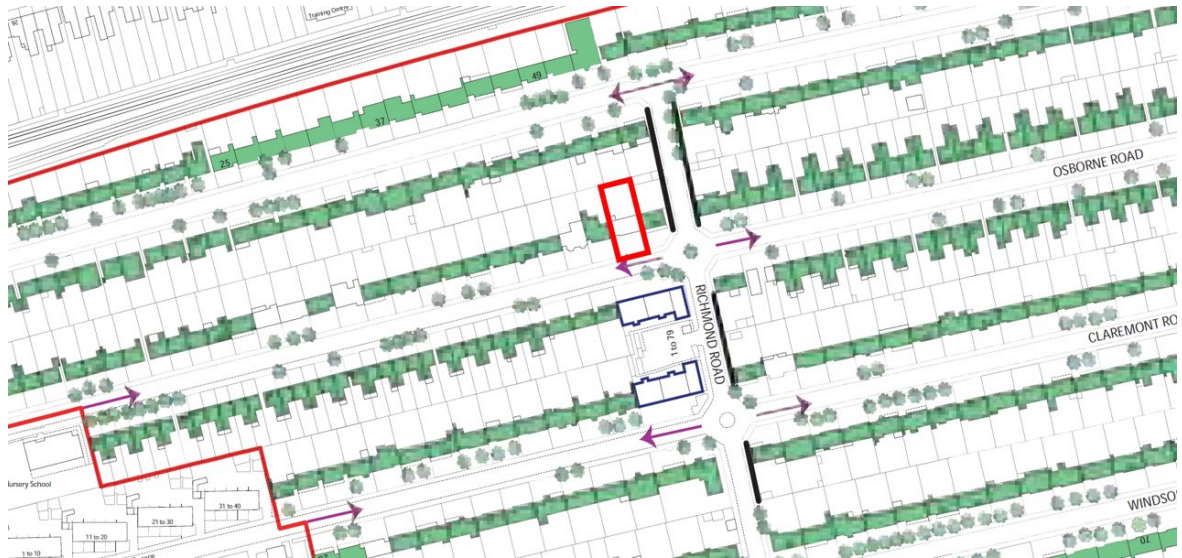
There is a lean-to on the rear of the property, in a very degraded state, which looks an unsympathetic addition to the main dwellinghouse.

The site is rectangular in shape. Both the front and rear gardens are widely paved.












57, Osborne Road, Forest Gate, London, Newham, E7 0PJ



*Site Location Plan - Property boundary highlighted in Red*



**Woodgrange Estate Conservation Area**

- |   |                   |   |                             |   |                            |
|---|-------------------|---|-----------------------------|---|----------------------------|
|  | Conservation Area |  | Adjacent Conservation Area  |  | Key views                  |
|  | Listed Building   |  | Buildings of Local Interest |  | Significant boundary walls |
|  | Positive Building |  | Significant Trees           |  | Focal buildings            |
|  | Negative Building |  | Embankment                  |   |                            |

*Woodgrange Estate Conservation Area - Property boundary highlighted in Red*



*57 Osborne Road - Google view*



*57 Osborne Road – Front and Rear elevation*

## **2 DESIGN**

### **2.1 USE**

The current use of the property is as a residential house (Class C3).

The proposed use of the property is to remain as a residential house (Class C3).

### **2.2 AMOUNT**

#### **2.2.1 FRONT GARDEN**

The existing front area is currently a wide paved parking area.

The proposal aims to reinstate the original Woodgrange front boundary walls and gate design, to restore the special character of the area and enhance the street scene.

The proposed front garden layout is designed to follow the Woodgrange Conservation Area guidelines.

The new front boundary wall will be built in yellow London stock brickwork, 450mm height (6 brick courses) with flat stone coping above, to suit the estate's historic character. It will have

pedestrian and vehicular accesses with piers that are 16 brick courses high and capped by a pointed over-sailing coping. No railings and gates are proposed for the front wall.

The existing piers on both sides will be retained and restored: the one on the right side, which is half rendered and half facing brickwork, will be restored to be entirely in facing bricks. The other on the opposite side will be painted in white, as per the adjoining front boundary wall.



*Front boundary wall: piers on left side and right side*

The existing side boundaries will be retained on both sides and the existing walls as well as the featured railing above will be restored where necessary.



*Side boundary wall: on left side and right side*

The existing paved area in concrete will be demolished and a proper sub-base will be built to prepare the site for the proposed front garden layout.

The new path for pedestrian access will be tiled with decorative and attractive modern tiles, black and white colour, to restore the traditional Victorian style. The entrance paving around the house in the front will be in concrete, as well as the side walkway to the new bins position. The new path for vehicle access will be tiled with small pavers in natural stone and slate gravel in the middle of that area.



*Material references for pedestrian path and vehicular path*

Where the hard surfaces are not proposed, there will be grass instead, hedges will be planted just behind the front wall and close to the side boundary walls, as well as some trees: Prunus Yedoensis 'Shidare-Yoshino' and Magnolia trees, which are included in the suitable species for gardens in Woodgrange Conservation Area guidelines.

The new proposed bins will be suitable in size and scale – 1m wide and 1.5m high – in timber construction and with a small-profile flat green roof. They will not be intrusive to the neighbours and passing public's views, because they will be located perpendicular to the street and along the side boundary.

## 2.2.2 FRONT ELEVATION AND CANOPY

The original panelled front doors, will be replaced in a form that exactly match with the conservation range style. Also the door of the coach hose will be replaced in conservation area style. The doors will be supplied by a specialist door company and will be painted in dark greeny bluey slate. The characteristic glass panel above the front door of the main house will be retained and restored to reinstate it to its original appearance.

A glazed canopy will be added to the front of the main house, as it is one of the most distinctive features of Woodgrange. It will be designed and supplied by a specialist canopy company, proposed in aluminium framework as a replica of the original iron canopies. The design will follow the traditional features of the area: four fluted columns, double hipped roof, and aluminium guttering. The framework will be painted in white, and the proposed glass will be a self-cleaning type.

The canopy will protrude 1.5m from the front façade and the height of the roof will be at first floor level.

A horizontal rendered cill band in white colour finish will be proposed at first floor level to the main house and to the coach house as well. In addition, a rendered lintel in white colour finish will be added above the entrance to the coach house.



*Example of canopies from neighbourhood*

The existing rendered façade would be reinstated in brickwork, to preserve the design of the original house and recover the traditional Victorian character of the estate. The damaged bricks would be repaired and/or replaced where necessary and the repointing throughout would be made with a proper mortar to match the existing colour.

As the original yellow London stock bricks could be severely damaged, a second option would be considered, so the “plan B” could be to have a render finish in baby pink colour.

The removal of the existing render finish (what is likely a sand/cement cementitious render) is needed, due to the lack of permeability and cracks. The defective external render causes moisture to migrate into the internal side of the building. Furthermore, this type of render doesn't allow the walls to evaporate moisture very well and causes dampness within the external walls.

If a new render finish is needed, the replacement of the front elevation external render will be a waterproof silicone render, as it is breathable and more crack resistant.

New lights are proposed to be sited discretely in the front elevation.



### 2.2.3 REAR ELEVATION AND REPLACEMENT OF EXISTING EXTENSION

The existing façade in brickwork will be restored to properly reinstate the original yellow London stock bricks.

On the back of the dwelling, there is a lean-to in very poor condition, especially the roof which is damaged and causing water ingress below and likely into the main rear wall. It is not original, but it is a later construction that is over 10 years old, which now looks unsympathetic to the main dwellinghouse.

The proposal is to demolish it and replace it with a new rear extension, of the same width and depth as the existing one.

The new extension is designed to enhance the character of the property with a suitable contemporary approach. It will be a single storey construction with an extensive green flat roof. It will be designed to give adequate space to the boundary garden walls for maintenance purposes and to not undermine the structural integrity of the adjoining property. This will be properly managed by a professional Party Wall surveyor.

The construction of the extension will be in standard blockwork, achieving the standards for thermal insulation required by the local Building Regulations.

The finish of the extension would be in natural limestone cladding, in warm natural cream colour that compliments the colour of yellow stock London bricks and greenery.

This light coloured stone is a sustainable and durable material that provides natural insulation. It has the extraordinary ability to absorb and reflect the light, which creates a warm and elegant façade. The decorative details around the glazed openings and on the roof's parapet, enhance the emotional impact making the buildings more prestigious.

The proposed rear extension is enhanced by large sliding doors with black aluminium frames, which open onto the garden and will improve the light travelling into the renovated internal spaces.

The proposed external pipework will be black in colour, in contrast with the beige colour of the stone.

LED profile lights of warm white colour will be proposed around the glazed openings to emphasize the diagonal cutting of the limestone around the door frames, which would add a modern feel, in line with the design of the new extension.



*Existing lean-to on the rear of the property*



*Existing rear elevation*



*Proposed rear elevation – new rear extension in limestone finish*

#### 2.2.4 WINDOWS

The existing windows on the front and rear elevations will be replaced throughout. All replacement windows will match the original Victorian style, so double-hung sliding sashes in white timber.

The position of the front and rear windows will not be altered,

Some of them will be altered in size to reinstate the style of the Woodgrange window opening, as they usually have a vertical emphasis.

Two pairs of French doors on the front façade, which are usually in conjunction with the canopy, will be reinstated, as they are a distinctive aspect of the houses in this area. They will be proposed in timber glazing bars and frames with fixed panels above, which give elegance to the front elevation.

On the upper floor, the windows of the front rooms will be extended to the cill band to have them taller than wider, matching the neighbouring properties.

#### 2.2.5 REAR GARDEN

The outdoor landscaping on the rear of the property will be altered in line with the new design, but the depth of the existing garden will not be reduced.

The existing wide paved area and the old planters will be replaced by a large use of grass. A paved patio will be proposed just in front of the rear extension.

## 2.2.6 ENERGY SUSTAINABILITY

### Electric vehicle charging

The charging unit will be a single, compact unit, which will be installed away from the street, close to the side boundary wall and near the vehicular path, in a location that has a minimal impact on the street scene and property.

### Solar photovoltaic panels

Solar panels will be proposed on the street facing roof slope as the system cannot be installed on the rear, due to the orientation of the property.

The number of the proposed solar panels will be calculated so that the system works in an efficient way and covers the energy consumption of the dwelling.

The design of the equipment will be in black backsheet and frame to minimise their effect on the external appearance of the building. They are arranged symmetrically to create balanced coverage of the roof.

### Air source heat pump

A new heat pump will be proposed as part of the home heating and cooling system.

The outdoor unit will be installed outside the property in the front garden, near the proposed bins storage, away from the street and the property boundary. The design of its enclosure will be proposed to minimize its effect on the external appearance of the building and its effect on the street scene.

A Noise Impact Assessment has been written by a specialist, to assess the risk of adverse impact on local noise-sensitive receptors from noise generated by the proposed outdoor unit for the heat pump system. An environmental noise survey has been carried out to establish the existing background sound levels in the vicinity of nearby noise-sensitive premises and to set appropriate limits for noise egress from the proposed unit.

The results indicate that the local authority criteria are met, with the rating level during the daytime, when running in cooling mode (the noisiest mode) at full capacity, being 3 dB below the existing representative background noise level.

At night-time, the limit is met providing that the unit is restricted to 'night-time' / 'quiet' mode between 23:00 and 07:00 (and will be 5 dB below the representative night-time background sound level).

## 2.2.7 INTERNAL REFURBISHMENT

The internal refurbishment is requested to properly merge the two flats, on the ground and first floor level and improve the usability of the property.

At ground floor level, the main proposal is to extend the rear of the property within the existing lean-to footprint. By inserting the requisite steel framework, we will allow for the removal of the original rear walls. The current rear space will become a generous kitchen/dinner and sitting area, which would be significantly more practical and attractive – transforming these currently rather small spaces into the social heart of the home.

The existing staircase on the main house will be renovated according to the proposed design.

The existing staircase on the coach house will be stripped out, because now there is no need to keep them, as the flats are merged on first floor level too, by the creation of an opening on the existing wall in the rear rooms.

The chimney breast of the coach house will be removed as well to have more space and be properly supported at the ceiling floor levels by structural beams.

All proposed works will be fully compliant with current Building Regulations.

Party Wall Awards will be drafted by party wall Surveyors to ensure that the adjoining Owners are adequately legally protected in the event that damage is caused resulting from the works.

## **2.3 LAYOUT**

The layout of the proposed development is appropriate and in line with the building.

The number of the house's storeys remains unaltered.

The new rear extension is designed to be identified by its contemporary design, and wants to add value to the property thanks to its material of the highest quality that appropriately contrasts with the original house.

It is proposed to be full width and with the same depth from the main house, as the existing lean-to.

Extending the rear of the property within the existing lean-to footprint, the current rear space will become a generous kitchen/dinner and sitting area, which would be significantly more practical and attractive – transforming these currently rather small spaces into the social heart of the home.

## **2.4 SCALE**

The scale of the proposed refurbishment, the dimension, and the relationship of the extension to the original building are appropriate and commensurate with that of the house, the adjoining properties, and similar extensions in the area.

The extension is of a width that matches the area of the existing lean-to, extending to the main dwellinghouse and to the coach house as well. The rear lightweight structure has existed for over 10 years and the proposal is not in any way increasing the footprint.

The extension is of a height that accords and is compatible with neighbouring buildings and is subordinate to the principal building.



*Google Map view (2013)*

## 2.5 APPEARANCE

The appearance of the proposed rear extension positively responds to the original architecture, detailing, fenestration – including design and materials – of the main building and other locally distinct standards.

The qualities are respected and retained to ensure the proposal is appropriately designed and subordinate to the main building.

The design and materials solutions are of the appropriate form, scale and materials.

The design would be graceful and slim enough to accommodate construction detailing (such as the extensive green flat roof), but not bulky.

The materials have been carefully considered and selected to blend with both the existing property and those in the immediately surrounding area.

This means that the extension is sympathetic to the existing property and the local context.

The modern-style single storey rear extension would be an attractive development which complements and appropriately contrasts the character and appearance of the original house and the group of buildings of which it forms a part.

## 2.6 LANDSCAPING

The treatment of the private spaces in the proposed scheme aims to protect the character of the area.

Visual amenity from adjoining sites is preserved and the proposed rear extension is not visible from the front public road.

The rear extension is designed to reduce any impact on the neighbours' houses, in terms of both daylight and a sense of enclosure.

## 3 ACCESS

Proposed changes to the vehicular or pedestrian access will be made to meet the standards of Woodgrange Conservation area.

## 4 STATEMENT OF PROPOSED WORKS

As stated above, the proposal aims to renovate the existing dwellinghouse to reinstate externally its original lost Victorian features, including landscaping features, and incorporate appropriate sustainability measures.

In particular, considerations have been made under the main Local Policies:

### The London Plan (GLA, March 2021)

- Policy D3 Optimising site capacity through the design-led approach
- Policy D4 Delivering Good Design
- Policy D8 Public Realm
- Policy HC1 Heritage Conservation and Growth

### Newham Local Plan (December 2018)

- Policy S6 Urban Newham
- Policy SP1 Borough-wide Place-making
- Policy SP2 Healthy Neighbourhoods
- Policy SP3 Quality Urban Design within Places
- Policy SP5 Heritage and other Successful Place-making Assets
- Policy SP8 Ensuring Neighbourly Development
- Policy SC4 Biodiversity
- Policy H1 Building Sustainable Mixed Communities

### Supplementary documents

- Woodgrange Conservation Area Design Guide (October 2022)
- Newham 2027: Altering and Extending your Home (February 2018)
- Woodgrange Estate Conservation Area: Character Appraisal and management proposal (December 2006)

Following the *Local Plan Policy D3* the development proposals will enhance local context by delivering spaces that positively respond to local distinctiveness through their layout, orientation, scale, appearance and shape. It will also respond to the existing character of the area by identifying the special and valued features and characteristics that are unique to the locality and respect, enhance the heritage assets and architectural features that contribute towards the local character.

Following *Policy D4* the development proposals will meet the delivery of good design principle emphasising the need for quality submission. Or this reason, the application includes sufficient detail to ensure clarity and assurance over what design is to be approved and avoid future amendments.

Following *Policy D8* the development proposals will ensure that the public realm is well-designed, accessible, inclusive and well-connected to the local historic context.

Following *Policy HC1* the development proposals will meet the heritage assets and their setting, by conserving their significance and being sympathetic to the assets' significance and appreciation within their surroundings.

Following *Newham Local Plan Policies S6, SP1, SP2, SP3 and SP8* the development proposals will meet the principles in requiring a high-quality of design and which responds well to the local character of development and does not detrimentally affect neighbouring amenity.

Following *Policy SP5* the development proposals will have particular regard to the heritage assets, and contribute positively to the composition of the street-scene, achieving better integration and enhancement of new and old, then conserving designated and not-designated heritage assets.

Following the *Woodgrange Conservation Area Design Guide* the development proposals will follow the three design principles stated by Newham Council:

- The conservation principle
- The street scene principle
- The "like-for-like principle"

In conclusion, the proposed development will preserve the character and appearance of the existing building and will not result in a significant impact on levels of amenity enjoyed within neighbouring residential properties.

The layout and scale of the proposed extensions are sympathetic to the original dwelling and are in keeping with the terrace itself and the neighbouring buildings. The design and the materials respect the architectural character of the area.

The design intent is to improve the interior arrangement, to create a more pleasant space to live in. There should be no loss of privacy to the neighbours.

The proposed alterations restore the property back to its original glory, transforming it into a positive and exemplary building within the Woodgrange Conservation Area, in line with the character and local distinctiveness of the surrounding area.



