



**AYEN CONSULTING**

ARCHITECTURAL DESIGN CONSULTANCY



## Crofters, Upper Street, Higham, Essex CO7 6ND Design & Access Statement

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Report reference: 220301/R/200/02/A  
Date: November 2023

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REV	PURPOSE	AUTHOR	APPROVED	DATE
A	Following pre-planning advice	KA	KA	06/11/2023

## 1 INTRODUCTION

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- 1.1 Ayen Consulting Ltd has been engaged by Mr Peck & Mrs Anthony (the applicant) to provide architectural design support for the proposed modification and expansion of the existing chalet bungalow dwelling addressed as 'Crofters, Upper Street, Higham, Essex CO7 6ND' (Site). The applicant intends to use the proposed redevelopment for residential use and provide accommodation and assisted care for immediate elderly families.
- 1.2 The applicant is seeking planning consent from the local planning authority namely, Babergh and Mid Suffolk District Council (BMSDC) for a revised proposed dwelling extension design following earlier pre-planning advice. As part of the revised design process, advice was sought from BMSDC's Heritage and Landscape teams, Dedham Vale AONB (Area of Outstanding Natural Beauty) team and Suffolk County Council's Highways department.
- 1.3 Feedback from the pre-planning application revealed the following main concerns regarding the initial design proposal submitted as part of a later withdrawn planning application in November 2022: -
- The impact of the proposed building character on the adjacent Grade II Listed Building (namely Gable Cottage) and Higham's Conservation Area.
  - The overall height of the proposed dwelling may cause overshadowing and overly dominate the neighbouring 'Gable Cottage'.
  - The impact of the proposed side extension on the neighbouring 'Gable Cottage'.
- 1.4 This document should be read in conjunction with the following drawings located in **Appendix A**: -
- 220301/D/210/01/A: shows the existing and proposed elevations;
  - 220301/D/210/02/A: shows the existing and proposed internal and external layouts;
  - 220301/D/210/03/A: presents the site layout and block plan; and
  - 220301/D/210/04/B: highlights the proposed internal highway layout with associated Swept Path Analysis.

## 2 EXISTING DEVELOPMENT

### Background

2.1 Previous planning applications associated with the development include: -

DC/22/05534	Householder Application – Erect of first-floor extension to the property; Erection of single-storey side/rear extension and side canopied porch with balcony, outbuilding and car parking, boundary wall and gates (following the demolition of the existing roof and side extension).	Withdrawn 12/01/2023
B/06/00110	Construction of new vehicular access.	Granted-06/03/2006
B/05/00232	Erection of two-storey side extension, Insertion of 3 No. dormer windows to front elevation, and alterations to the hipped roof to form gable ends.	Granted-04/04/2005
B/91/00759	Erection of Porch/Shed Side Extension (Existing Shed to be demolished)	Granted-07/08/1991

### Existing Dwelling

- 2.2 'Crofters' is a detached chalet bungalow dwelling sited at the eastern edge of Higham village marginally outside of the Higham Conservation Area. Unlike 'Crofters' the western adjacent property namely 'Gable Cottage' is a Grade II listed residential dwelling located on the fringe of Higham's Conservation Area.
- 2.3 Crofters is currently a 1.5 storey dwelling with surrounding two-storey dwellings located adjacent west.
- 2.4 The external wall is predominantly brickwork and cream rendered finish, red/brown concrete tiled roof, and a combination of timber and UPVC materials used for windows and doors throughout. This use of non-traditional materials and modifications does not aesthetically benefit the neighbourhood. Nevertheless, the dwelling has immense potential to be more in character with the surrounding buildings.
- 2.5 A pre-fabricated garage with large aluminium doors is located within the 'Crofters' site adjacent to the boundary with the Grade II listed 'Gable Cottage' and visible from the site frontage. Together with a leading concrete surface driveway, these materials are not traditional and are not commonly used in the surrounding sites fronting Upper Street.
- 2.6 A side extension adjoined to the west of the host dwelling was granted planning consent in the year 1991 and used as a dual-aspect porch leading to the kitchen and a utility room. Internally, this addition to the main dwelling currently presents damp, structural cracks and is a colder environment compared with the host dwelling. The

extant flat roof covering experiences surface water leakage. Based on these issues, the applicant proposes to refurbish this extension building to satisfy building control requirements by improving insulation and damp proofing. The revisions will require the current external wall to be widened to accommodate additional insulation material and improve structural integrity.

- 2.7 The existing internal ground floor comprises a dining room and kitchen area with external windows facing Upper Street and distant farmland. The living room to the rear of the property faces the back of the property with unappealing views of the pre-fabricated garage and the wood store. The applicant proposes to reconfigure the downstairs to position the kitchen and the main living room to the rear of the property to have a garden view which is common in the area.
- 2.8 The internal stairwell located on the eastern side of the dwelling leads to a master bedroom and ancillary room in the converted roof. With dormers projecting towards the front of the dwelling, the converted roof, has limited usable area with a minimum headroom height of 2.3 metres (NHBC guidance), thus severely restricting access to areas within the master bedroom and ancillary room in an upright position. The ancillary room was previously marketed as a nursery/study room/4th bedroom when the applicant purchased the dwelling however, the room has limited space to accommodate a single bed. Therefore, the first-floor level is currently impractical and hence the applicant is pursuing upgrading the first-floor level to improve headroom and accessibility.
- 2.9 The current first-floor master bedroom and linked ensuite facility, allow daylight into both rooms via fronting roof dormer windows. An openable front and rear window are present in the landing and the ancillary room areas respectively however they are above eye level and provide no viewing benefit therefore, the current first-floor dwelling has no views of the rear garden at eye level.
- 2.10 The current property is sited on higher ground compared with the adjacent properties proving challenging to accommodate a ground-floor and upper-storey (first-floor) with adequate headroom throughout without raising the proposed roof considerably higher than the roof ridge height of the adjacent 'Gable Cottage'.

### Existing Site Access

- 2.11 The ground level beneath the dwelling is higher compared with adjacent properties with the Upper Street carriageway 1.22 metres lower, this is noticeable on-site by the inclined driveway from Upper Street and steps leading up to the dwelling front entrance.
- 2.12 The existing western driveway access comprising of a concrete/asphalt driveway leads to a metal gate and the garage then traverses east, along a concrete path to a patio door outside the living room located at the rear of the dwelling. Whilst this provides some level of disabled access to the property, the placement of the living room has views of the unsightly garage and wood store. The site's eastern access comprises a small hill to reach metal gates to access the rear garden.
- 2.13 The current front driveway is surfaced with a mixture of gravel, shingle, and hardstanding, where loose material currently spills onto the main carriageway when

vehicles egress the site. The current driveway layout allows vehicles to access and egress the property at two locations in a forward gear with visibility splays of 2.4 x 27m west and 2.4m x 29m east.

### Existing Landscape

2.14 The grass-laid garden predominantly to the rear has a ditch line to the east and is beautifully framed by tall trees from the adjoining Vineyard, no changes are proposed in this area. The front garden houses a well façade which is deteriorating due to damp penetration.

### 3 PROPOSED DEVELOPMENT

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- 3.1 Following the applicant's initial planning application (ref no: DC/22/05534), later withdrawn on 12<sup>th</sup> January 2023, the applicant has considered advice from BMSDC, including Planning, Heritage, Dedham Vale AONB, Landscape departments and SCC Highways team, where written feedback is located in the **Appendix B**.

#### Proposed Building Alterations

- 3.2 The previous ground-floor western extension is to be modified to a habitable standard by improving insulation and damp-proofing plus reducing any unwarranted light exposure. To maintain a practical space within the existing extension, to accommodate a heater boiler, laundry appliances and a stronger/thicker insulated external wall structure, the annexe building footprint will be extended 300mm west. The additional 300mm widening shall have an insignificant visual impact on 'Gable Cottage' from the frontage or overshadow the dwelling. The restoration of the westerly extension currently housing a utility room shall include the removal of the current UPVC dual-aspect windows and doors. A new external pitched roof laid with natural traditional clay roof tiles shall be constructed to replace the existing flat roof. The multiple existing windows will be replaced with a single smaller new casement window to allow for sufficient light and ventilation and considered to improve the street scene by reducing light exposure.
- 3.3 The applicant is proposing to remove the existing unsightly garage and wood store adjacent to 'Gable Cottage' and reinstate as predominantly green space. The current kitchen area shall be relocated to the rear of the dwelling within a ground-floor extension projecting 3.93m from the existing rear wall into the garden area. This area shall provide a more practical kitchen area to replace the existing facility facing the site frontage whilst allowing privacy and direct access to the rear garden.
- 3.4 The applicant is proposing to retain the dwelling's ground-floor level and remove the entire existing converted roof to construct a new habitable first-floor structure to accommodate bedrooms and facilities with improved accessible floor area by increasing the headroom. This will be achieved through a rear extension building to expand the existing study/master bedroom to create a larger room and through internal reconfiguration to maximise space.
- 3.5 The property expansion shall also comprise an eastern adjoining two-storey structure projecting only 1.30m east and 3.93m into the rear garden area to reconfigure the stairwell to the upper storey, to relocate the ground-floor living room to have a garden view and to accommodate a more accessible master bedroom (currently a study/4<sup>th</sup> bedroom) with an ensuite facility. The proposed rear extension is in line with the eastern wall to show association with the host dwelling. This extension shall permit the relocation of the dwelling's main entrance door to the side to allow easier access for people of varied capabilities and access from the new eastern parking area, it is recognised that side entrances are common on properties along Upper Street.
- 3.6 To accommodate the single-storey rear extension for the proposed kitchen facility, the current garage and woodshed buildings shall be demolished, increasing the building distance from 0.4m to 2.27m away from the adjoining Grade II listed

property boundary of 'Gable Cottage'. The fronting street scene will no longer comprise a prefabricated large garage with aluminium doors. The asphalt driveway leading to the garage, west of the dwelling, shall be made into a gravel area with flowering shrubs providing a more aesthetical landscape between 'Crofters' and 'Gable Cottage' properties offering enhanced privacy and views from the gardens and from Upper Street.

- 3.7 The internal ground-floor layout shall be modified to accommodate a disabled-friendly environment with 1-bedroom, wider corridors and an ensuite bathroom with wheelchair access whilst providing a wider stairwell to the first floor to accommodate a stair lift in the future thus offering better connectivity to the first floor.
- 3.8 Previously, a timber outbuilding was sited in the rear garden which has been recently removed. The applicant is proposing to construct a new non-habitable replacement timber outbuilding in the rear garden area. The outbuilding shall comprise a timber-frame structure with external timber weatherboarding with a grey Welsh Cupa slate roof covering, recommended by the ANOB and Heritage departments.
- 3.9 Following advice and direction from BMSDC heritage and ANOB departments, all existing non-heritage materials will be replaced with traditional materials and shall reunite 'Crofters' in keeping with the area and nearby buildings.

#### Proposed Site Access

- 3.10 The current front access to the dwelling from the car parking area is via steps only and due to the significant difference in ground level, it is not feasible to install a disabled-friendly access. Therefore, the proposed building access will be relocated east of the dwelling in conjunction with the proposed easterly extension allowing scope to provide disabled-friendly provisions in the future, i.e. a wheelchair access ramp, and handrails.
- 3.11 The garage and the concrete driveway west of the site will be demolished and removed, with no further requirement for vehicular access on the western side close to 'Gable Cottage' thus protecting the visual impact on the adjacent listed building. As the western access will become redundant, this will be permanently 'stopped up' with landscaping i.e. native hedges and a grassed area.
- 3.12 The eastern access shall be retained to access the existing car parking area fronting the property as per the existing arrangement and a new parking area for two vehicles will be located east of the dwelling. The ground level in the proposed eastern parking area shall be lowered with a retaining wall surround constructed of red/orange bricks to support the surrounding raised ground and to avoid any disturbance to the ditch line. This lowered ground level shall have a minimum 1:12 gradient transitioning with the existing driveway fronting the property.
- 3.13 The vehicular access/egress will not be steeper than 1:20 for the first 5 meters measured from the nearside edge of Upper Street and surfaced with a bound material (antique weathered cobbles) to avoid safety risks from materials being



deposited on the highway. The remaining areas will be laid with locally sourced shingles/gravel to align with the conservation area.

- 3.14 The site shall accommodate 3no parking spaces satisfying 'Suffolk County Council's Suffolk Parking Guidance (May 2019)' for a 4no bedroom dwelling, with scope to access and egress Upper Street in a forward movement.
- 3.15 The existing driveway access fronting the property has adequate scope to remain for a vehicle to access and egress in a forward gear with achievable visibility splays remaining at 2.4m x 29m west and 2.4m x 27m east. It is considered the current visibility splay requirement depicted in 'Suffolk County Council's – Suffolk Design Street Guide (v26) of 2.4m x 33m for a private driveway is not required as the access is current and the proposed works shall not be classed as an intensification of use, thus not expected to produce additional vehicle trips. To maintain highway safety, any obstruction within the visibility splays whether erected, constructed or planted will be restricted to 0.6 metres high.
- 3.16 To capture any runoff water from non-permeable surfaces within the driveway area, drainage channels shall be installed discharging any surface water to a soakaway located at 5 metres minimum from the nearside edge of Upper Street.
- 3.17 The existing iron gate will be replaced with a new hardwood-painted timber gate located a minimum distance of 5 meters from the nearside edge of Upper Street and shall not open towards the highway.
- 3.18 A single electric vehicle charging point will be provided per 'Suffolk Guidance for Parking 2019'.
- 3.19 Due to the loss of the existing garage, a secure and sheltered cycle storage facility 1.8 meters wide and 2.0 meters deep will be constructed at the rear of the property, together with a sheltered refuse bin storage area, per 'Suffolk Guidance for Parking (2019)'.

#### **Proposed Scale & Appearance**

- 3.20 The existing converted roof and associated dormers will be replaced with a new gable design more in keeping with similar properties on Upper Street. The new vaulted roof shall improve the first-floor internal layout maintaining enough headroom and a low ridge roof, minimising the impact on the street scene and adjacent 'Gable Cottage'. Garden views from the first-floor bedrooms are familiar at other properties along Upper Street, therefore, by repositioning the first-floor master bedroom, the room shall benefit from a garden view, which the property currently lacks.
- 3.21 To facilitate a first-floor level with adequate headroom, the proposed ridge height shall be raised to approximately 560mm higher compared with the adjacent 'Gable Cottage' ridge height. The higher ground level at the property compared to adjacent properties influences this increase in ridge height however the eaves of the roof have been lowered to assist in minimising the roof height to depict a steeper, more traditional, roof slope. Even though this posed challenges for the positioning of the windows, a compromise has been reached in the form of recessed roof light

installations which are noticeably common in the area to satisfy building regulations ventilation requirements. The proposed roof covering shall comprise red natural clay peg tiles. Pre-planning advice from the BMSDC Heritage team highlighted their acceptance of the proposed first-floor ridge height. Given the distance between 'Crofters' and 'Gable Cottage' the minor difference in roof ridge heights would be unnoticeable.

- 3.22 No dormer projections shall be incorporated as part of the revised roof proposal compared with the extant, this shall improve the dwelling frontage scene compared with adjacent properties.
- 3.23 The applicant understands it is important to maintain the character and appearance of the village, thus the proposed external walls shall be rendered in KRender York, Ivory or buttermilk colour, common for the area and like the existing external finish.
- 3.24 All existing external windows will be replaced with a combination of original timber framed white cottage casement windows at the front and sides of the dwelling, and high-quality timber effect white PVC heritage style windows at the rear for improved security and areas of high humidity. High-quality white timber effect French doors will also be installed at the rear of the dwelling for increased security. First-floor windows shall be smaller in size and positioned to appear less top-heavy compared with the ground-level windows, giving a traditional architectural hierarchy between floors. Finally, the relocated front access door shall comprise a timber door painted sage green or tenet grey with an associated timber canopy painted in white.
- 3.25 The existing deteriorating well fronting the property is to be retained and maintained to an acceptable standard using red/orange brickwork, and clay peg roof tiles with an oak frame. Adjacent will be a new hardwood-painted timber gate to replace the existing iron gate, primarily for security purposes. Any proposed retaining walls including flower beds will comprise a similar red/orange brickwork.

#### Proposed Lighting

- 3.26 All existing external lights will be replaced by low-voltage downlights with a traditional look as stated in AONB's "New landscape design guide" which was published in August 2023. All windows shall be fitted with black-out screening blinds including roof lights.
- 3.27 Repositioning of the lights is required by the new entrance and the new outbuilding.
- 3.28 There is no proposal to add additional external lighting at the property and with several existing openings in the porch area now reduced to just a single window and surrounding windows being smaller in size, less light exposure will be a favourable outcome.

#### Proposed Landscaping

- 3.29 The concrete/pebbled driveway will be replaced by a mixture of gravel like the driveway material at 'Gable Cottage' sourced using local materials, with bedded down antique weathered cobbles within 5 metres of the nearside edge of Upper Street to meet SCC highway requirements. This should ensure that Crofters is in

keeping with the area softening the landscape view, like other properties along Upper Street.

- 3.30 The new timber gate that will replace the existing iron gate will be no higher than approximately 1.5 metres and no higher than the existing well façade. The existing ditch line traversing along the Site's eastern boundary shall be maintained by the applicant with a short retaining wall made of red/orange brickwork proposed, replacing the existing timber fence, to prevent ground subsidence into the new parking area. To protect the ditch line, heavy planting will be avoided, and the area will be maintained free of any debris.
- 3.31 The front elevation and western elevations shall be enhanced with the planting of a new native hedge and trees. The native hedge that fronts the property will be maintained at a height of 0.6 meters within the visibility splays and the rear garden will be laid to lawn with a few oak trees and more hedging introduced. Details of the planting scheme and planting mix have been provided in a supplementary document located in **Appendix C**. Advice has been sought from Dedham Vale AONB with regards to enhancing the habitat for dormice and accordingly the native plants have been chosen.
- 3.32 The ground level at the 'Crofters' site including the garden area slopes downwards towards Upper Street where the view of 'Crofters' gradually reduces further north of the site with additional shielding from maturing oak trees in the rear garden area and two trees within the 'Gable Cottage' site. These trees will be preserved and over time they will completely conceal 'Crofters' from the northern adjacent rolling farmlands.
- 3.33 The eastern boundary of 'Crofters' is completely shielded by a row of mature trees and no alteration will be made.
- 3.34 No trees or hedges will be removed as part of the proposal.

#### **Heritage Statement & Impact**

- 3.35 Crofters is situated adjacent to a conservation area comprising a mixture of residential properties and holiday-letting accommodations with a range of vernacular styles unique to Suffolk. Currently a 1.5 storey dwelling, the proposed two-storey dwelling is common in the conservation area. The existing appearance and use of non-traditional materials such as concrete, asphalt, prefabricated materials, cladding, aluminium doors and UPVC spoils the appearance of 'Crofters' and is neither aesthetically pleasing nor in keeping with the ethos of the conservation area.
- 3.36 The existing roof shape and inadequate design reduce the use of space internally on the first floor resulting in limited headroom. A kitchen and bathroom facing the street, an exposed make-shift porch experiencing damp, disproportionate rooms, and a lack of views of the rear garden area from the first floor, despite the site being

in an AONB, all deprive enjoyment for the applicants and not in the ethos of catering for accessibility, equality, and privacy.

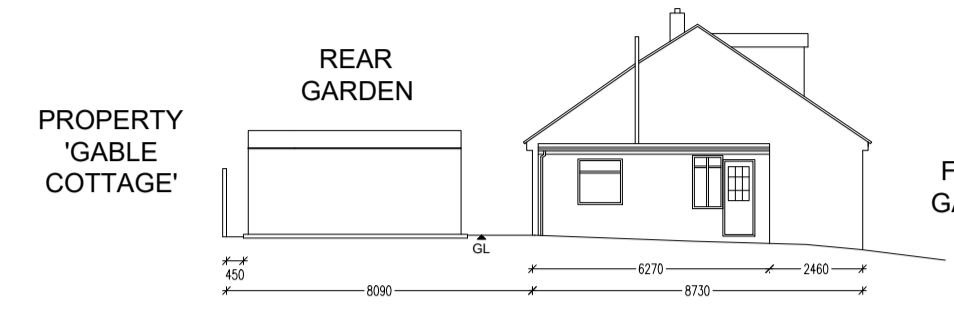
- 3.37 In summary, Crofters is neither fulfilling its full potential, nor energy efficient in any manner nor does it possess features that are worth preserving for the benefit of the conservation area. It is therefore proposed that the applicant updates 'Crofters' to reunite the dwelling with the ethos of the conservation area while maximising the use of space and potential within reason to create a pleasant dwelling. The applicant has also considered the "Higham Conservation Area Appraisal" which has stressed the need for future planning to take into consideration the use of traditional materials and has therefore tried to incorporate the traditional design and to maintain the hierarchy that is expected.
- 3.38 This has been achieved by proposing smaller extensions of just 1.30m on the east and 3.93m at the rear and by the use of traditional materials such as red/orange clay tiles (plain tile/pan tiles/clag pegs), grey Welsh Cupa slate tiles (outbuilding), painted timber doors and windows, a desirable and functional roof shape seen elsewhere in the area and also compliant with the National House Building Council and avoids overshadowing of 'Gable Cottage'.
- 3.39 Removal of the garage adjacent to the heritage dwelling and introduction of greenery/new native hedges/flowering shrubs, being sympathetic to the landscape by screening the dwelling with trees and flowering shrubs as much as possible will also reduce the impact of the 'Crofters' dwelling on the 'Gable Cottage' heritage site, and the behind rolling farmlands. Care is being taken to increase privacy to neighbouring properties by using hedges and trees where possible. Significant attempts have been made to reduce light exposure using fewer and smaller windows while still offering adequate ventilation and working around the restrictions on the ridge height despite the challenges. No embellishments have been added to make 'Crofters' stand out. These improvements should therefore have a polite and positive impact on the area and neighbouring properties.
- 3.40 Examples in the form of photos and images of the aforementioned materials and styles proposed to be used, as discussed with BMSDC Heritage and AONB departments are presented in **Appendix C**.
- 3.41 The applicant welcomes feedback on the proposed design and is happy to accommodate any caveats and conditions for the benefit of the conservation area and the neighbourhood.

**APPENDIX A – DESIGN DRAWINGS NO: 220301/D/210/01 TO 220301/D/210/04**

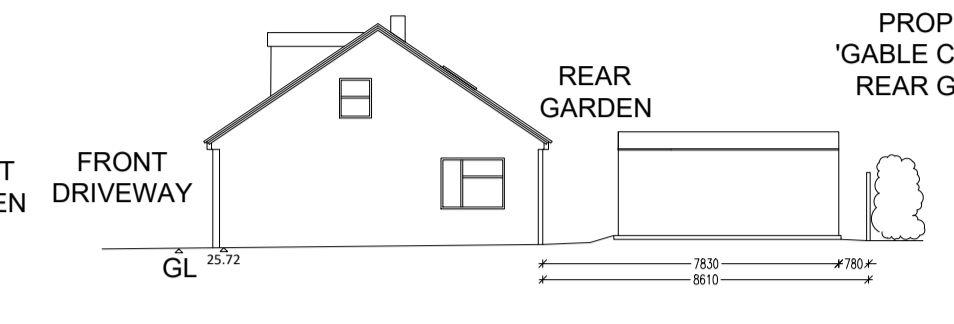
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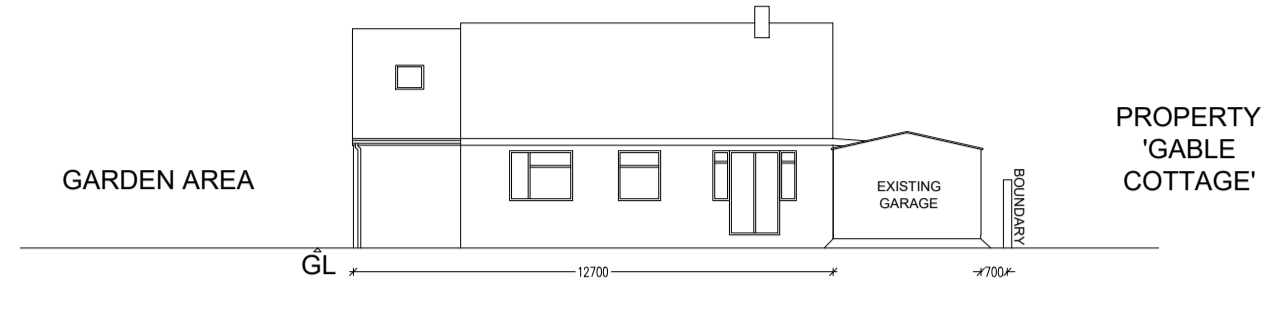
**EXISTING FRONT ELEVATION**



**EXISTING WEST ELEVATION**



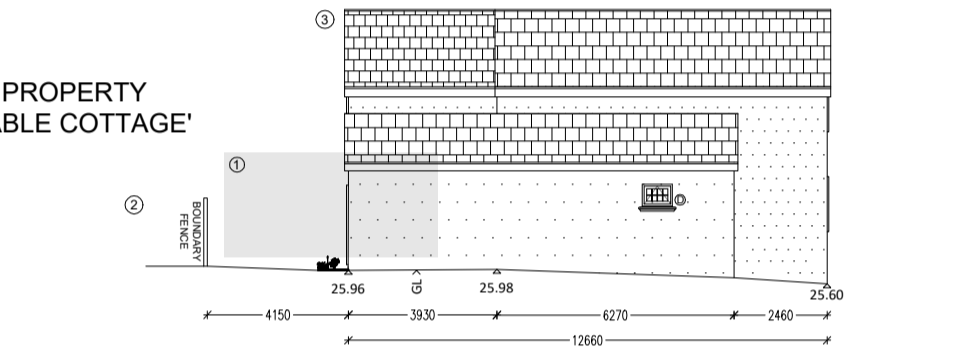
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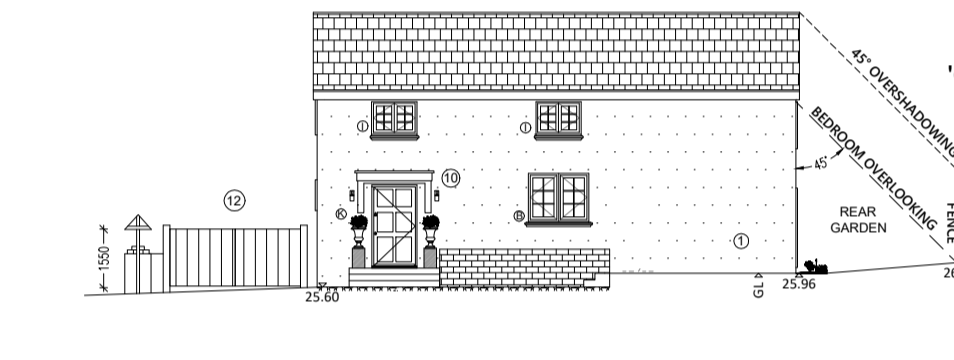
**EXISTING REAR ELEVATION**



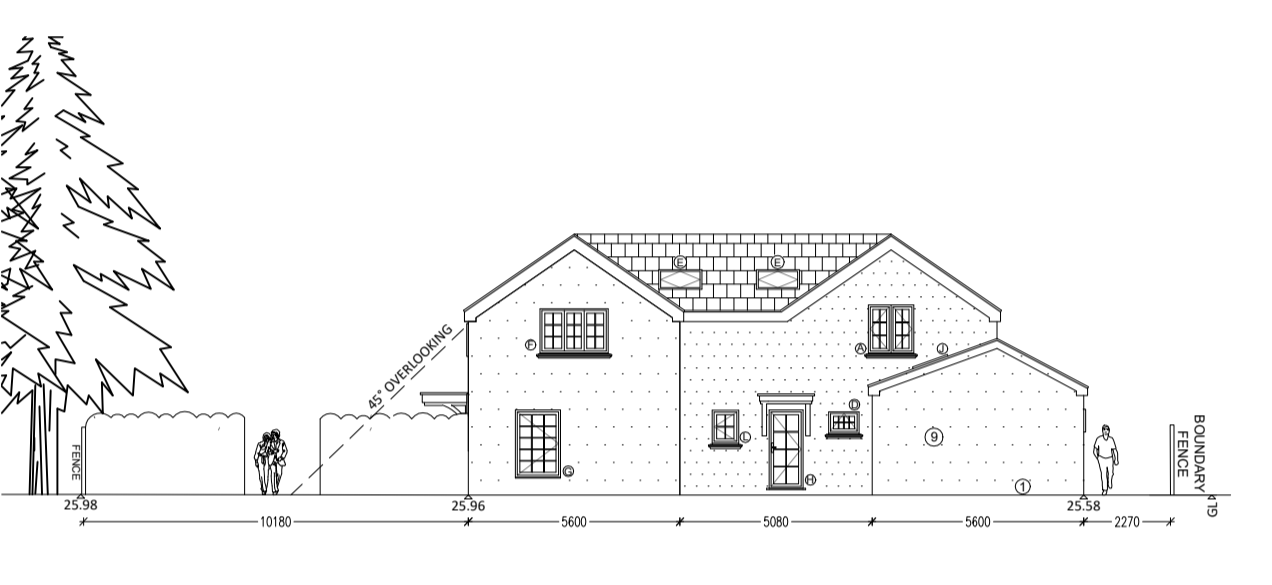
**PROPOSED FRONT ELEVATION**



**PROPOSED WEST ELEVATION**



**PROPOSED EAST ELEVATION**

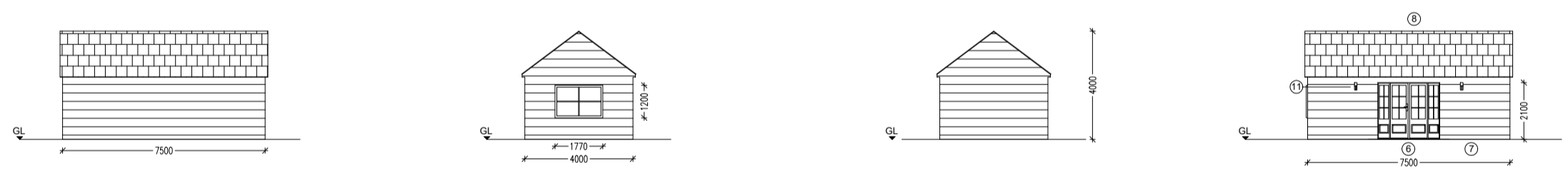


**PROPOSED REAR ELEVATION**

- ANNOTATIONS**
- EXISTING GARAGE AND WOOD STORE TO BE REMOVED.
  - EXISTING FOLIAGE.
  - ROOF PITCH >20°, TO ACHIEVE CEILING HEIGHT AS PER BUILDING REGULATIONS AND LOW RIDGE.
  - TRADITIONAL TIMBER FRAMED WHITE COTTAGE CASEMENT WINDOWS WITH CONCEALED VENTS IN THE FRONT AND EAST ELEVATIONS. MATCHING HIGH QUALITY TIMBER EFFECT 'LINIAR RESURGENCE' CASEMENT WINDOWS WITH CONCEALED VENTS AND TIMBER WEALDS WITH EXTERIOR TIMBER (PAINTED WHITE) SILLS THROUGHOUT THE REAR.
  - NATURAL RED/ORANGE HERITAGE CLAY PEG TILES (NOT WEATHERED OR BUFFED).
  - HIGH QUALITY WHITE TIMBER EFFECT FRENCH DOORS WITH SIDE PANELS.
  - TIMBER WEATHERBOARDING OUTBUILDING PAINTED IN A DARK GREY SHADE - SADOLIN CHICAGO GREY OR SMOKY BLUE (CLOSER TO DARK GREY).
  - NON-HABITABLE PROPOSED OUTBUILDING WEATHERBOARDED WITH WELSH CUPA 5 OR CUPA 12 SLATE ROOF TILES.
  - KREND EXTERIOR RENDERING IN YORK, IVORY OR BUTTERMILK.
  - HARDWOOD TIMBER PAINTED DOOR IN SAGE GREEN OR TENET GREY WITH A SIMPLE PAINTED (WHITE) TIMBER DOOR CANOPY WITH LOW VOLTAGE DOWN LIGHTS ON EITHER SIDE.
  - LOW VOLTAGE DOWN LIGHTS.
  - EXISTING METAL GATE TO BE REPLACED WITH A HARDWOOD PAINTED TIMBER GATE IN SAGE GREEN OR TENET GREY IN A STRAIGHT PROFILE. 1550 MM HIGH WITH RIDGE LOWER THAN THE ADJACENT WELL FAÇADE.

- WINDOWS AND DOORS SCHEDULE**
- (W) 1200MM X (L) 1300MM.
  - (W) 1600MM X (L) 1300MM.
  - ROOF OPENABLE (W) 1340MM X (L) 1460MM.
  - (W) 800MM X (L) 600MM.
  - ROOF OPENABLE (W) 1140MM X (L) 1178MM.
  - (W) 1800MM X (L) 1200MM.
  - (W) 1200MM X (L) 1800MM.
  - (W) 900MM X (L) 2100MM.
  - (W) 1200MM X (L) 900MM.
  - ROOF OPENABLE, TOTAL OPENING 1980MM(W) X 978MM(L).
  - (W) 1200MM X (L) 2100MM.
  - (W) 700MM X (L) 900MM

**PROPOSED REAR OUTBUILDING**

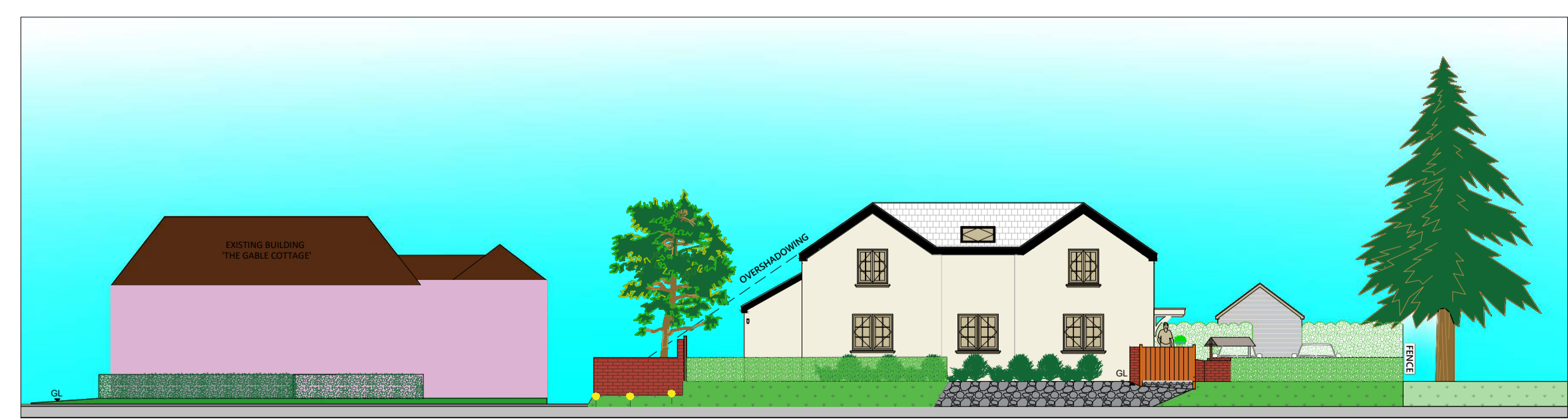


**EAST ELEVATION**

**REAR ELEVATION**

**FRONT ELEVATION**

**WEST ELEVATION**

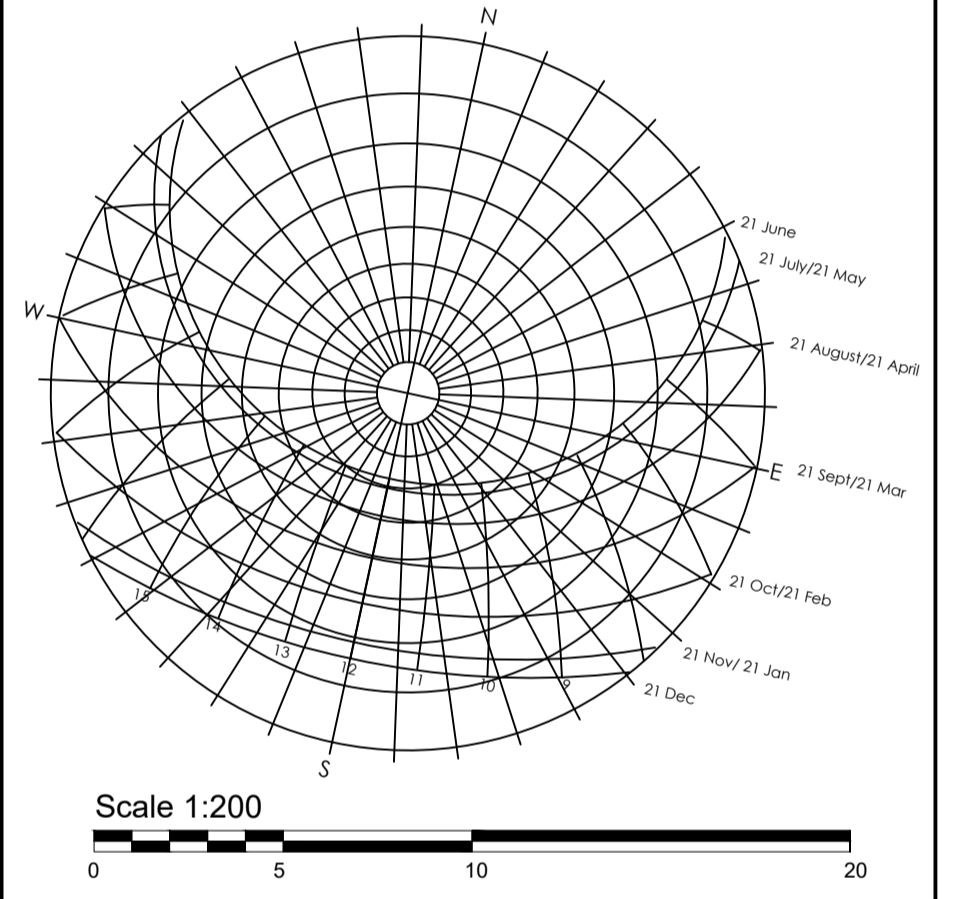


**PROPOSED STREET SCENE**

- GENERAL**
- DO NOT SCALE THIS DRAWING. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED. ANY DISCREPANCIES ARE TO BE RECORDED AND REPORTED TO THE DESIGNER IMMEDIATELY.
  - THIS DRAWING IS FOR PLANNING PURPOSES ONLY AND NOT FOR CONSTRUCTION USE.
  - THIS DRAWING EXCLUDES STATUTORY UNDERTAKERS QUERIES AND SURVEY DETAIL IS RECOMMENDED TO BE UNDERTAKEN PRIOR TO CONSTRUCTION. UTILITIES SHOWN IS INDICATIVE ONLY.
  - ALL PROPOSED FINISH FLOOR LEVELS (FFL) TO MATCH EXISTING ADJACENT DWELLING FLOOR LEVELS UNLESS SPECIFIED BY CLIENT.
  - PROPOSED ROOF AND EXTERNAL WALL CONSTRUCTION INDICATIVE ONLY AND MAY ALTER AT CONSTRUCTION STAGE.
  - ROOF RIDGE HEIGHT MAY ALTER TO MEET BUILDING REGULATION REQUIREMENTS.
  - INTERNAL LAYOUT IS INDICATIVE AND MAY ALTER AT CONSTRUCTION STAGE TO CATER FOR LOAD BEARING WALL CONFIGURATION.

**KEY**

—	EXISTING
—	PROPOSED



Rev.	Date	Description of revision	Drawn	Review'd	Issued	Approved
A	08/11/23	FOLLOWING PRE-PLANNING ADVICE	KA	-	-	-
-	-	-	-	-	-	-
-	-	-	-	-	-	-

DRAWING STATUS

FOR PLANNING USE



Kevin Ayen CIAT Affiliate MCHT - Director, Ayen Consulting Ltd  
 1 Station Court, Station Approach, Wickford, Essex, SS11 7AT  
 Tel: 01206 414 930 | email: info@ayenconsulting.com

SCHEME TITLE

PROPOSED DWELLING EXTENSION  
 CROFTERS, UPPER ST, HIGHAM,  
 COLCHESTER, CO7 6ND

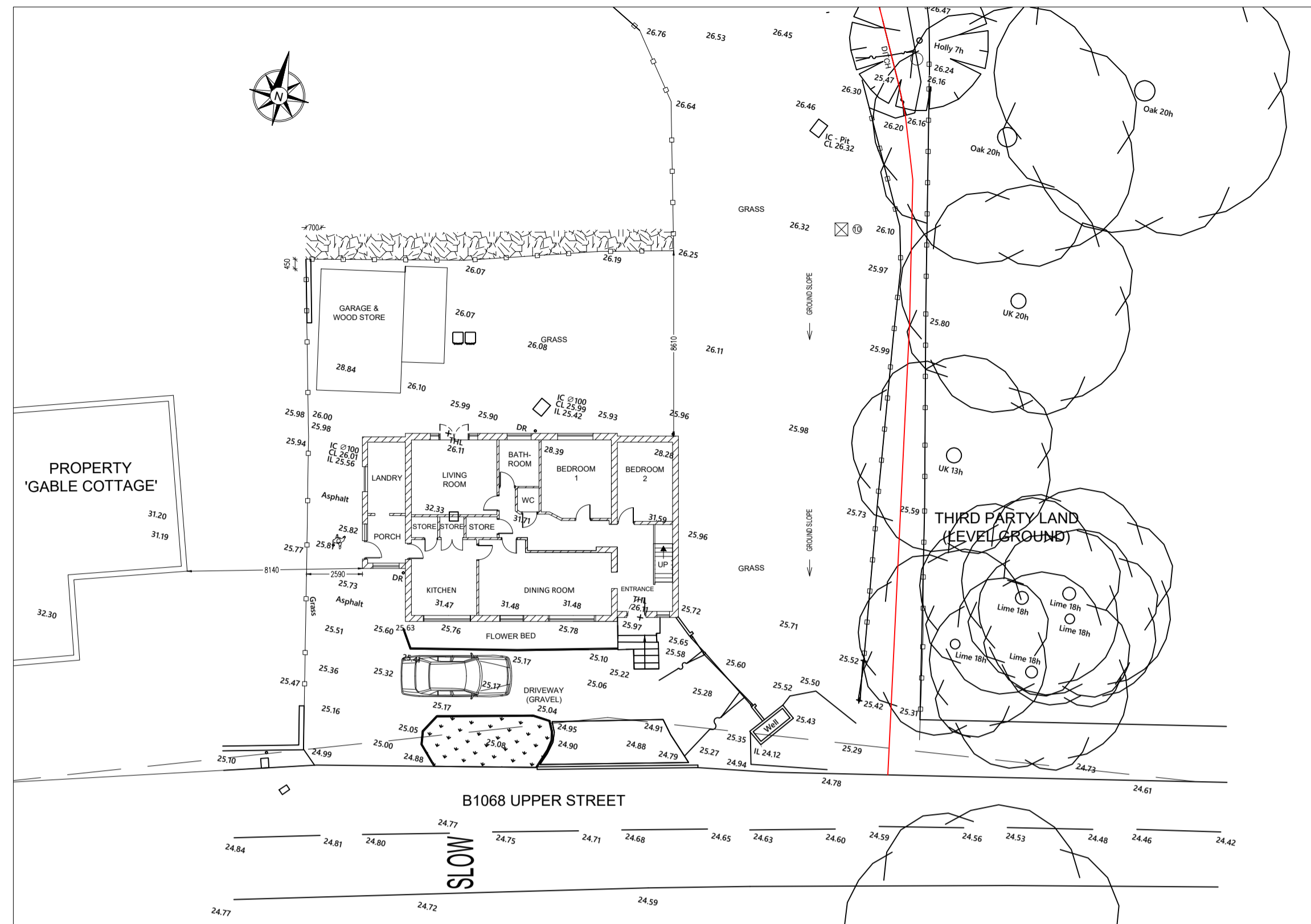
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EXISTING & PROPOSED  
 LAYOUT & ELEVATIONS

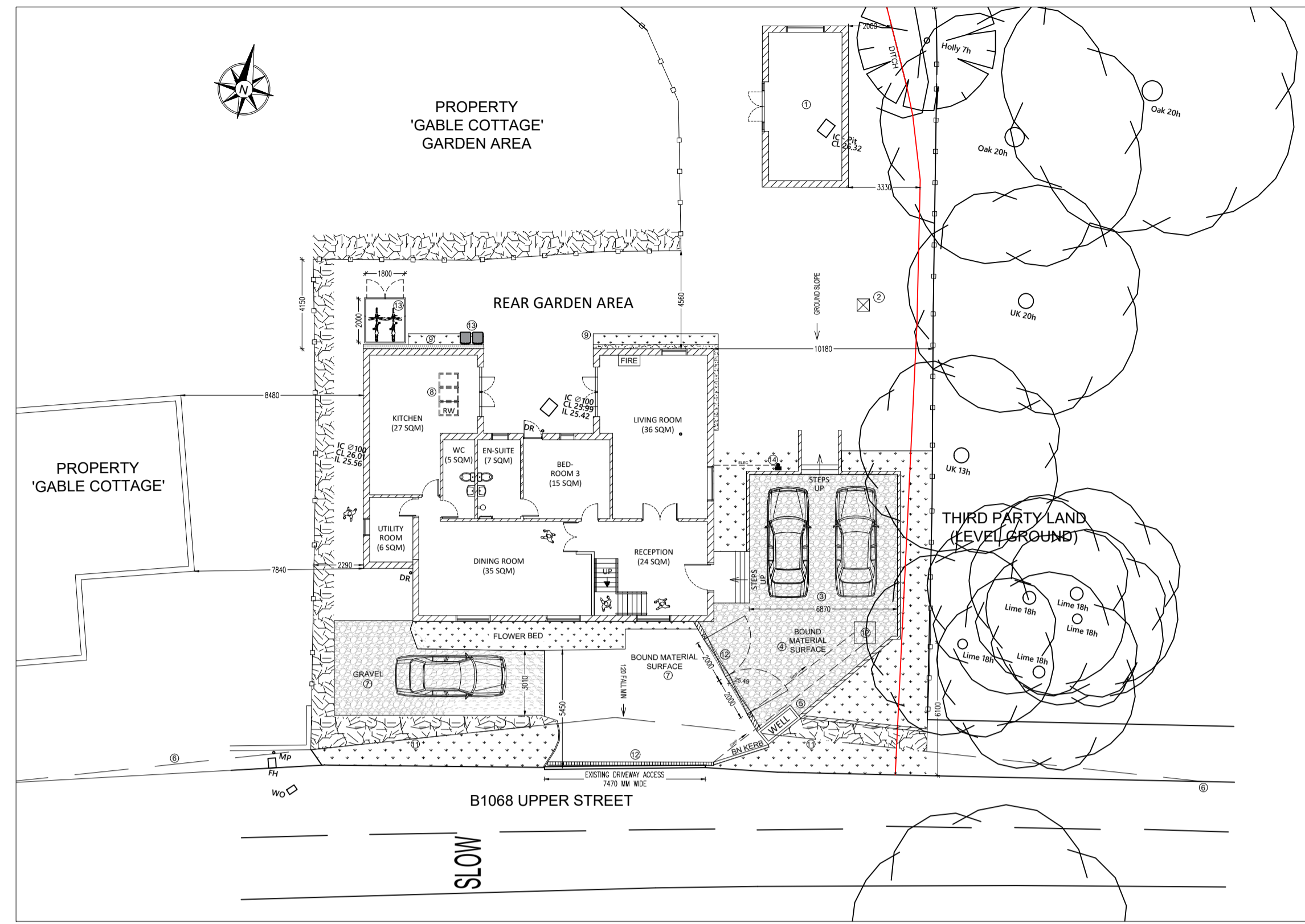
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DATE 20/01/22	DATE 01/07/23	DATE 21/07/23

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 DIMENSIONS IN MILLIMETRES LEVELS IN METRES  
 1:200

DRAWING No. **220301/D/210/01** REV. **A**



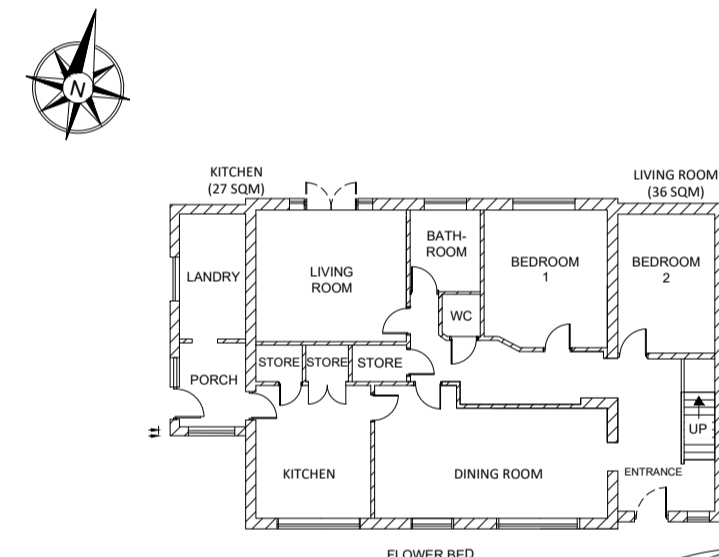
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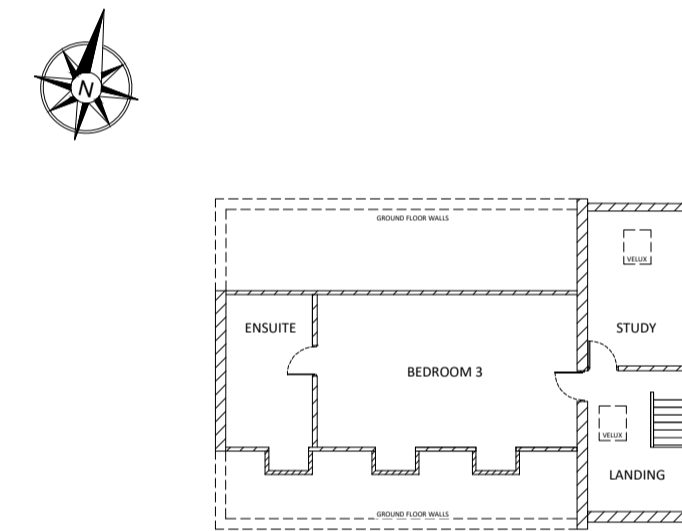
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**ANNOTATIONS**

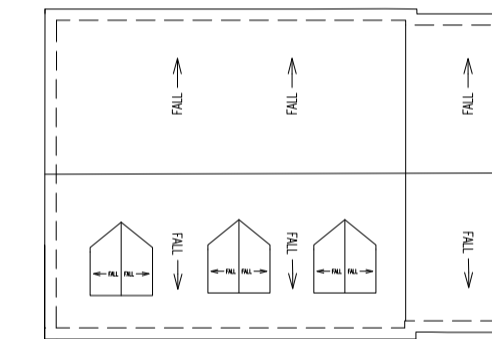
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2. PROPOSED WATER TREATMENT LOCATION.
3. 2NO CAR PARKING SPACES WITH TURNING AREA WITHIN DRIVEWAY ALONG DWELLING FRONTAGE.
4. LEVEL DRIVEWAY SURFACE TO COMPRISE OF BOUND MATERIAL - WEATHERED COBBLES AT LEVEL 25.6M A.O.D WITH 1:12 MINIMUM GRADIENT TRANSITION TO MAIN CARRIAGEWAY. VEHICLE ACCESS FROM THE NEAR SIDE EDGE OF MAIN CARRIAGEWAY NO STEEPER THAN 1:20 FOR INITIAL 5 METRES.
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13. SHELTERED BICYCLE AND REFUSE BIN STORAGE AREA.
14. ELECTRIC VEHICLE (EV) CHARGING INFRASTRUCTURE.



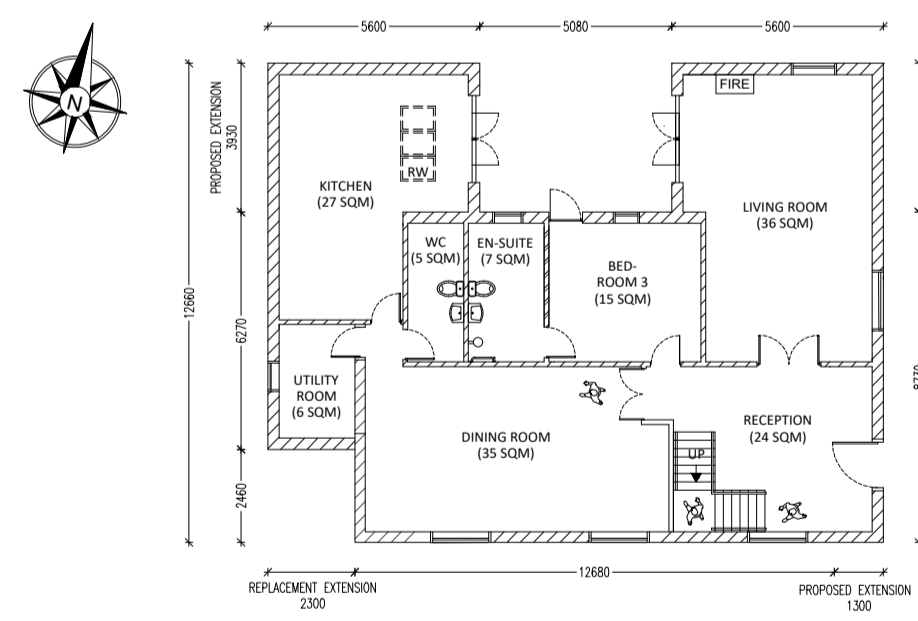
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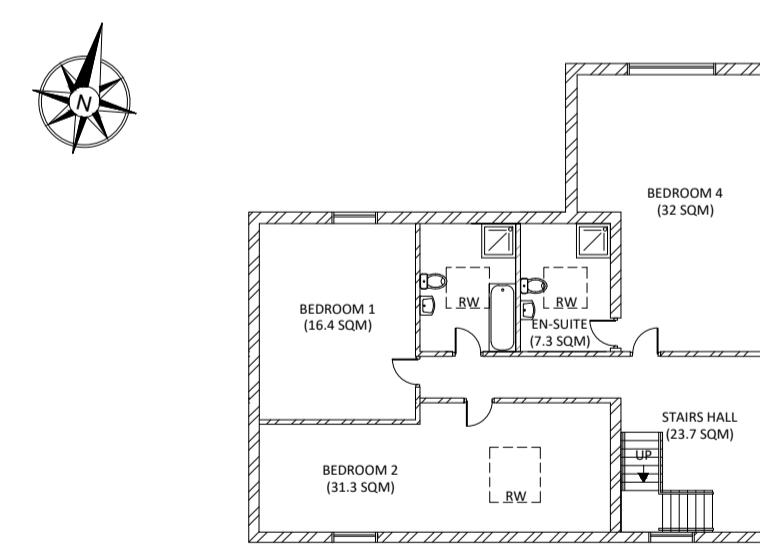
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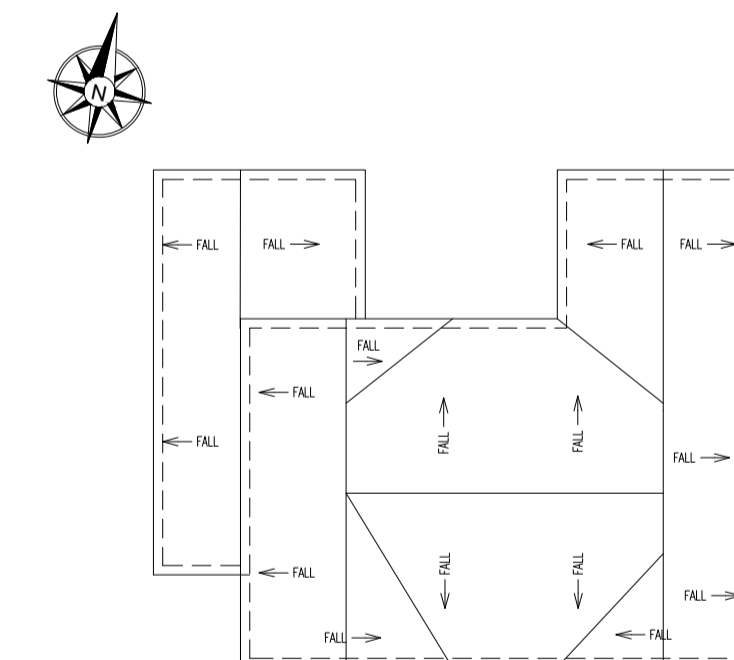
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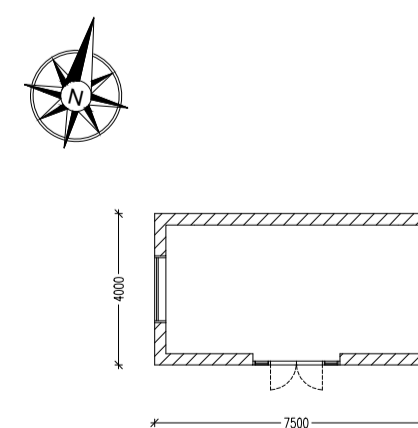
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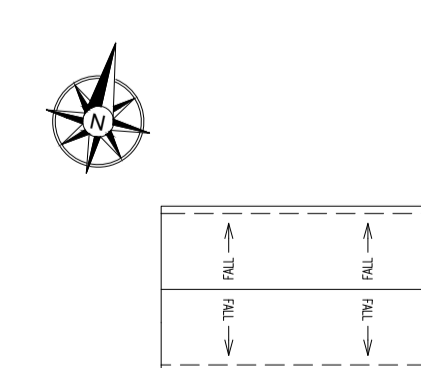
**PROPOSED FIRST-FLOOR LAYOUT**



**PROPOSED ROOF PLAN**



**PROPOSED OUTBUILDING FLOOR LAYOUT**



**PROPOSED OUTBUILDING ROOF PLAN**

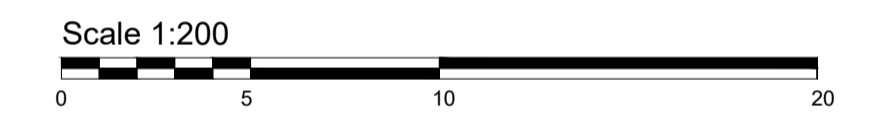
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**KEY**

- EXISTING
- PROPOSED
- RED LINE BOUNDARY
- RW ROOF WINDOW

**GROSS INTERNAL AREAS**

FLOOR LEVEL	EXISTING	PROPOSED	VARIATION
GROUND	109.4m <sup>2</sup>	161.5m <sup>2</sup>	+52.1m <sup>2</sup>
FIRST	61.0m <sup>2</sup>	128.9m <sup>2</sup>	+67.9m <sup>2</sup>
<b>TOTAL</b>			<b>+120.0m<sup>2</sup></b>



Rev.	Date	Description of revision	Drawn	Review'd	Issued	Approved
A	08/11/23	FOLLOWING PRE-PLANNING ADVICE	KA	-	-	-
-	-	-	-	-	-	-
-	-	-	-	-	-	-

**FOR PLANNING USE**



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SCHEME TITLE  
**PROPOSED DWELLING EXTENSION  
 CROFTERS, UPPER ST, HIGHAM,  
 COLCHESTER, CO7 6ND**

DRAWING TITLE  
**EXISTING & PROPOSED  
 LAYOUTS**

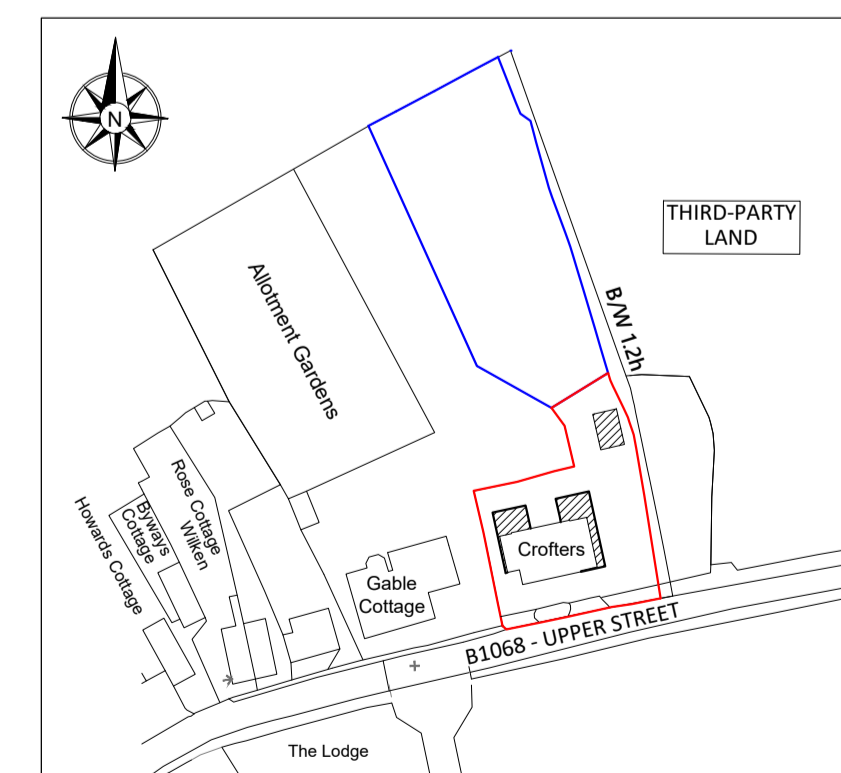
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KA	RF	KA
DATE	DATE	DATE
20/01/22	01/07/23	21/07/23

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 LEVELS IN METRES **1:200**

DRAWING No. **220301/D/210/02** REV. **A**



**BLOCK PLAN (1:200)**

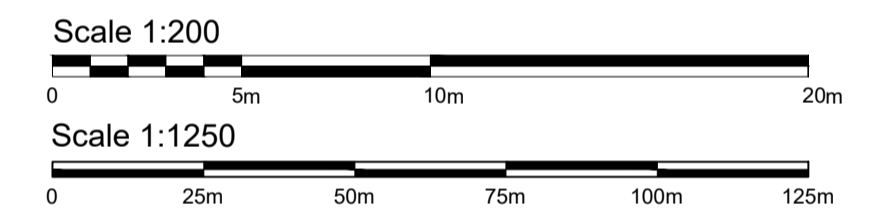


**LOCATION PLAN (1:1250)**

**GENERAL**  
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**KEY**

- EXISTING
- PROPOSED
- RED LINE BOUNDARY
- BLUE LINE BOUNDARY
- ▨ PROPOSED EXTENSIONS



Rev.	Date	Description of revision	Drawn	Review'd	Issued	Approved
A	08/11/23	FOLLOWING PRE-PLANNING ADVICE	KA	-	-	-
-	-	-	-	-	-	-
-	-	-	-	-	-	-

DRAWING STATUS  
**FOR PLANNING USE**



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 Tel: 01206 414 930 | email: info@ayenconsulting.com

SCHEME TITLE  
**PROPOSED DWELLING EXTENSION  
 CROFTERS, UPPER ST, HIGHAM,  
 COLCHESTER, CO7 6ND**

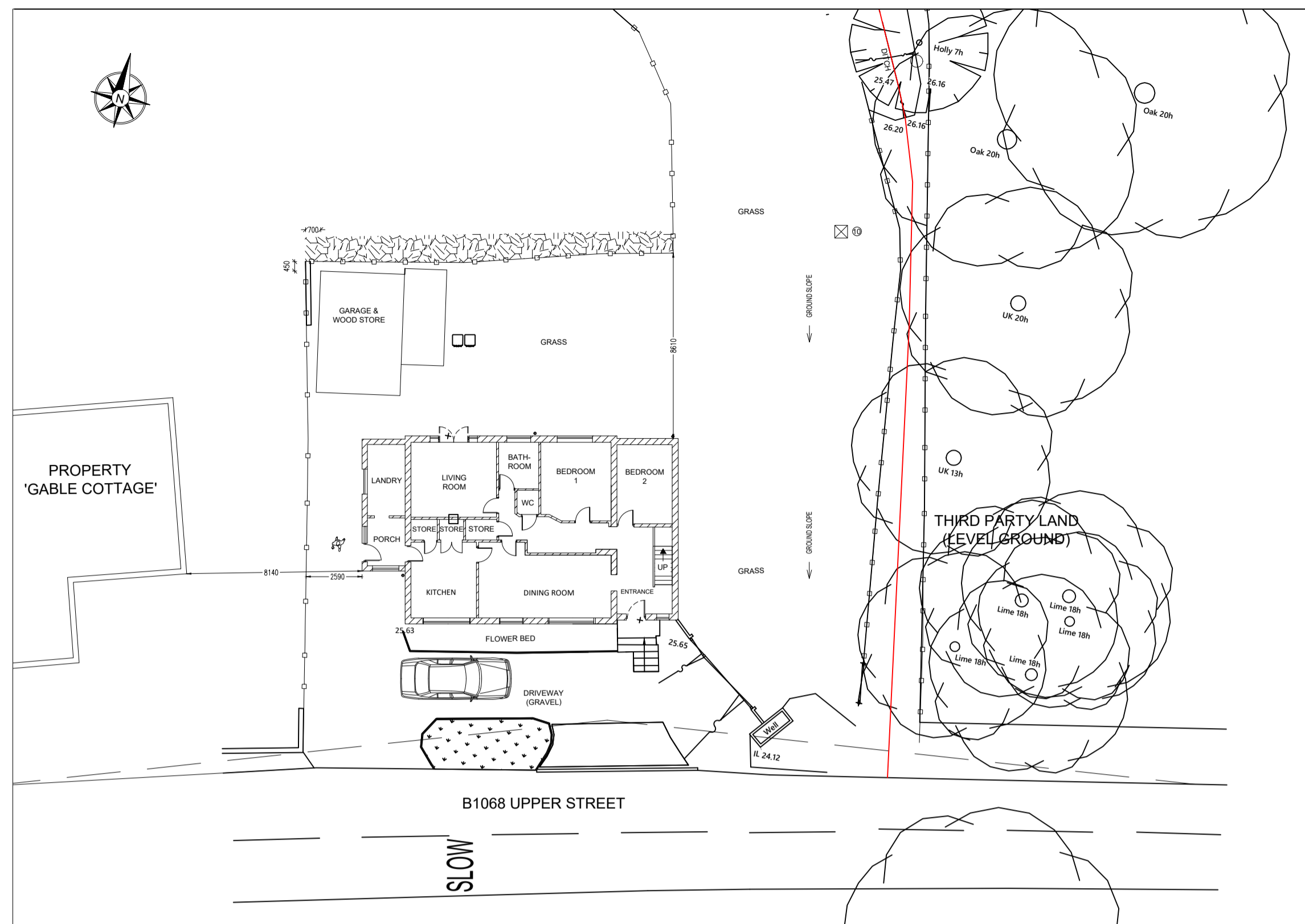
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KA	RF	KA
DATE	DATE	DATE
20/01/22	01/07/23	21/07/23

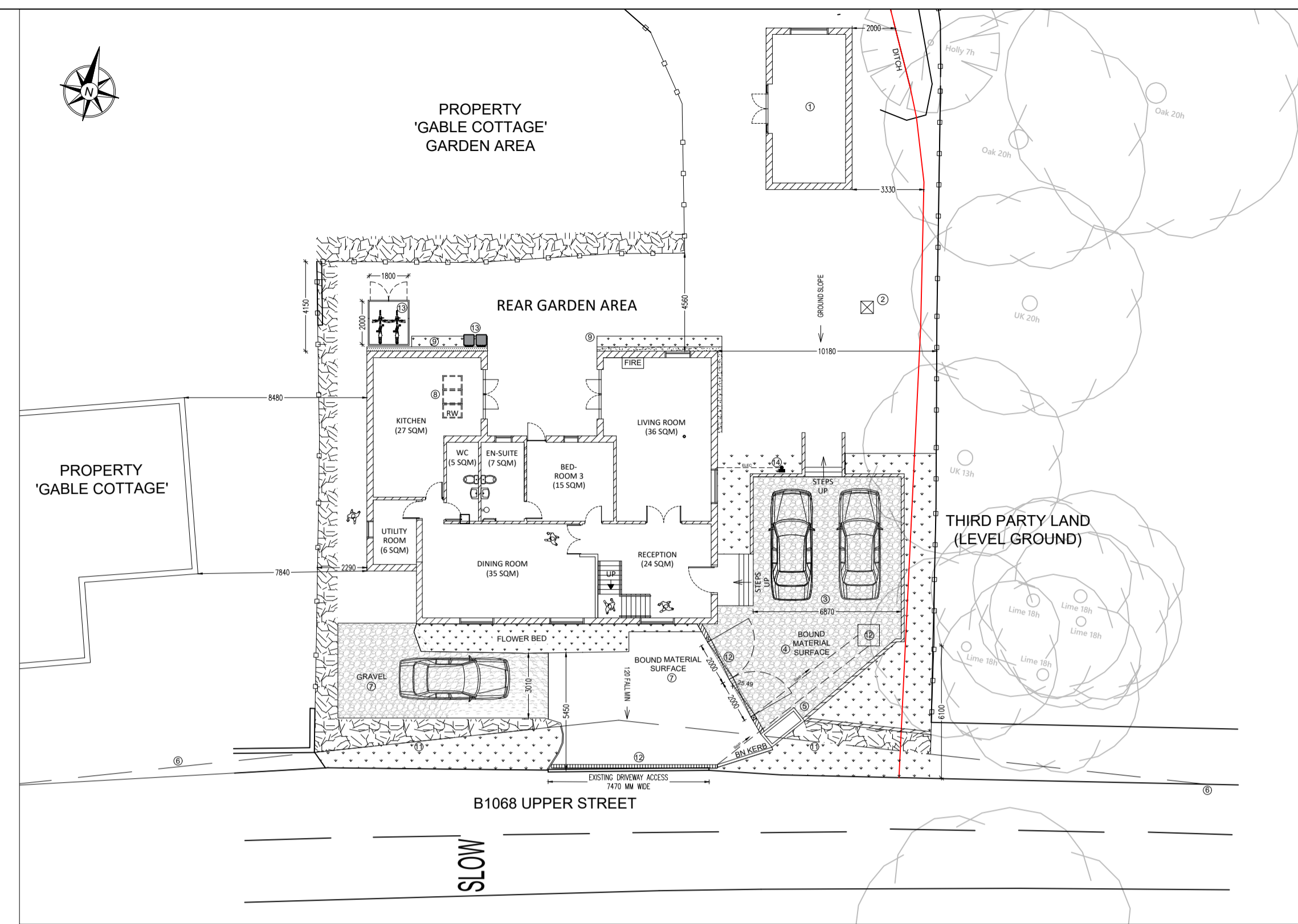
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 LEVELS IN METRES

DRAWING No. **220301/D/210/03** REV. **A**

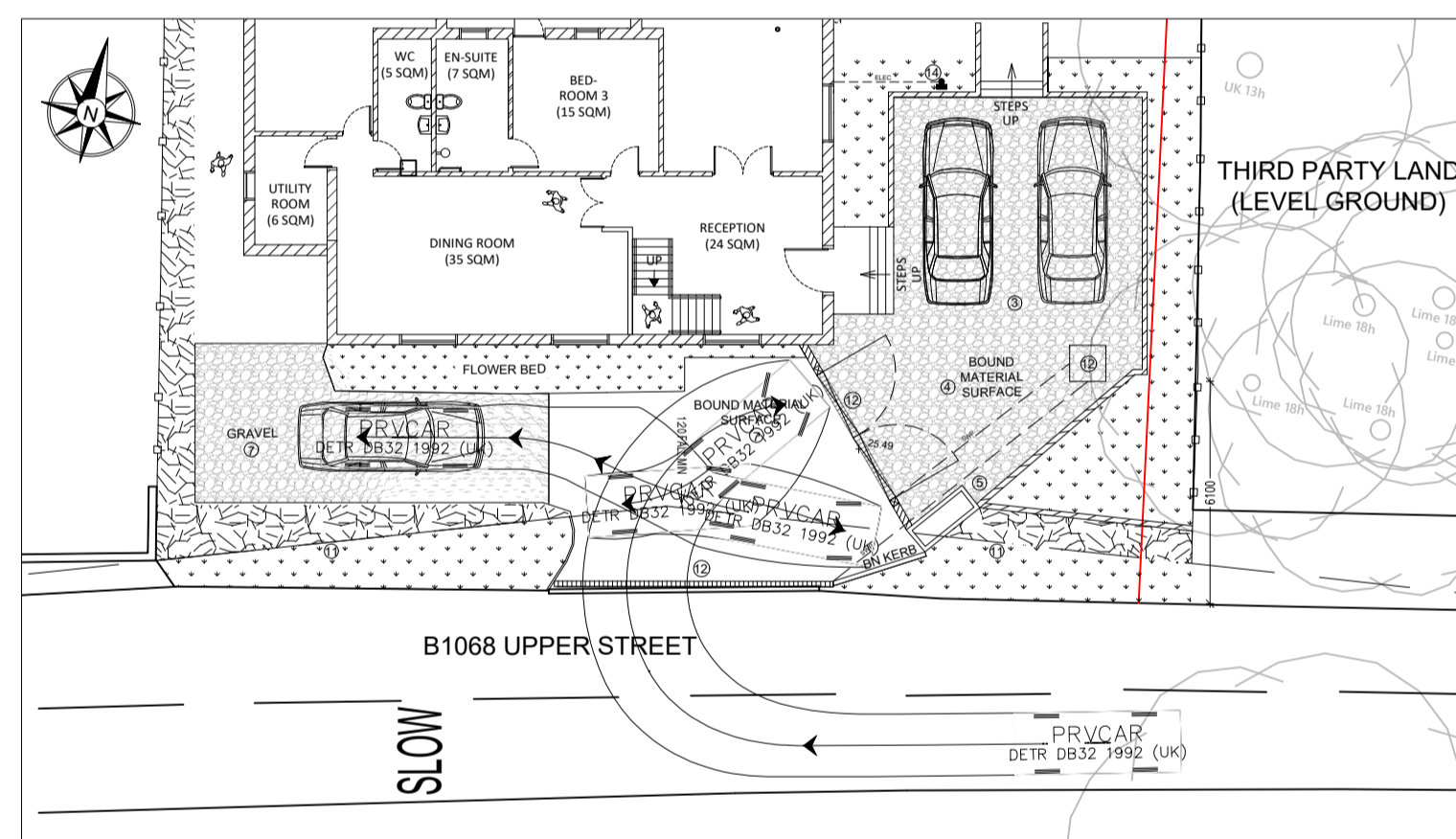




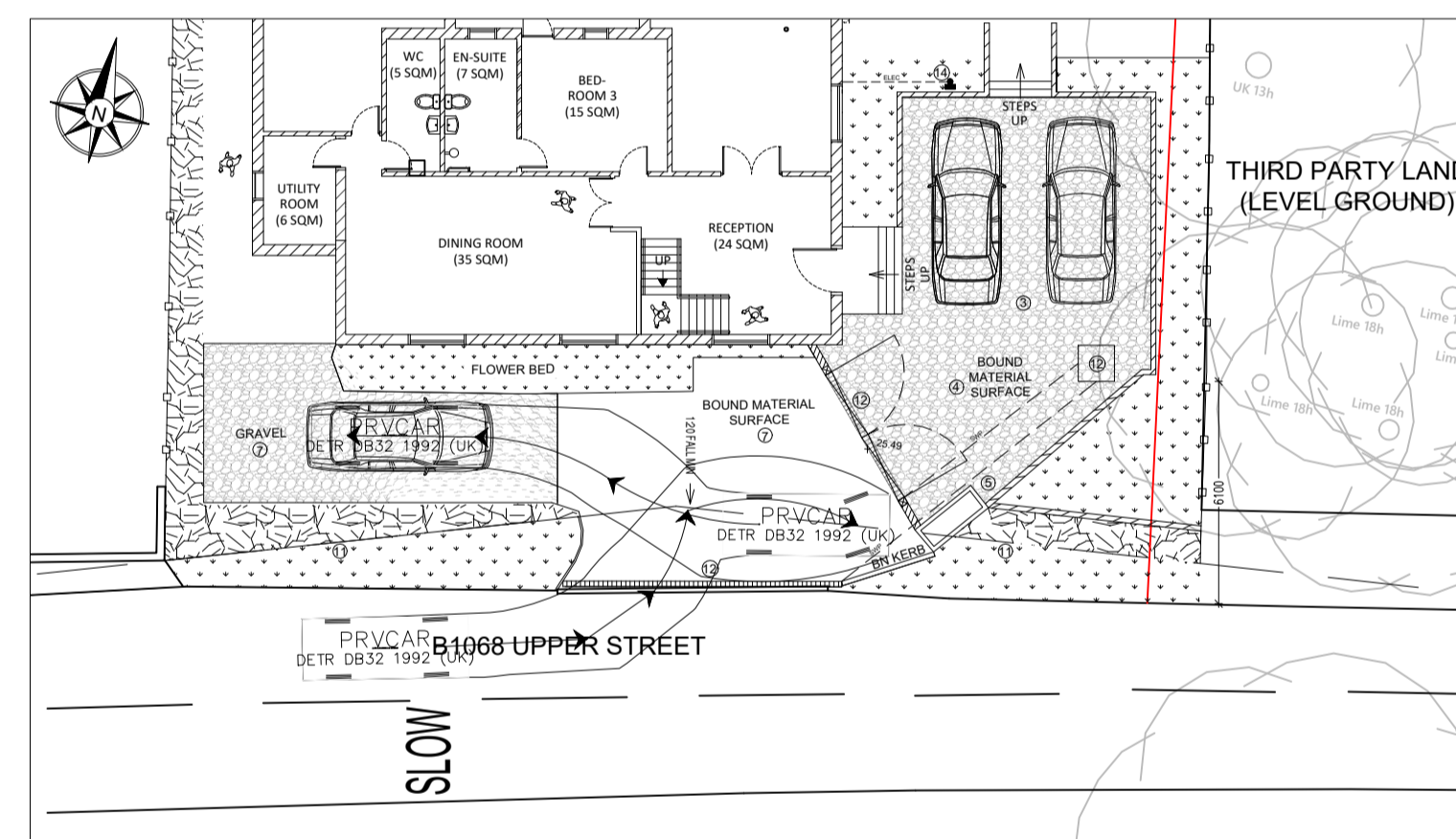
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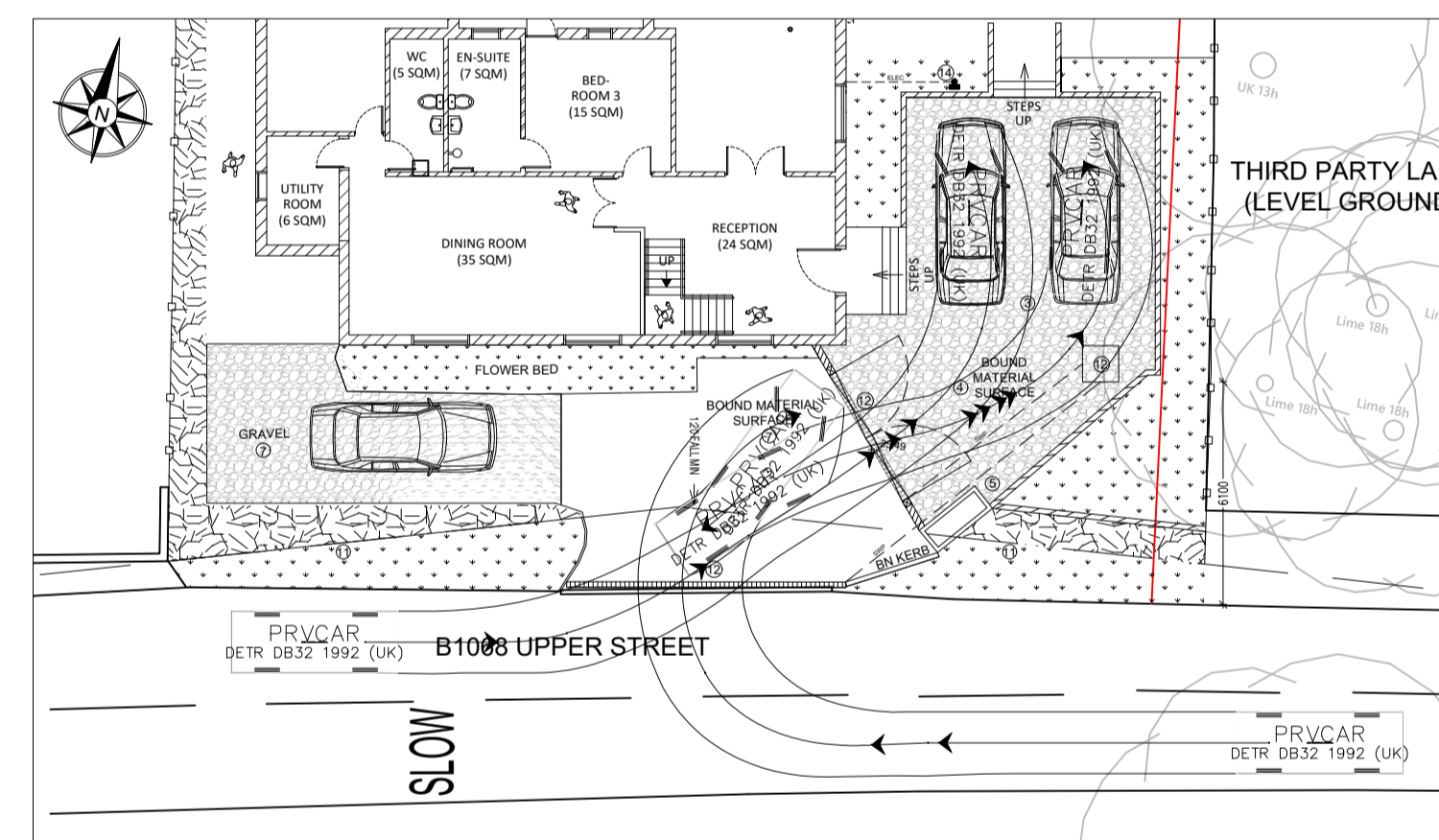
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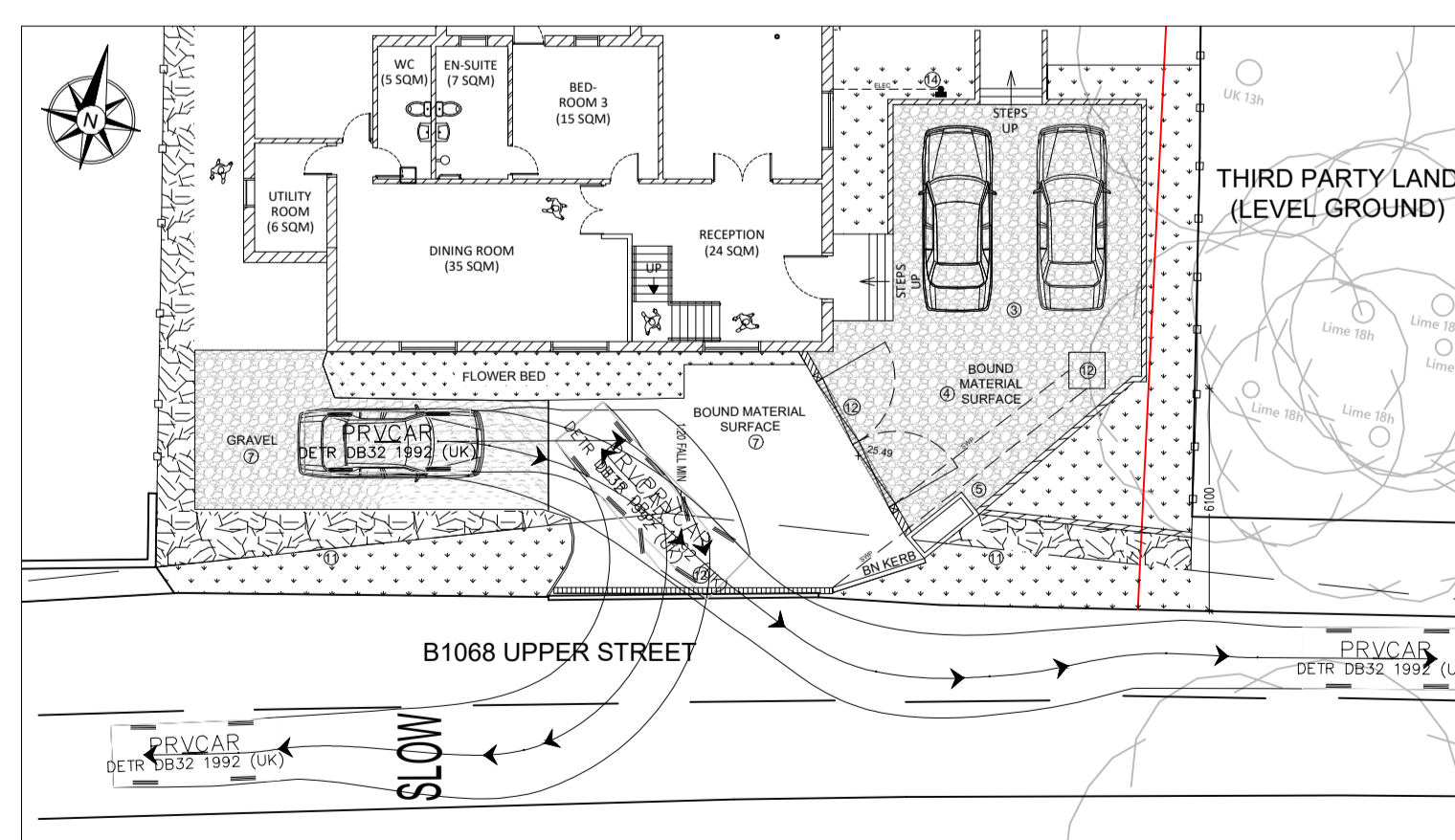
SWEPT PATH A (ENTERING)



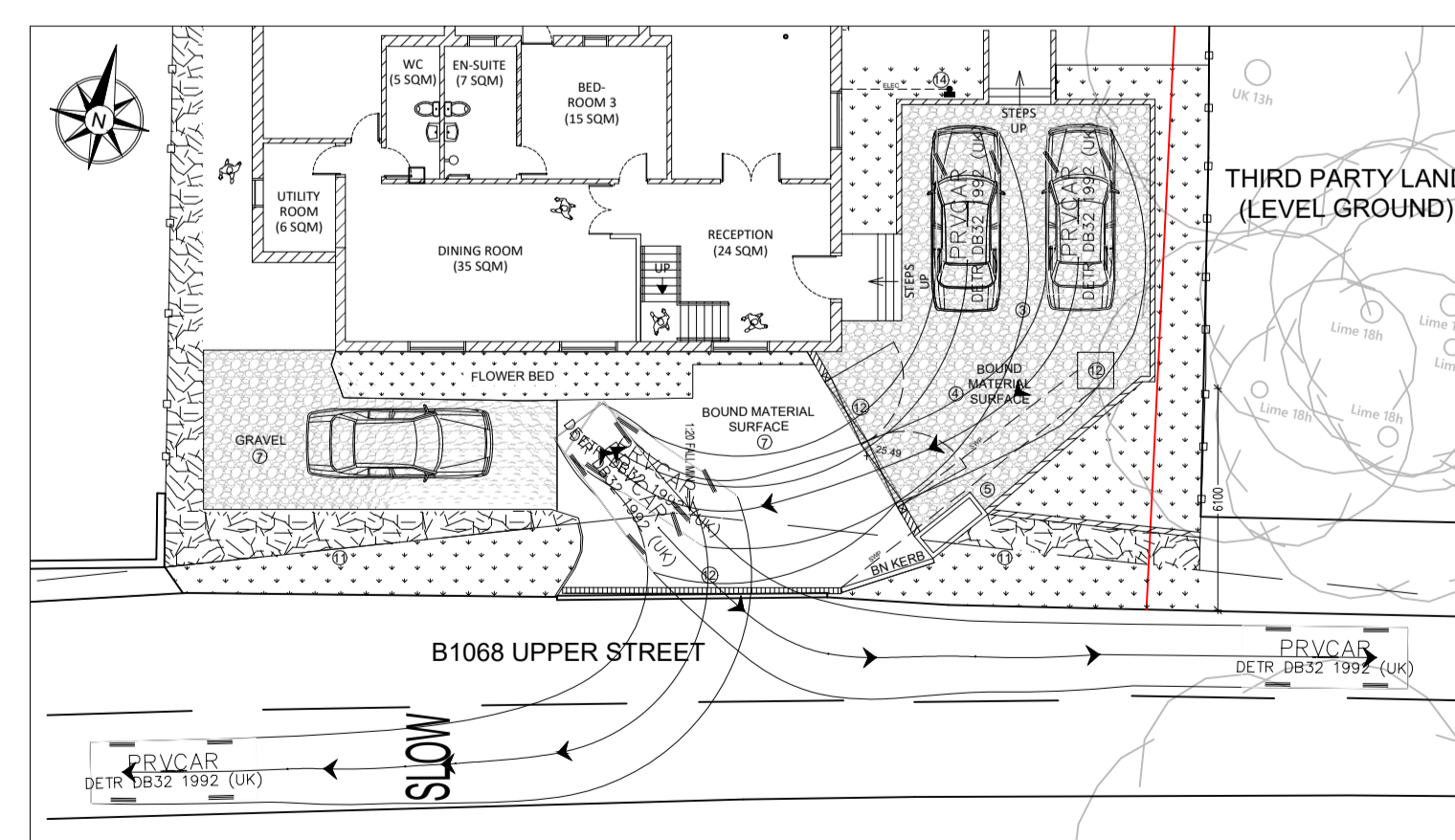
SWEPT PATH B (ENTERING)



SWEPT PATH C (ENTERING)



SWEPT PATH D (DEPARTING)



SWEPT PATH B (DEPARTING)

ANNOTATIONS

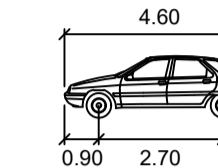
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- PROPOSED WATER TREATMENT LOCATION.
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- SHELTERED & SECURE STORAGE FOR 2NO BICYCLE AND REFUSE BIN STORAGE AREA.
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KEY

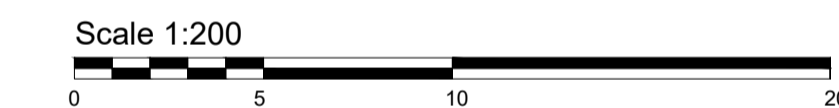
- EXISTING
- PROPOSED
- RED LINE BOUNDARY

VEHICLE PROFILE



PRIVATE CAR

- Meters
- Width : 1.70
  - Track : 1.70
  - Lock to Lock Time : 6.0 s
  - Steering Angle : 32.6 deg



Rev.	Date	Description of revision	Drawn	Review'd	Issued	Approved
A	26/09/23	CORRECTION TO EXISTING HEDGE & SPA	KA	-	-	-
B	08/11/23	FOLLOWING PRE-PLANNING ADVICE	KA	-	-	-
-	-	-	-	-	-	-

DRAWING STATUS

**FOR PLANNING USE**



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SCHEME TITLE

**PROPOSED DWELLING EXTENSION  
 CROFTERS, UPPER ST, HIGHAM  
 COLCHESTER, CO7 6ND**

DRAWING TITLE

**SITE ACCESS LAYOUT**

DESIGNED	DRAWN	ISSUED
KA	KA	KA
DATE	DATE	DATE
20/01/22	15/09/23	19/09/23

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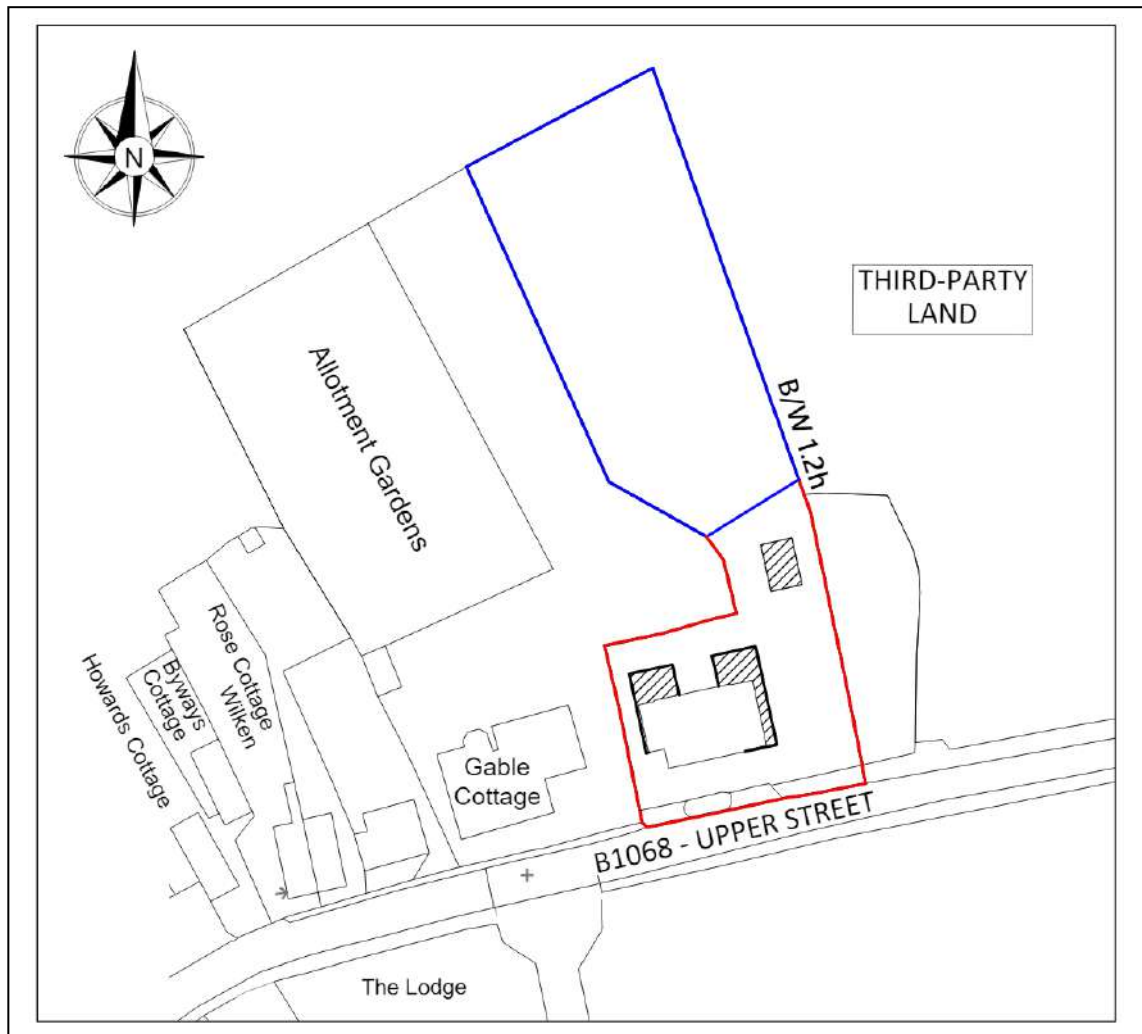
DIMENSIONS IN MILLIMETRES LEVELS IN METRES 1:200

DRAWING No. **220301/D/210/04** REV. **B**

## **APPENDIX B – PRE-PLANNING ADVICE**

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# PRE-APPLICATION ENQUIRY DC/23/03951



Crofters, Upper Street, Higham, Colchester Suffolk CO7 6ND

## Pre-application Enquiry

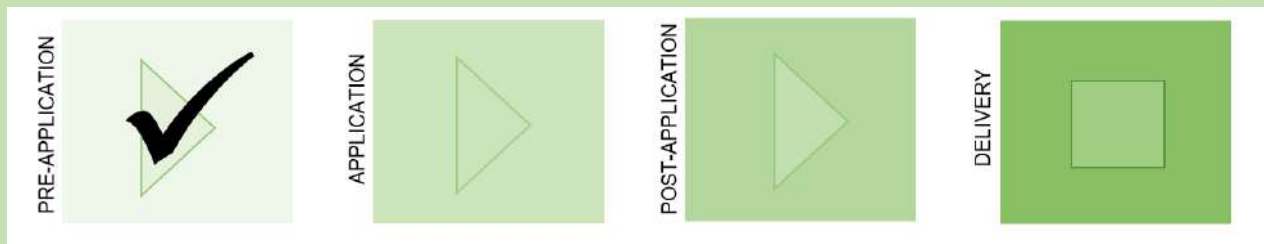
This advice is provided as part of the Council's pre-application advice service.

The advice provided here represents a professional officer opinion based on the material submitted and is given in good faith. The Council as Local Planning Authority must consider every planning application on its own merits after having regard to all material planning considerations. The advice provided here is not in respect of a planning application, has not been subject to public consultation or appropriate statutory consultations and is not necessarily accompanied by all the required supporting material and on that basis the advice is not binding on the Council as the Local Planning Authority.

This advice does not pre-determine the outcome of any subsequent planning application based on the submitted material and/or the Advice provided.

In providing this advice the Council is seeking to proactively and constructively provide support to potential applicants seeking to deliver sustainable development as encouraged by the Government within the National Planning Policy Framework [NPPF] and National Planning Practice Guidance [NPPG]

The Council is permitted to charge for this advice under the provisions of the Local Government Act 2003. The intention is to recover the cost of providing the service and not to deter applicants and their agents from engaging in pre-application discussions.



## The Proposal

### The proposed development is for:

Meeting and Written Response - Rear extension, reconstruction of 1st floor. Reposition of parking from the western side to the eastern side of the property.

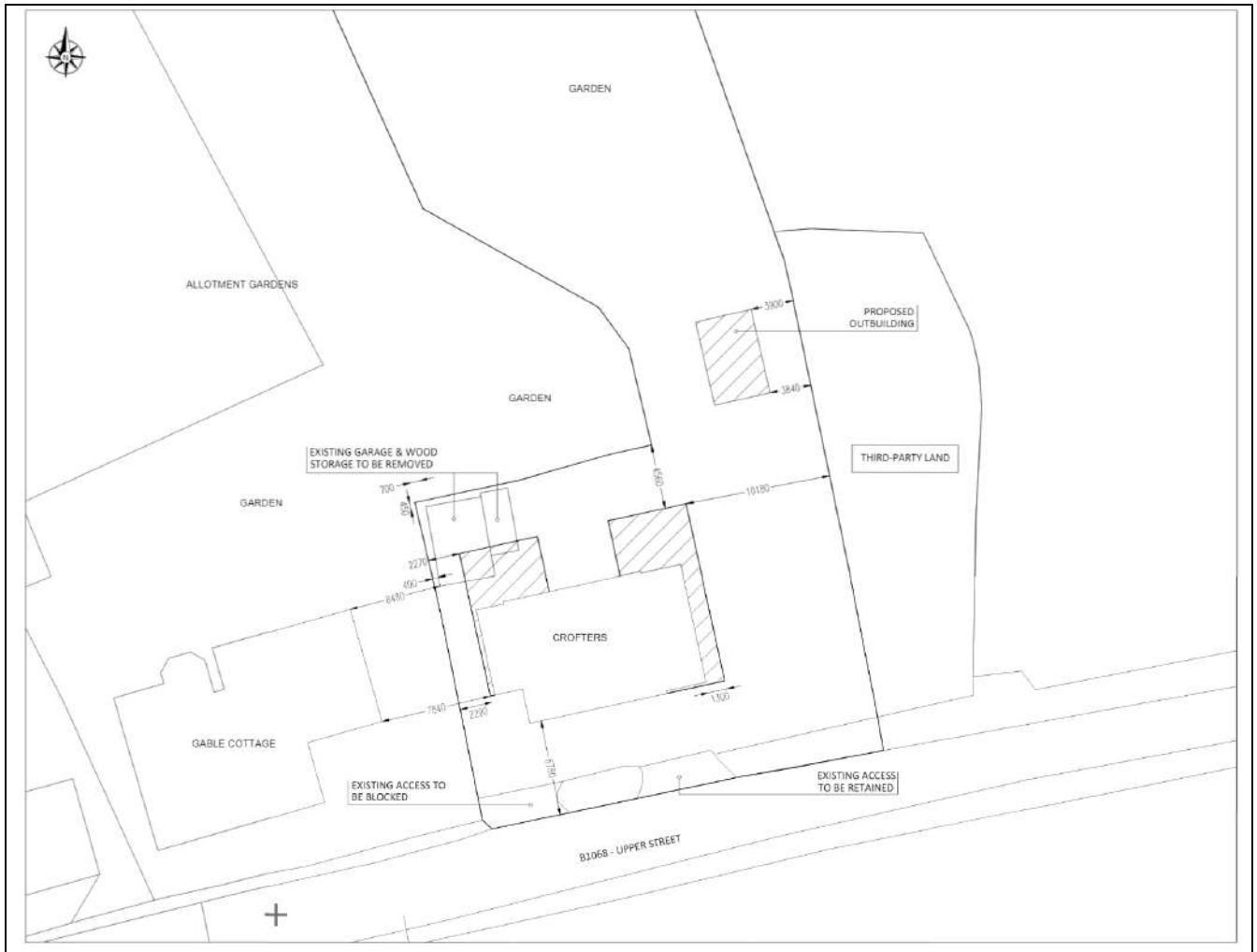
### The supporting material comprises:

Plans - Proposed 220301\_D\_210\_01 - Received 22/08/2023

Plans - Proposed 220301\_D\_210\_02 - Received 22/08/2023

Block Plan - Proposed 220301\_D\_210\_03 - Received 22/08/2023

## The Proposed Development and Site



## Relevant Planning History

<b>REF:</b> DC/22/05534	Householder Application - Erection of first floor extension to property; Erection of single storey side /rear extension and side canopied porch with balcony, outbuilding and car parking, boundary wall and gates (following demolition of the existing roof and side extension).	<b>DECISION:</b> WDN 12.01.2023
<b>REF:</b> B/06/00110	Construction of new vehicular access.	<b>DECISION:</b> GRA
<b>REF:</b> B/05/00232	Erection of two-storey side extension, insertion of 3 No. dormer windows to front elevation, and alterations to hipped roof to form gable ends.	<b>DECISION:</b> GRA
<b>REF:</b> B//91/00759	ERECTION OF PORCH/SHED SIDE EXTENSION (EXISTING SHED TO BE DEMOLISHED)	<b>DECISION:</b> GRA 07.08.1991

## Planning Policy

### Emerging Local Plan – New Joint Local Plan

The Joint Local Plan will replace the current Local Plan, for both Babergh and Mid Suffolk District Councils.

The Joint Local Plan has been at examination for review by an Inspector. Following a meeting with the Inspector in December 2021 it is proposed to split the plan into two parts.

Part 1 will include policies, setting out development which is acceptable, and restrictions to development. These Part 1 policies will then be reviewed and subject to change by the Inspector through examination. During this process the policies will gain more weight. This will mean they become more relevant when determining planning applications.

Once Part 1 of the Plan moves towards adoption, and then becomes adopted the Councils will have an up to date plan. This may affect the advice given in this pre-app enquiry.

Part 1 of the Joint Local Plan will be followed by the preparation of Part 2 as soon as possible. Part 2 will be an allocations document, detailing sites across the district for development.

You are advised to look at the progress of the Joint Local Plan as it comes forward. The new policies may impact on your proposal. Details are available on the link below:

<https://www.midsuffolk.gov.uk/planning/planning-policy/new-joint-local-plan/>

### National Planning Policy Framework (NPPF)

The NPPF was revised in 2021, and includes, at its heart, a presumption in favour of sustainable development, however this does not affect the statutory status of the development plan (Local Plan) as the starting point for decision making.

#### The Council's Adopted Development Plan is:

Babergh Local Plan (2006), Babergh Core Strategy (2014)

#### Relevant Policies include:

NPPF - National Planning Policy Framework  
CN01 - Design Standards  
HS33 - Extensions to Existing Dwellings  
CS01 - Applying the presumption in Favour of Sustainable Development in Babergh  
CS15 - Implementing Sustainable Development  
TP15 - Parking Standards - New Development  
SP03 - The sustainable location of new development  
LP03 - Residential Extensions and Conversions  
LP23 - Sustainable Construction and Design  
LP24 - Design and Residential Amenity

#### Constraints

The site is located within the parish of Higham, with neighbours to the West. The site forms part of a

special landscape area. The dwelling is currently one and a half storey in nature with two storey dwellings located to the West.

## **Consultation Responses**

### **SCC - Highways**

Thank you for seeking pre-application advice for this proposal. Suffolk County Council in its capacity as Local Highway Authority has assessed the information supplied and makes the following comments:

#### **Access**

SCC will require a condition to be applied to any formal planning permission to ensure that existing visibility splays of 27 metres in the eastern direction and 29 metres in the western direction are retained as a result of the development. No obstruction to visibility shall be erected, constructed, planted or permitted to grow over 0.6 metres high within the areas of the visibility splays. This is in order to maintain intervisibility between highway users in the interests of highway safety.

Any existing access which would become redundant through development will be required to be permanently “stopped-up”.

The retained, vehicular access should be surfaced with a bound material for a minimum 5 metres measured from the nearside edge of the carriageway to avoid unacceptable safety risks arising from materials deposited on the highway from the development.

The applicant must ensure that any discharge of surface water from the development does not enter highway maintainable at public expense. Therefore, suitable drainage infrastructure should be provided on the private side of the development access, and any other areas which may encounter surface water runoff. A suitable discharge destination should also be determined. Any soakaway must maintain a minimum clearance of 5.0 metres from highway maintainable at public expense.

SCC will require a condition to be applied to any formal planning permission to ensure that the vehicular access is not steeper than 1 in 20 for the first five metres measured from the nearside edge of the highway and not steeper than 1 in 12 thereafter.

#### **Vehicle Parking and Turning**

On-site parking and turning and electric vehicle (EV) charging infrastructure should be provided in accordance with Suffolk Guidance for Parking 2019 or subsequent revisions (SGP). SGP is available for download via:

<https://www.suffolk.gov.uk/planning-waste-and-environment/planning-and-development-advice/parking-guidance>

As per Suffolk Guidance for Parking (2019), a Class C3 dwelling with 4 or above bedrooms should benefit from 3 vehicle parking spaces with suitable turning facilities. It is considered that development accords with the above where suitable vehicle parking and turning facilities have been evidenced on Drawing No. 220301/D/210/04 Rev. A.

As per SGP, ducting and a suitable consumer unit to allow for the installation of one wall charging unit should be provided per dwelling.

### **Cycle Parking**

This development proposes an additional bedroom and potential loss of secure and covered cycle storage in the form of a garage. Therefore secure and covered cycle storage facilities should be provided in accordance with Suffolk Guidance for Parking (2019). The cycle storage should be conveniently located and accessible to promote the use of sustainable transport. It should be noted that clear internal dimensions of 1.8 metres in width and 2 metres in depth should be provided to be considered a sufficient area for the storage of 2 cycles which can be easily accessed.

### **Additional comments**

Gates or other means of obstruction to the access shall be set back a minimum distance of 5 metres from the public highway and shall not open towards the highway.

The applicant should provide areas for the storage and presentation of refuse/recycling bins due to the reduction in a viable bin presentation area. The areas to be provided for the storage and presentation of refuse/recycling bins should be located within the development, outside of the public highway or any visibility splays.

The above pre-application advice is caveated and based on the information supplied to Suffolk County Council as Local Highway Authority and made readily available using the standards, guidance and policies relevant at that time.

The above pre-application advice does not bind Suffolk County Council on its response to any future planning applications or agreements.

### **Landscape - Place Services**

Thank you for consulting us on the Pre-Application for Rear extension, reconstruction of 1st floor. Reposition of parking from the western side to the eastern side of the property.

This letter sets out our consultation response to how the proposal relates and responds to the landscape setting and context of the site.

### **Context**

The site is next to Higham Conservation Area and in the Dedham Vale Area of Outstanding Natural Beauty (AONB). The proposal should therefore seek to accord with national and local policies and positively contributes to the purposes of the AONB designation. Therefore, the opportunity should be taken for the developer to improve the environment of which it is built.

### **The Proposal**

The proposal includes alterations to the dwelling and extension to the rear, relocation of parking to the eastern side of the property and associated fencing, gates and steps.



At the pre-application meeting, the use of appropriate surfacing material and fencing style was discussed. Below are our recommendations:

- New fencing and gates should be in keeping with the existing timber gates in the surroundings. From the presented options, a straight profile will be preferred. Height should be kept to a minimum to avoid creating an urbanised character. We would recommend that new gate/fence is to match height of the existing metal fence. A slight increase in height could be acceptable but should not be higher than the well.
- Existing access point will be retained. Surfacing material to the driveway area immediately to the front should be kept as loose gravel/shingle to match existing character along B1068 Upper Street. The use of cobbles to the parking area to the eastern part of the site was discussed and considered acceptable. Any design alterations to the existing access will need to be carefully designed as to avoid an urbanised character which could then impact on the setting of the listed building, the rural character of the site and its surroundings, including the aesthetic qualities of Higham Conservation Area.
- The front elevation needs improving by including new native mix hedge planting. The mix should reflect the existing species mix hedge in the locality and only using native species. Place Services is a traded service of Essex County Council The new hedge should be maintained to a height of 0.6m to comply with visibility splay requirements.
- Additional landscaping adjacent to property, similar to existing, will be recommended to soften the built form and improve visual amenity. Wildlife friendly species can be used to increase biodiversity.

### **Submission Documents**

If the applicant is forthcoming with a planning application, we recommend the following documents are submitted:

1) As for any proposal, a planning application will need to be supported by detailed landscape plans. This should include any proposed changes in ground levels and accurately identify spread, girth and species of all existing trees, shrubs, and hedgerows in the surrounding area. A specification of soft landscaping, including proposed trees, planting and seed mixes must be included. The specification should be in line with British Standards and include details of planting works such as preparation, implementation, materials (i.e., soils and mulch), any protection measures that will be put in place (i.e rabbit guards) and any management regimes (including watering schedules) to support establishment. This should be accompanied by a schedule, with details of quantity, species, and size/type (bare root, container, etc).

Note to planting protection measures: if individual guards are used, we would recommend an alternative to plastic guards, such as guards manufactured from 100% biodegradable materials.

2) A detailed boundary treatment plan and specification will need to be submitted.

### **Advice:**

#### **Principle of Development**

The proposal requests officer's opinion on the following works. Rear extension, reconstruction of 1st floor. Reposition of parking from the western side to the eastern side of the property.

The principle of development is acceptable and would likely be considered in accordance with Policy CN01 of the Babergh Local Plan, however this is subject to detail at an application stage.

On 19<sup>th</sup> September 2023, the Babergh and Mid Suffolk District Councils received the Inspectors' report on the examination of the Joint Local Plan. The Inspectors' have concluded that, subject to the recommended modifications, the Plan is sound. Accordingly, officers have considered the modified policies having regard to the requirements of paragraph 48 of the NPPF, as relevant to the determination of this planning application. The JLP and its policies are a material consideration of significant weight in this case.

Relevant policies of the Joint Local Plan include LP03 which relates to the extension of (and conversion of buildings ancillary to) residential dwellings; LP24 which requires all new development to be of a high standard, protecting the character and amenity of the existing area and LP29 which requires that development provides sufficient parking provision.

The relevant policies have been covered in the relevant sections below.

## **Design**

The overall scale of the proposal is considered to reflect the character of the area.

Policy CN01 of the Babergh Local Plan is relevant. The Policy states all new development proposal will be required to be of appropriate scale, form, detailed design, and construction materials for the location. Proposals must pay particular attention to:

- The scale, form and nature of adjacent development and the environment surrounding the site;
- The materials forming the external elevations and roofs of the buildings;
- Retaining and incorporating local features, both natural and built;
- Existing and proposed hard and soft landscaping;
- Creating interesting and attractive public and private spaces in and around the development;
- The content of any adopted Village Design Statements.

Particular attention is brought to policies LP23 and LP24 as these relate to design and residential amenity. LP23 seeks to ensure the principles of sustainable design and construction are integrated into all new developments. This sets out a number of criteria that are required to be adhered to, including measures to reduce CO2 emissions through design.

LP24 sets out matters in relation to design quality and residential amenity. The policy sets out a number of criteria that are required to be addressed through a development.

All new development must be of high-quality design, with a clear vision as to the positive contribution the development will make to its context. As appropriate to the scale and nature of the development, proposals must;

- Respond to and safeguard the existing character/context;
- Create character and interest;
- High-quality design and architecture with climate change adaptation should be in all development design. Adaptation could include to protect against extreme weather events including heat and excessive rain;
- Be designed for health, amenity, well-being and safety; and

- Meet Space Standards.

Whilst this list is not exhaustive, and the full policy lays out the criteria required. The design of the proposal will need to ensure it responds positively to the policy. Particularly given the increase in scale, we would need to understand how the proposed massing will not unduly impact the character of the area through appropriate design.

### **The Historic Environment**

A proposal that includes the curtilage or setting of a Listed Building or works to a Listed Building must respond to this significant consideration. The duty imposed by the Listed Buildings Act 1990 imposes a presumption against the grant of planning permission which causes harm to a heritage asset. A finding of harm, even less than substantial harm, to the setting of a listed building must be given “considerable importance and weight\*”. (\*Bath Society v Secretary of State for the Environment [1991] 1 W.L.R. 1303)

There is a listed building known as Gable Cottage to the West. Any application submitted would be subject to a consultation with the Heritage Team for their comments. It can be seen that heritage pre-application advice has been sought for the proposal previously and this scheme has been brought forward following those discussions.

### **Highways, Access and Parking**

There is an indicative plan provided showing parking arrangement on the site. It is noted that the space created within the dwelling, as well as the parking provision to the front of the site would require the parking space to be extended, however from the plans provided it is likely this would be possible.

A number of comments have been provided by the Highways Authority, as detailed above, and it is suggested that these are addressed in any application to ensure that highways matters have been addressed.

### **Landscaping**

This site is within a Special Landscape Area which means the proposal must not adversely impact the landscape and should be sympathetic in its setting.

The Landscaping adviser has been consulted as part of this Pre-Application and has provided comments above. These comments should form part of any submission brought forward.

### **Residential Amenity, Safe and Secure Communities**

The impact on residential amenity will need to be assessed at application stage. The proposal has neighbouring properties to the West and given the increase in height and introduction of a number of further windows, the proposal will need to be designed in such a way as to not impact the existing residential amenity of the neighbouring property. It can be seen from the plans provided that there are very limited openings with any potential for overlooking and as such it is unlikely this will form a reason for refusal in that respect. The proposal will also need to be designed in such a way as to not overly shadow or dominate the neighbouring property and respect the amenity space to the rear.

## Conclusions/ Planning Balance

The scheme has come forward following a previous pre-application as well as a Heritage Pre-Application. The design of the scheme has been altered to reflect these changes and given the above responses from the Highways Authority and the Landscape Consultant it may be such that the scheme changes further. The scheme as a whole is likely to be acceptable in principle and would likely receive officer support given the two storey character of the area.

Matters of design, layout, highways, landscaping, and residential amenity are as above and represent a risk to the acceptability of any future scheme.

Any future application would be subject to a site visit as part of the formal application process where material considerations would be assessed in full.

## Planning Risk Assessment

This is planning advice only and as stated above information relating to design, landscaping and residential amenity is required and once submitted might affect the recommendation on any application.

This advice is informal officer opinion only and made without prejudice to the formal determination of any application. If you want a formal opinion, then you will need to make an application with its associated supporting documentation, plans and fee.

All applications will be subject to consultation and publicity and any proposal may be subject to a call-in by a Councillor for determination at Development Control Committee

## Expected Supporting Material in the Event of a Planning Application

Our Joint Local Validation Checklist sets out the details required for each application and this is available at <https://www.babergh.gov.uk/planning/development-management/apply-for-planning-permission/national-and-local-validation-requirements/> However on the basis of the information provided I would particularly draw your attention to the need to provide:.....

- Site Location Plan
- Block Plan
- Elevation Plans
- Floor Plans
- Parking Plan
- Materials Schedule

This is not an exhaustive list of all documents and information which need to support your application, as mentioned above please consult the Joint Local Validation Checklist.

- For Householder development (not suitable for joint Listed Building Application) you can submit electronically on our website <https://www.midsuffolk.gov.uk/planning/development-management/apply-for-planning-permission/>
- For all types of development you can submit electronically via the Planning Portal [https://www.planningportal.co.uk/info/200232/planning\\_applications](https://www.planningportal.co.uk/info/200232/planning_applications) (please note that applying via this site may incur a submission charge)

- For all types of development you can download the relevant application form from the Planning Portal and send to us by email or post  
[https://www.planningportal.co.uk/info/200126/applications/61/paper\\_forms](https://www.planningportal.co.uk/info/200126/applications/61/paper_forms)

## Application Progress

If you submit a formal application we recommend you track its progress by searching using your application reference on our [Public Access webpage](#) and reviewing any comments received.

Technical Consultees are expected to provide formal comments within 21 days from the validation date but may do so sooner. By tracking the progress of your application this can allow you to review comments and provide any additional information during the course of the application.

Note: Pre-applications are not available to search online.

You can register and sign up to receive alerts for your application and any others in your area. Details of how to register can be found on our website via this link:

<https://www.babergh.gov.uk/assets/DM-Planning-Uploads/Idox-PA-3.1-for-Planning-User-Guide.pdf.pdf>

## **Contributions**

### **Community Infrastructure Levy**

Applications for development are subject to Community Infrastructure Levy (CIL).

All new build development over 100sqm (internal), including residential extensions and annexes and all new dwellings regardless of size must pay CIL.

CIL is payable on Permitted Development as well as Planning Permission development

CIL is payable when the development is commenced and you must notify of commencement using the appropriate forms

Failure to submit a Form 6 Commencement Notice and give a minimum of 1 day's notice of commencement will result in the loss of exemptions, relief and/or the right to pay CIL by instalments.

As part of any application you will need to submit the appropriate CIL form. Further information is available on our website:

<https://www.midsuffolk.gov.uk/planning/community-infrastructure-levy-and-section-106/community-infrastructure-levy-cil/>

The CIL forms are also available online:

[https://www.planningportal.co.uk/info/200126/applications/70/community\\_infrastructure\\_levy/5](https://www.planningportal.co.uk/info/200126/applications/70/community_infrastructure_levy/5)

The phasing of community infrastructure levy (CIL) payments may be very important to your cash flow and viability of a development, especially for major developments and any development with Self Build Housing aspirations. If it is intended at any time that your development will be phased then you will need to ensure such phasing is expressly detailed in the planning application prior to determination. You should ensure phasing is clear within the description of development, any conditions imposed and any planning obligations. You will need to also ensure the planning case officer is fully aware of the intention to phase the development and include a phasing plan that shows the relevant phases of the development as well as a clear linear sequence of such phases that would align with the phasing of CIL payments you would find acceptable.

## Building Control

Pre-application advice is also available from our Building Control Team. Find information online: <https://www.midsuffolk.gov.uk/building-control/> or contact the Building Control Manager, Paul Hughes, on 01449 724502. We can offer specialist support, local knowledge and a quality service with expert independent and impartial advice.

Charges include access to the surveyor appointed for any query that may arise before or during construction as well as a tailored inspection regime including inspections which only need to be booked by 10am on the day the inspection is required.

We can also provide carbon emission / fabric energy efficiency calculations at pre-application stage to support planning applications and the necessary Part L calculations and Energy Performance Certificates for Building Regulations compliance and our partners at LABC Warranty can offer a very competitive warranty for all new dwellings which we would be happy to provide further details for / liaise with on your behalf.

## NOTES

Please note that any advice provided by the Council's Officers is informal opinion only and is made without prejudice to any formal determination which may be given in the event of an application being submitted. In particular, it will not constitute a formal response or decision of the Council with regard to any future planning applications, which will be subject to wider consultation and publicity. Although the Case Officer may indicate the likely outcome of a subsequent planning application, no guarantees can or will be given about the decision.

This advice is based on the information provided, background details and constraints at the current time. These circumstances can change and this may affect the advice you have received. You may wish to seek confirmation that the circumstances have not changed if you are considering submitting an application and any substantial amount of time has passed since the date of this advice.

**Harry Goodrich**

Senior Planning Officer

Tel: 07543 237398

Email: [harry.goodrich@baberghmidsuffolk.gov.uk](mailto:harry.goodrich@baberghmidsuffolk.gov.uk)

24th October 2023

Any questions please contact us



On Mon, Aug 14, 2023 at 3:21 PM Beverley McClean  
<[Beverley.McClean@suffolk.gov.uk](mailto:Beverley.McClean@suffolk.gov.uk)> wrote:  
Dear Shona.

It was lovely to meet you and your partner on Friday morning to discuss revised plans for Crofters, Higham. Thank you for your time talking through the revised proposals Shona.

In our original response to application DC/22/05534 the AONB team raised concerns about the following issues:

- a. Scale – height increase
- b. Choice of materials for the roof and windows
- c. Failure to protect the historic built character of Higham

Following my visit on Friday I am emailing to confirm that the changes now being proposed address the issues raised by the AONB team.

The scale of the two side extensions and the 560mm increase in height now being proposed will enable the dwelling to sit much more sympathetically within the Dedham Vale AONB. These changes coupled with the fact that the extensions will sit mainly behind the existing dwelling will also help integrate the modifications within the AONB.

The site sits in the Rolling Valley Farmlands Landscape Character Type (LCT). The developed colour finish for this LCT is as follows:



You are proposing either a buttermilk or Ivory colour finish on the render. While these colours are lighter than the developed colour palette for this LCT, painting Crofters in either of your preferred colours would not be incongruous as quite a few of the existing rendered dwellings in Higham are painted in these lighter shades of cream.

From an AONB point of view, casement windows (timber), painted white will be much more in keeping with local built character, as will the clay peg tiles. The AONB team welcome these changes to the material palette.

The removal of the existing garage will deliver a small but positive visual enhancement. The replacement outbuilding proposed as part of the wider scheme



raises no issues of concern in terms of scale, siting, materials and colour from an AONB perspective.

The team has no objection to the materials being considered for the front and side parking area. The team welcomes that some soft landscaping is being considered along this roadside frontage to soften the harder landscaped areas. Of the gates, the AONB team preference would be for gate 4 or 5 on the sheet you gave me to take away.

On site, we discussed landscaping to the rear of the property. Paragraph 176 of the National Planning Policy Framework requires all schemes to help conserve and enhance the natural beauty of nationally protected landscapes like AONBs.

This can easily be delivered through an appropriate native tree and shrub planting scheme or through the installation of bird (swift or swallow) terraces on the dwelling and bat boxes for example.

It is not unusual for soft landscape schemes to be conditioned as part of planning approval. Dormouse is the flagship species for the Dedham Vale therefore a planting scheme which provides new additional habitats for this species would be very positive. We discussed lighting needs and the fact that the existing number of lights

The AONB team can advise on appropriate species and species mix if this is something you would be interested in following up.

If you have any other queries regarding the scheme relative to the AONB Shona then please get in touch again.

Kind regards  
Beverley

**Beverley McClean MRTPI**

Pronouns: She/Her/ [\(Why is this here\)](#)

AONB Planning Officer

**Dd:** 01394 445220 **M:** 07849 079285

**AONBs: Our National Landscapes**

**Dedham Vale AONB and Stour Valley Project**

**t:** 01394 445220 **w:** [dedhamvalestourvalley.org](http://dedhamvalestourvalley.org)

**Coast & Heaths AONB**

**t:** 01394 445220 **w:** [suffolkcoastandheaths.org](http://suffolkcoastandheaths.org)

**Address:** AONB Office, Saxon House, 1 Whittle Road, Hadleigh Road Industrial Estate, Ipswich IP2 0UH

**Philip Isbell**  
Chief Planning Officer – Sustainable Communities

**Babergh District Council**  
Endeavour House, 8 Russell Road, Ipswich IP1 2BX

Website: [www.babergh.gov.uk](http://www.babergh.gov.uk)



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Mr Kevin Ayen  
Colchester Business Centre  
Ayen Consulting Ltd  
1 George Williams Way  
Colchester  
Essex  
CO1 2JS

**Please ask for:** Lucy Birch  
**Your reference:** PAF540332931  
**Our reference:** DC/23/03915  
**E-mail:** [heritage@baberghmidsuffolk.gov.uk](mailto:heritage@baberghmidsuffolk.gov.uk)  
**Date:** 11th September 2023

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Dear Mr Ayen

**Proposal:** Heritage Virtual Follow-Up Meeting for DC/23/02550

**Location:** Crofters, Upper Street, Higham, Colchester Suffolk CO7 6ND

Thank you for your request for pre-application advice. I have reviewed the details submitted and provide the following information and advice:

**Site Constraints:**

Crofters is an unlisted building at the edge of Higham village. Next door, to the West, is the Grade II Listed "Gable Cottage", known on the National Heritage List for England (NHLE) as "Meadow View, Gable End and Adjoining Cottage". Crofters is also located just outside of Higham Conservation Area, and due to its position as the outermost dwelling in the village, it is integral to maintaining the character and appearance of the village.

The heritage concern relates to the potential impact of the works on the setting of the Grade II Listed "Gable Cottage", and on the character and appearance of Higham Conservation Area.

**Description of Proposal:**

Heritage Virtual Follow-Up Meeting for DC/23/02550

**Plans & Documents Considered:**

The plans and documents recorded below are those which have been considered:

Design and Access Statement - Received 18/08/2023

### **Relevant Planning History:**

DC/22/05534	Householder Application - Erection of first floor extension to property; Erection of single storey side/rear extension and side canopied porch with balcony, outbuilding and car parking, boundary wall and gates (following demolition of the existing roof and side extension).	Withdrawn 12/01/2023
B/06/00110	Construction of new vehicular access.	Granted 06/03/2006
B/05/00232	Erection of two-storey side extension, insertion of 3 No. dormer windows to front elevation, and alterations to hipped roof to form gable ends.	Granted 04/04/2005
B//91/00759	ERECTION OF PORCH/SHED SIDE EXTENSION (EXISTING SHED TO BE DEMOLISHED)	Granted 07/08/1991

### **Relevant Planning Policies:**

NPPF - National Planning Policy Framework  
CN08 - Development in/near conservation areas  
CN01 - Design Standards

### **Officer Assessment:**

This pre-application enquiry proposed the conversion and extension of the existing building. This enquiry follows previous pre-application enquiry DC/23/02550, which also proposed the conversion of the existing dwelling.

As noted on the previous enquiry, the proposed conversion of the existing bungalow is not opposed in principle. A roof design which incorporates two gables to the front elevation has been chosen, following previous advice, and is considered appropriate. This follows the omission of fenestration intersecting the eaves, which was deemed inappropriate previously. This is a relatively traditional roof form, in keeping with the surrounding buildings and the character and appearance of the conservation area.

The proposed fenestration design is also considered to be appropriate, utilising traditional casement windows with thin glazing bar details, and with the upper windows smaller than the lower to reflect a traditional architectural hierarchy. Timber is proposed for the windows to the front and side elevations, which is an appropriately traditional material, while timber-effect PVC windows are proposed for the rear windows, which would not be in view from the street or the adjacent listed building. I am not initially opposed to timber-effect PVC windows to the rear elevation only, in principle, provided they are of sufficiently high quality and reflect traditional timber joinery.

The proposed use of red-orange clay peg tiles for the main roof is considered appropriate, as a traditional material used throughout the surrounding area. The use of slate for the outbuilding roof is not opposed in principle, however as this building will be easily visible from the street, and will therefore constitute a part of the first view of the Conservation Area, I consider that a higher quality of

slate than that proposed should be used. Based on the similarity of chemical and mineral build up to traditional slates for the area, Welsh, Canadian Glendyne, and Cupa 5 and Cupa 12 slates are generally considered the most appropriate. Similarly, the use of Hardie (faux) timber planking is not appropriate, and authentic timber cladding, which is a traditional and natural material which will complement the surrounding area and materials palette, should be used instead.

### **Conclusion:**

In conclusion, the overall conversion scheme is not opposed. However, some amendments in terms of materials are needed for the proposal to be considered appropriate. An amended proposal either including higher quality materials or omitting material details (these can then be handled at the condition stage) should be provided alongside any future application.

The proposed works will require Planning Permission; I recommend that the Planning Team is consulted on the details of this application.

This advice is informal officer opinion only and made without prejudice to the formal determination of any application. If you want a formal opinion then you will need to make an application with its associated supporting documentation, plans and fee.

All applications will be subject to consultation and publicity and any proposal may be subject to a call-in by a Councillor for determination at Development Control Committee.

### **Application Submission:**

Our Joint Local Validation Checklist sets out the details required for each application and this is available at <http://www.babergh.gov.uk/planning/development-management/apply-for-planning-permission/national-and-local-validation-requirements/>. However, on the basis of the information provided I would particularly draw your attention to the need to provide:

- Site Location Plan at 1:1250
- Block Plan at 1:500
- Existing and Proposed Elevations
- Existing and Proposed Floor Plans
- Existing and Proposed Site Sections to show the relationship of the proposed building to the existing surrounding development.
- A Design and Access Statement, describing the proposed works, with clear and convincing justification for the scheme. Reference to the nearby heritage assets (including the adjacent Listed Building and Conservation Area) should also be included.

This is not an exhaustive list of all documents and information which need to support your application, as mentioned above please consult the Joint Local Validation Checklist.

We recommend that applications are submitted on the Planning Portal, which also provides further advice on making planning applications: <https://www.planningportal.co.uk/>

As part of any application you will need to submit the appropriate CIL form, which is available on our website.

I hope that this provides useful information with regards to your enquiry. If you have any queries in respect of this letter, or require clarification of issues, please do not hesitate to contact me. If you would like further discussion with regards to the detail of the proposal this would be subject to a charge for further advice, see [www.babergh.gov.uk](http://www.babergh.gov.uk) for further details.

Yours sincerely

**Lucy Birch** – Heritage Officer  
*on behalf of Philip Isbell – Chief Planning Officer – Sustainable Communities*

Please note that any advice provided by the Council's Officers is informal opinion only and is made without prejudice to any formal determination which may be given in the event of an application being submitted. In particular, it will not constitute a formal response or decision of the Council with regard to any future planning applications, which will be subject to wider consultation and publicity. Although the Case Officer may indicate the likely outcome of a subsequent planning application, no guarantees can or will be give about the decision.

Please also note, responses to pre-application enquiries are only valid for six months from the date of receipt. You should seek confirmation that circumstances have not changed if you are submitting an application outside of this period.

## **APPENDIX C – PHOTOS, WINDOWS DESIGN AND SPECIFICATIONS, LANDSCAPE PLANTING SCHEME**

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# CROFTERS – PHOTO MONTAGE OF EXISTING AND PROPOSED EXISTING VIEWS



# CROFTERS – PHOTO MONTAGE OF EXISTING AND PROPOSED

Western view close to listed building/Concrete driveway/Porch with flat roof



Pre Fabricated Garage – To be removed





# CROFTERS – PHOTO MONTAGE OF EXISTING AND PROPOSED

Front door & steps



Interior view of deteriorating porch showing rising damp, previous leakages and cracks where the walls and roof meet



# CROFTERS – PHOTO MONTAGE OF EXISTING AND PROPOSED

Rear View



Garage & Wood Store which will be removed and replaced by a small extension and greenery



# CROFTERS – PHOTO MONTAGE OF EXISTING AND PROPOSED

## Access

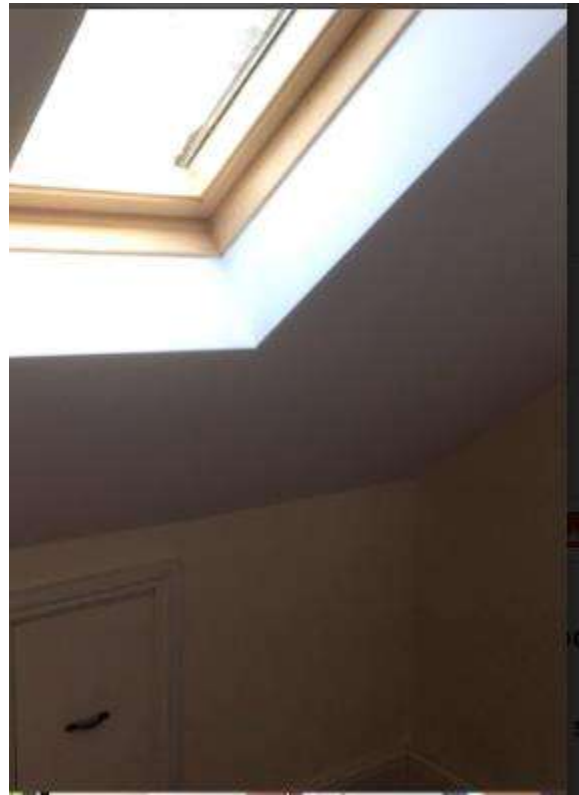


## 1<sup>st</sup> Floor Main Bedroom with severely restricted head room



## CROFTERS – PHOTO MONTAGE OF EXISTING AND PROPOSED

Nursery/Study/4<sup>th</sup> bedroom which is tiny with no headroom to stand and no room for any furniture



# CROFTERS – PHOTO MONTAGE OF EXISTING AND PROPOSED

## PROPOSED IMPROVEMENTS - LANDSCAPING

Antique weathered cobbles proposed to be used in the driveway area where permitted framed by smaller shingles (local bed rocks, not imported ones) and grass to create a softer look among the cobbles.



Red/Orange bricks retaining wall for flower beds to prevent soil erosion into the car parking area.



## CROFTERS – PHOTO MONTAGE OF EXISTING AND PROPOSED

Shed recently removed to  
make way for new timber  
outbuilding



**VIEW FROM THE FURTHEST POINT IN THE BACK GARDEN – No changes are proposed.**  
(The house is hardly visible as it is framed by the existing oak trees. The small extensions will also be framed by the same trees.)



# CROFTERS – PHOTO MONTAGE OF EXISTING AND PROPOSED PROPOSED IMPROVEMENTS

Guidance adopted from “Guidance for Planning in the AONB” -  
<https://www.dedhamvalestourvalley.org/managing/planni>

Heritage Clay Plain Roof Tile – Conservation Red



Main House Rendering – K Rend - (York, Ivory or Buttermilk)



York



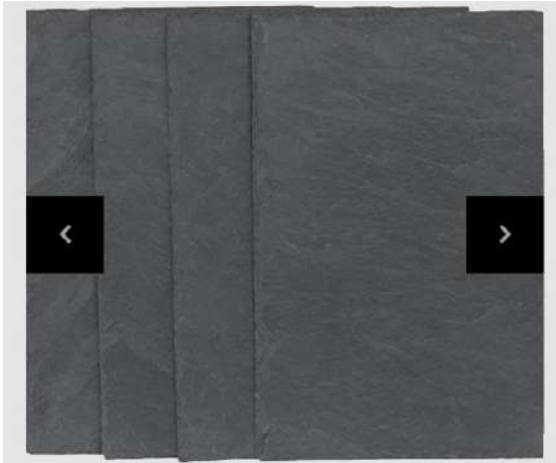
Ivory



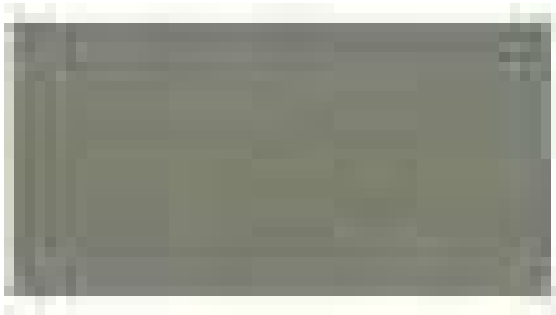
Buttermilk

# CROFTERS – PHOTO MONTAGE OF EXISTING AND PROPOSED

Non Habitable Outbuilding Roof – Welsh Cupa 5 or 12 Slate tiles



Outbuilding Cladding – Timber weatherboard planks painted in Sadolin Wood Preserver in one of the colours shown below



Chicago Grey



Smoky Blue

Proposed Timber Gate to replace the existing metal gate - Height – 152cms/5ft





# CROFTERS – PHOTO MONTAGE OF EXISTING AND PROPOSED

Entrance Door – Simple Painted Timber Door Canopy



Entrance Door – High quality painted timber door in Sage Green or Tenet Grey



# Windows Design & Specification

## Design Principle:

- Front and East elevations to have Timber White Flush Cottage Casement Windows with concealed trickle vents and Timber exterior window sill painted in white.



- Front door located in the East elevation – Painted Timber door and painted timber door canopy.
- West and Rear elevations to have white timber effect high quality Casement windows, with timber wealds to resemble cottage style timber windows, along with concealed trickle vents and exterior window sill being made of white painted timber.

### Range – Liniar Casement windows in the 'Resurgence Range'.



- Roof lights - '**Conservation Roof light**' to be installed. We were advised that the slim frames being in black is favoured by English Heritage, the National Trust and by planning officers in conservation areas. These will be recessed within the red/orange original clay peg tiles and will be low profile. Black ironmongery casement opening proposed.



# Windows Design & Specification

## Front Elevation

White Timber 'Conventional Cottage Casement Windows' from the supplier "Timber Windows" with astragal bars and hidden trickle vents in all windows. Exterior window sill to be in white painted timber.

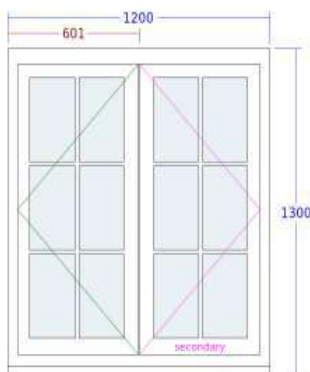


### A. (W) 1200MM X (L) 1300MM

CONVENTIONAL COTTAGE WINDOW  
FINGER JOINTED REDWOOD



QUOTE REF: 2232/3 V2  
ITEM REFERENCE: Windows 1, 2, 3



Drawing Notes: Viewed from outside. Point of arrow denotes hinge position.

#### IRONMONGERY OPTIONS



#### COLOUR CHOICES



#### SIZE SPECIFICATIONS

Cill	145mm x 38mm (inc. in overall ht)
Frame Head Size	75mm
Height	1300mm
Size Of Bar	18mm
Width	1200mm

#### TECHNICAL SPECIFICATIONS

Add Ons Required	No
Cill Horns	No
Cill Species	Finger Jointed Redwood
Dummy Hinges	None
External Grille Colour	White
Feature Mould	Ovolo
Glass Pattern	Clear
Glass Type	4mm Toughened
Glazing Features	Astragal Squares
Head Drip	Yes
Head Drip Horns	No
Hinge System	Pivot with Kenrick locks
Peg Stay Alignment	Opening end pointing to handle
Swept Heads	No
Trickle Vent Location	Head of Frame
Trickle Vent Quantity	1
Trickle Vent Size	EA 4300
Window Board Required	No

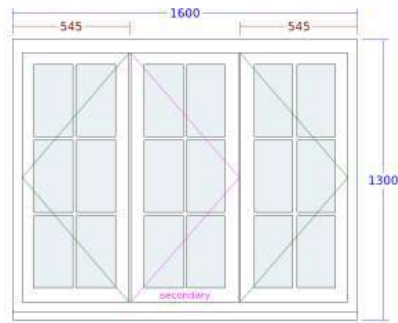
# Windows Design & Specification

## B. (W) 1600MM X (L) 1300MM.

CONVENTIONAL COTTAGE WINDOW  
FINGER JOINTED REDWOOD



QUOTE REF: 2232/3 V2  
ITEM REFERENCE: Windows 4,5,6,7



Drawing Notes: Viewed from outside. Point of arrow denotes hinge position.

### IRONMONGERY OPTIONS



### COLOUR CHOICES



### SIZE SPECIFICATIONS

Cill	145mm x 38mm (inc. in overall ht)
Frame Head Size	75mm
Height	1300mm
Size Of Bar	18mm
Width	1600mm

### TECHNICAL SPECIFICATIONS

Add Ons Required	No
Cill Horns	No
Cill Species	Finger Jointed Redwood
Dummy Hinges	None
External Grille Colour	White
Feature Mould	Ovolo
Glass Pattern	Clear
Glass Type	4mm Toughened
Glazing Features	Astragal Squares
Head Drip	Yes
Head Drip Horns	No
Hinge System	Pivot with Kenrick locks
Peg Stay Alignment	Opening end pointing to handle
Swept Heads	No
Trickle Vent Location	Head of Frame
Trickle Vent Quantity	1
Trickle Vent Size	EA 4300
Window Board Required	No

## C. ROOF OPENABLE (W) 1340MM X (L) 1460MM.

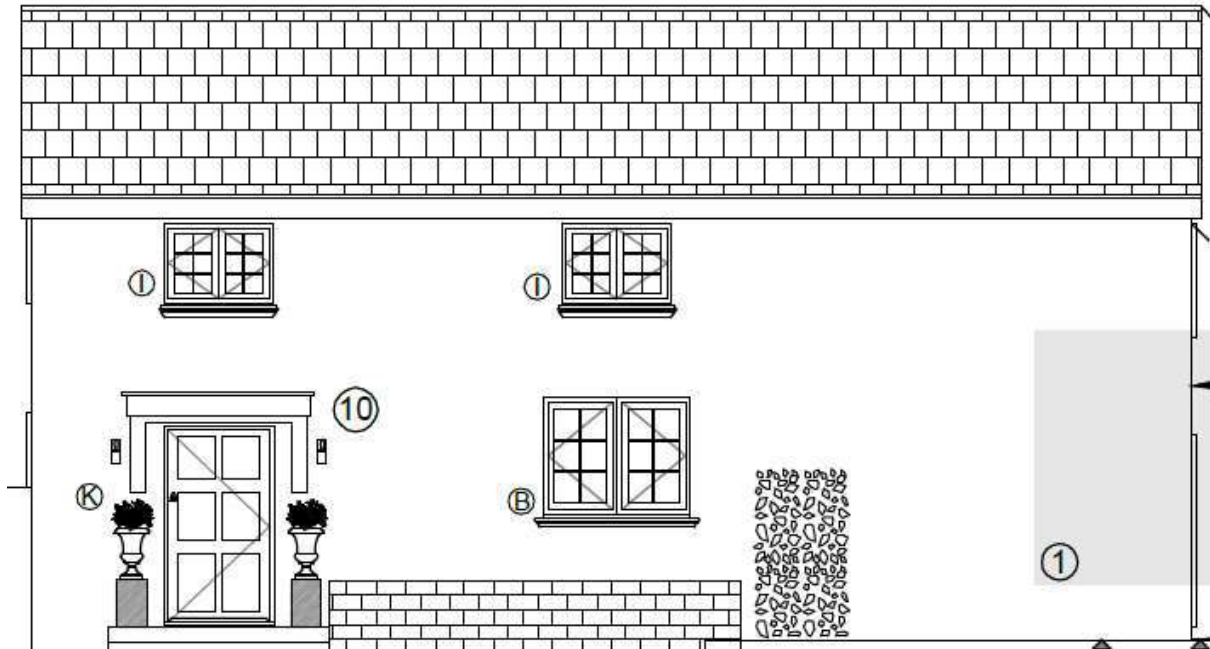
'Conservation Roof light' to be installed. Black ironmongery with Casement opening to be included. This will be recessed within the red/orange original clay peg tiles and will be low profile.



# Windows Design & Specification

## East Elevation

White Timber 'Conventional Cottage Casement Windows' from the supplier "Timber Windows" with astragal bars and hidden trickle vents in all windows. Exterior window sill to be in white painted timber.

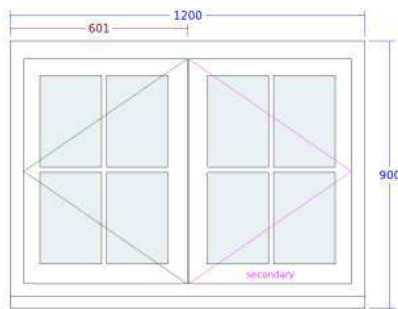


### I. (W) 1200MM X (L) 900MM.

CONVENTIONAL COTTAGE WINDOW  
FINGER JOINTED REDWOOD



QUOTE REF: 2232/3 V2  
ITEM REFERENCE: Windows 8,9



Drawing Notes: Viewed from outside. Point of arrow denotes hinge position.

#### IRONMONGERY OPTIONS



#### COLOUR CHOICES



#### SIZE SPECIFICATIONS

Cill	145mm x 38mm (inc. in overall ht)
Frame Head Size	75mm
Height	900mm
Size Of Bar	18mm
Width	1200mm

#### TECHNICAL SPECIFICATIONS

Add Ons Required	No
Cill Horns	No
Cill Species	Finger Jointed Redwood
Dummy Hinges	None
External Grille Colour	White
Feature Mould	Ovolo
Glass Pattern	Clear
Glass Type	4mm Toughened
Glazing Features	Astragal Squares
Head Drip	Yes
Head Drip Horns	No
Hinge System	Pivot with Kenrick locks
Peg Stay Alignment	Opening end pointing to handle
Swept Heads	No
Trickle Vent Location	Head of Frame
Trickle Vent Quantity	1
Trickle Vent Size	EA 4300
Window Board Required	No

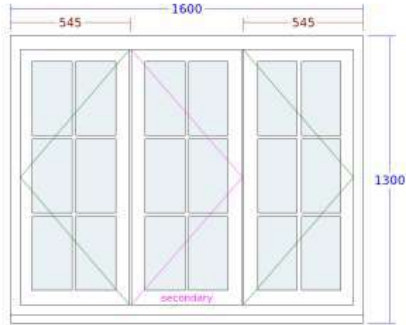
# Windows Design & Specification

## B. (W) 1600MM X (L) 1300MM.

CONVENTIONAL COTTAGE WINDOW  
FINGER JOINTED REDWOOD



QUOTE REF: 2232/3 V2  
ITEM REFERENCE: Windows 4,5,6,7



Drawing Notes: Viewed from outside. Point of arrow denotes hinge position.

### IRONMONGERY OPTIONS

-  Avon - Black Handle
-  Avon - Black Pegstay

### COLOUR CHOICES

-  Colour White (RAL 9003)

### SIZE SPECIFICATIONS

Cill	145mm x 38mm (inc. in overall ht)
Frame Head Size	75mm
Height	1300mm
Size Of Bar	18mm
Width	1600mm

### TECHNICAL SPECIFICATIONS

Add Ons Required	No
Cill Horns	No
Cill Species	Finger Jointed Redwood
Dummy Hinges	None
External Grille Colour	White
Feature Mould	Ovolo
Glass Pattern	Clear
Glass Type	4mm Toughened
Glazing Features	Astragal Squares
Head Drip	Yes
Head Drip Horns	No
Hinge System	Pivot with Kenrick locks
Peg Stay Alignment	Opening end pointing to handle
Swept Heads	No
Trickle Vent Location	Head of Frame
Trickle Vent Quantity	1
Trickle Vent Size	EA 4300
Window Board Required	No

# Windows Design & Specification

K. (W) 1200MM X (L) 210MM - Timber door painted in Sage Green or Tenet Grey. No fanlights to reduce light exposure.

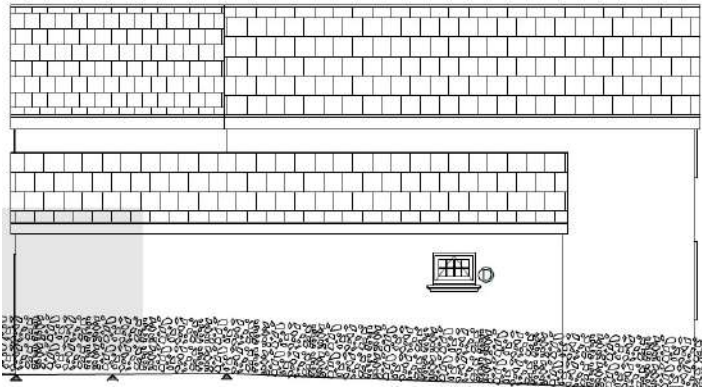
10. A simple white painted timber door canopy.



# Windows Design & Specification

## West Elevation


White high quality timber effect Casement Window with astragal bars in “Liniar Resurgence range” with timber welds to replicate traditional sash windows. Concealed trickle vents to be included to the outside of the windows. Exterior window sill to be made of white painted timber.




### D. (W) 800MM X (L) 600MM.

**Window D**  
800 x 600  
Please Note Vented Head Drip

**External** **Internal**




**Frame**  
Liniar Flush | Resurgence  
Flush 1x1.3




External White Foil Internal White Foil

**Glazing**  
28mm Annealed  
Astragal rectangular |  
White Foil/White Gloss  
Low-E | Warm edge - Black



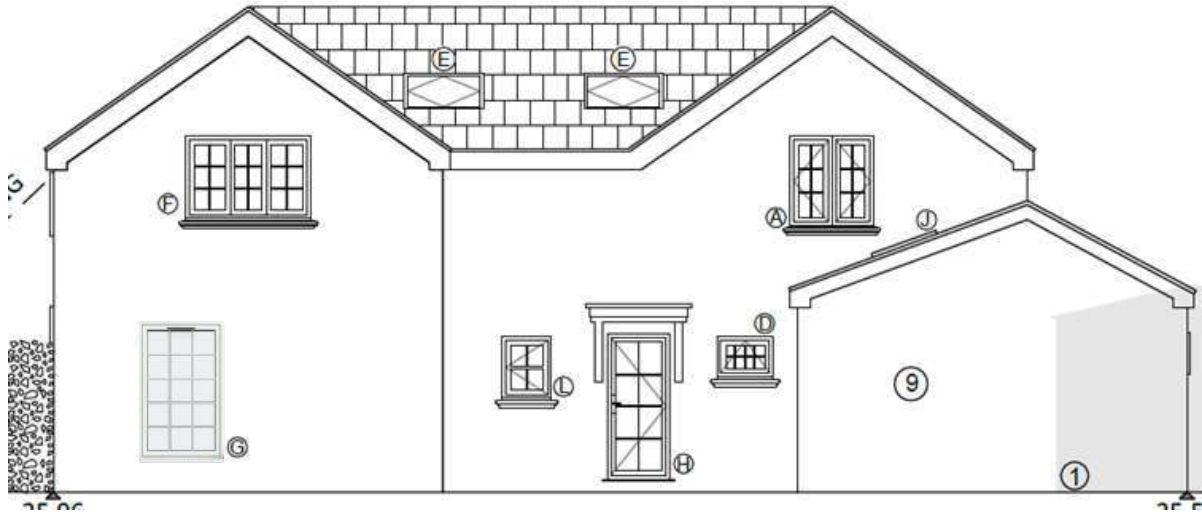
**Hardware**  
Window handle  
Monkey Tail  
Antique black





# Windows Design & Specification

## Rear Elevation



### Bathroom ventilation

#### E. ROOF OPENABLE (W) 1140MM X (L) 1178MM.

'Conservation Roof light' to be installed. Black ironmongery with Casement opening to be included. This will be recessed within the red/orange original clay peg tiles and will be low profile.



# Windows Design & Specification

## F. (W) 1800MM X (L) 1200MM.

White high quality timber effect Casement Window with astragal bars in “Liniar Resurgence range” with timber wields to replicate traditional sash windows. Concealed trickle vents to be included to the outside of the windows. Exterior window sill to be made of white painted timber.

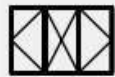
### Window F

1800 x 1200

Please Note Vented Head Drip



#### Frame



Liniar Flush | Resurgence  
Flush 3x1 1



External  
White Foil



Internal  
White Foil

#### Glazing



28mm Annealed  
Astragal rectangular |  
White Foil/White Gloss  
Low-E | Warm edge - Black

#### Hardware



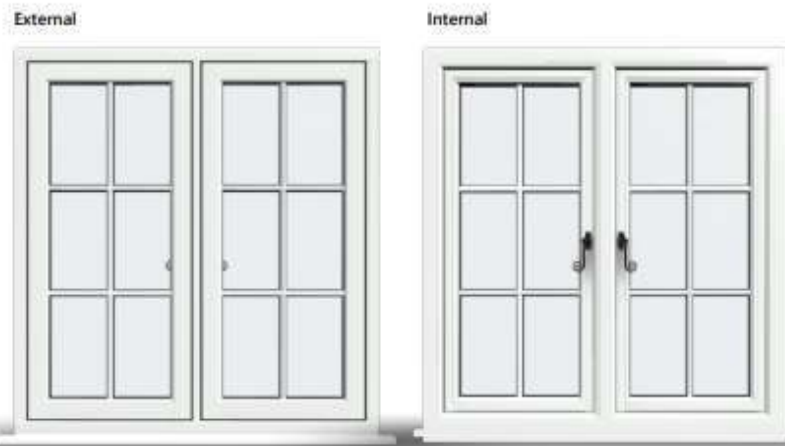
Window handle  
Monkey Tail  
Antique black

# Windows Design & Specification

## A. (W) 1200MM X (L) 1300MM

White high quality timber effect Casement Window with astragal bars in “Liniar Resurgence range” with timber welds to replicate traditional sash windows. Concealed trickle vents to be included to the outside of the windows. Exterior window sill to be made of white painted timber.

**Window A**  
1200 x 1300  
Please Note: Vented Head Drip



### Frame



Liniar Flush | Resurgence  
Flush 2x1 1



External  
White Foil



Internal  
White Foil

### Glazing



28mm Annealed  
Astragal rectangular |  
White Foil/White Gloss  
Low-E | Warm edge - Black

### Hardware



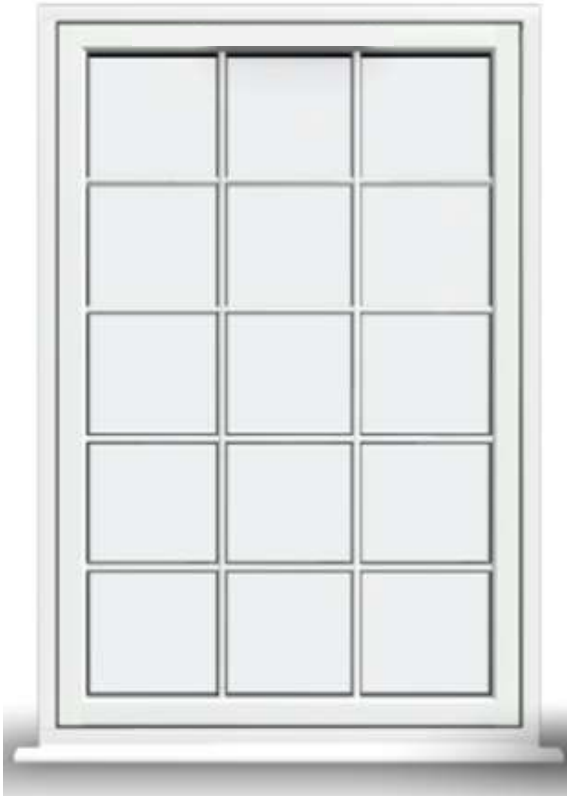
Window handle  
Monkey Tail  
Antique black





# Windows Design & Specification

## G. (W) 1200MM X (L) 1800MM.

White high quality timber effect Casement Window with astragal bars in “Liniar Resurgence range” with timber welds to replicate traditional sash windows. Concealed trickle vents to be included to the outside of the windows.

External

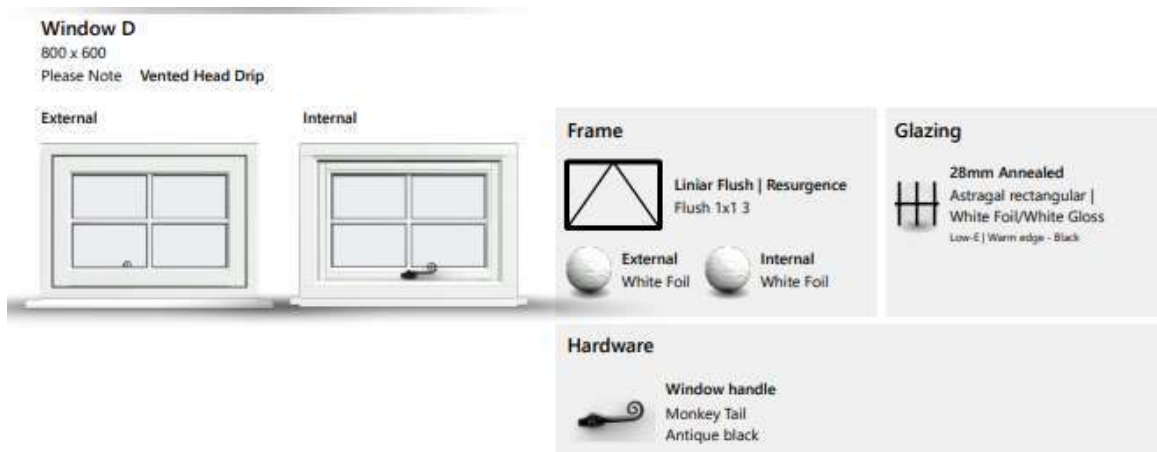


Frame	Glazing
 Liniar Flush   Resurgence Flush 1x1-4	 28mm Annealed Astragal rectangular   White Foil/White Gloss <small>Low-E   Warm edge - Black</small>
 External White Foil	 Internal White Foil

# Windows Design & Specification

## D. (W) 800MM X (L) 600MM.

White high quality timber effect Casement Window with astragal bars in “Liniar Resurgence range” with timber welds to replicate traditional sash windows. Concealed trickle vents to be included to the outside of the windows. Exterior window sill to be made of white painted timber.



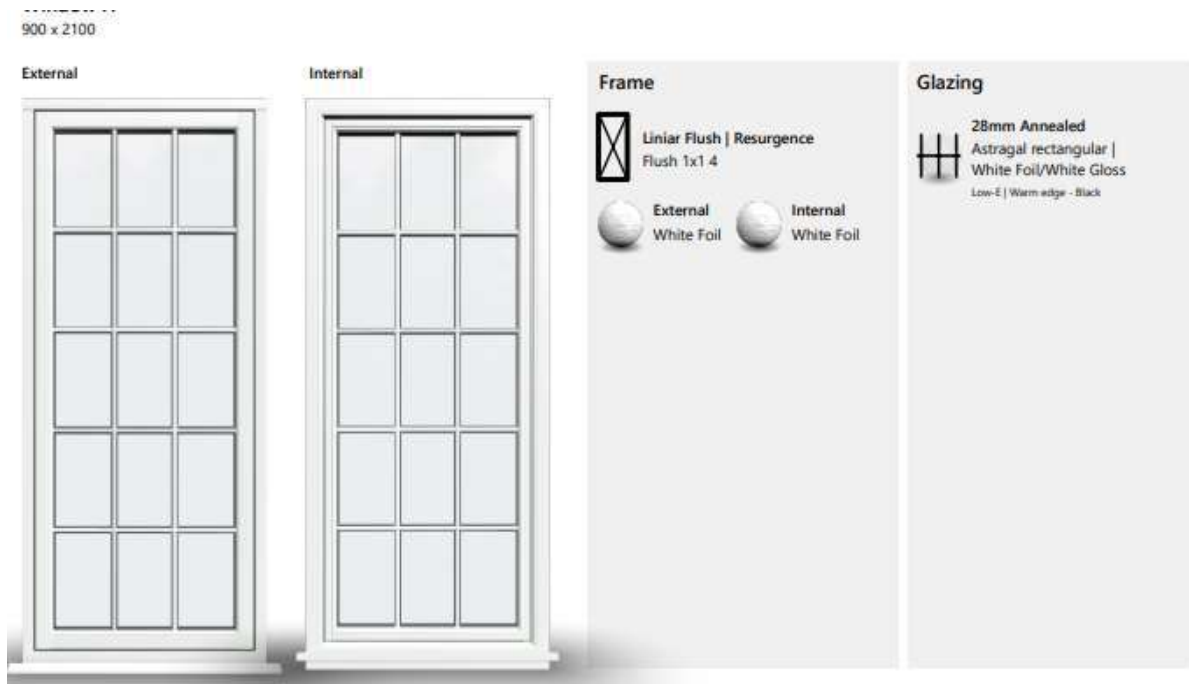
## L. (W) 700MM X (L) 900MM

White high quality timber effect Casement Window with astragal bars in “Liniar Resurgence range” with timber welds to replicate traditional sash windows. Concealed trickle vents to be included to the outside of the windows. Exterior window sill to be made of white painted timber.



# Windows Design & Specification

H. (W) 900MM X (L) 2100MM – Liniar Resurgence Timber effect white Casement style French door with concealed trickle vents. Black cottage ironmongery included.



# *Windows Design & Specification*

## **J. ROOF OPENABLE, TOTAL OPENING 1980MM(W) X 978MM(L).**

**'Conservation Roof light'** to be installed with slim frames. Black ironmongery with Casement opening to be included. This will be recessed within the red/orange original clay peg tiles and will be low profile.



## Landscaping - Planting Scheme Details

**Existing Landscape:** Presently, apart from a flower bed in the front elevation, there are no hedges or flower beds in any part of the garden. The east and rear landscape is laid to lawn with trees from the adjoining properties and a shared hedge. The front garden contains a mixture of shingles and concrete. The west of the property is predominantly covered in asphalt.

**Boundary Treatment Proposal:** No changes proposed to boundary treatment except at the rear of the property where the existing timber fence will be replaced by a red/orange brick wall to align with an existing old wall in the adjoining Gable Cottage.



- 1) **(A) - Front of property:** Front elevation to be improved as recommended by the Landscape team. Removal of concrete island and introduction of a new native hedge made up of the following.
  - English Holly (80%) – *Ilex Aquifolium* – Bare root 40-60cms height
  - Field maple (10%) – *Acer Campestre* - Bare root 40-60cms height
  - Hornbeam (10%) – *Carpinus betulus* – Bare root 40-60cms height

This will be maintained at a height of 0.6 meters to comply with visibility splay requirements. As the height is extremely short, a smaller mix has been considered. The depth will be maintained to stay within the boundary of the property. **All concrete will be removed.**





## Landscaping - Planting Scheme Details

- 2) **(B) – West of property:** Replicate the landscaping similar to the adjacent property namely Gable Cottage



Introduce flower bed in red/orange brickwork all along, plant a new hedge along the existing brick wall and timber fence leading up to the end of the property at the rear. Height of hedge to be 1.20m.

- English Holly (60%) - *Ilex Aquifolium* – Bare root 90-120cms height
- Field maple (10%) - *Acer Campestre* - Bare root 90-120cms height
- Hornbeam (20%) - *Carpinus betulus* – Bare root 90-120cms height
- Guelder Rose (10%) – *Viburnum opulus* – Bare root 90-120cms height
- White Lilac trees (4) – *Syringa vulgaris Madame Lemoine* – Single stem tree up to 180cms height to be planted. 12L pot. Height of the Lilac trees will be maintained as per the wishes of our neighbours at Gable Cottage.



## Landscaping - Planting Scheme Details

- 3) **(C) – Front of property by the windows:** Existing flower bed with perennial plants to remain. **Concrete retainers to be replaced with red/orange bricks in keeping with the area.** Cottage garden bee and butterfly friendly plants such as cornflowers, salvias, fox gloves and daisies to be added to the gaps to compliment the existing planting scheme.



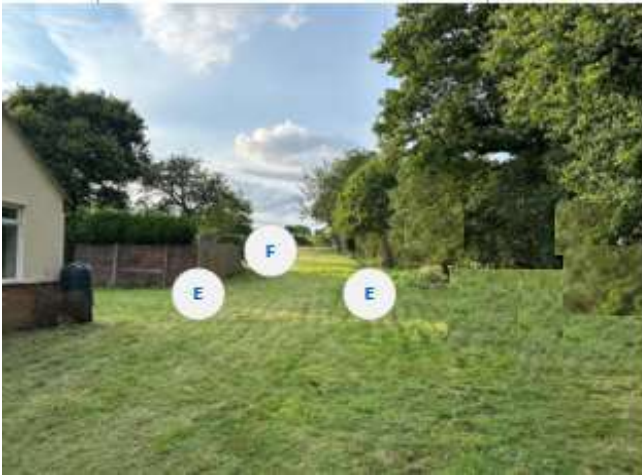
- 4) **(D) – Front of property by the well façade:** Existing greenery (largely Holly) to remain but pruned and mulched with bark. This will be maintained at 0.6 meters to satisfy visibility splay requirements. Well façade to be rebuilt with red/orange bricks, timber frame and clay peg tiles. Straight profile timber gate to be installed lower in height to the well façade.



## Landscaping - Planting Scheme Details

5) **(E) & (F) – East/Rear of property:** Introduction of a mixed hazel hedge (1.2m) to frame the entrance to rear garden and to obfuscate the outbuilding and against the fencing to cover it. Advice sought to maximise habitat for hazel dormice and the below is proposed.

- Hazel – 60% - *Corylus avellana* – Bare root 90cm-120cm height
- Hawthorn – 20% - *Crataegus monogyna* - Bare root 90cm-120cm height
- Field Maple - 10% - *Acer Campestre* - Bare root 90cm-120cm height
- Dog Rose 10% - *Rosa canina* – 10% - Bare root 90cm-120cm height
- Mountain Ash Tree (2) – *Sorbus acuparia* – Bare root 150cms height



**(F)** - Elder flower tree (2 trees) – *Sambuca Nigra* to be planted against the fence and under planted with cherry laurel (*Prunus laurocerasus 'Etna'*) maintained at 1.2m. Height of Elder tree will be maintained as per the wishes of our neighbours at Gable Cottage.



## Landscaping - Planting Scheme Details

- 6) **(G) - Rear Garden** – Timber fence to be replaced with a red/orange brick wall to align with an existing original old wall that is behind the outbuilding. Trained pear trees (**Cordon Pear Doyenne du Comice**) to be planted and will be maintained at a height as per the wishes of our neighbours at Gable Cottage.



### **Additional Information:**

**Soil Preparation for hedges and all beds:** Shop bought compost mixed with mushroom compost and well rotted farm yard manure. Soil will be allowed to settle for a few weeks. Once the hedges are planted, we will mulch well with bark chips at least 5-10cm (2-4in) deep.

**Watering Schedule:** Once a day from April – September by hose.

**Animal Guards:** None will be installed.