

BLOCK PLAN
(Scale 1:1250)

Based upon Ordnance Survey map extract
with the permission of the Controller of
Her MaJ.L.sty's Stationery Office.



**FRONT/SIDE ELEVATION
PHOTOGRAPH**

Notes:
1 ALL DIMENSIONS ARE IN MM UNLESS NOTED OTHERWISE

- GENERAL NOTES:**
- DO NOT SCALE THIS DRAWING. FOR DISCREPANCIES OR OMISSIONS CONTACT THE ORIGINATOR PRIOR TO COMMENCEMENT OF WORK.
 - MATERIALS AND WORKMANSHIP ARE TO COMPLY IN ALL RESPECTS WITH CURRENT BRITISH STANDARD SPECIFICATIONS, BRITISH STANDARD CODE OF PRACTICE, AND BUILDING REGULATIONS.
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REV	MODIFICATION	BY	CH	DATE
A	Issued for Approval	C.J.	J.L.	15.11.2022

Carl Jenkins
Mob 07865047278
Landline 0330 1333078
Web : carl@whymoveimprove.com



Site Name Opt.

61 SAGBOURNE ROAD A

Client Name

JAMES LEES

Site Address / Contact Details

61 SEGBOURNE ROAD
RUBERY
REDNAL
BIRMINGHAM
B45 9SY

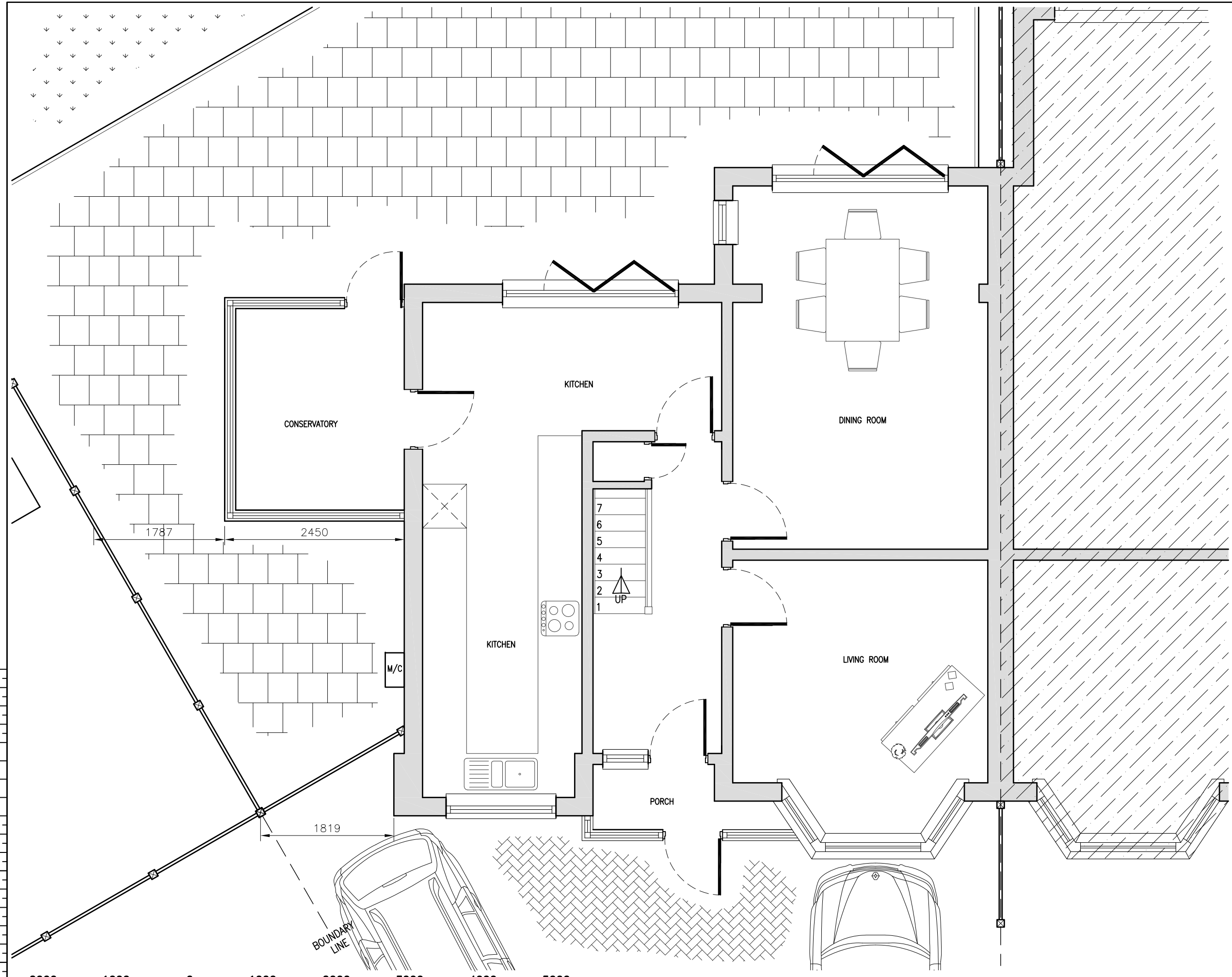
Drawing Title:
LOCATION PLANS

Purpose of issue:
PLANNING

Drawing Number:
100

Scale:	Drawn:	Date:	Issue:
As Shown	C.J.	15.11.2022	A
Checked:	Date:	Approved:	
J.L.	15.11.2022	J.L.	15.11.2022

100mm
75mm
50mm
25mm
0mm



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Drawing Title:
EXISTING GROUND FLOOR PLAN

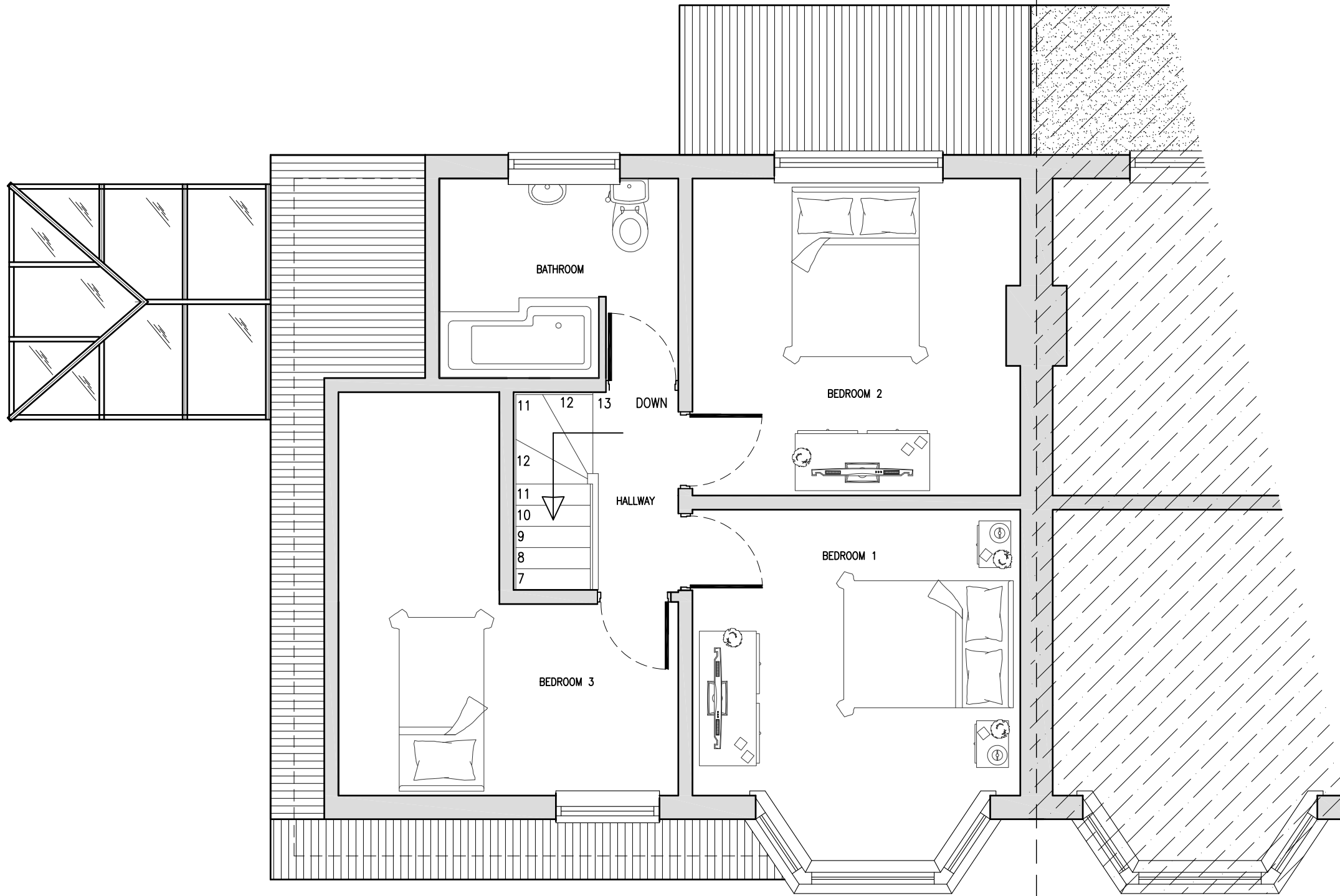
Purpose of issue:
PLANNING

Drawing Number:
 200

Scale:	As Shown	Drawn:	C.J.	Date:	15.11.2022	Issue:	A
Checked:	J.L.	Date:	15.11.2022	Approved:	J.L.	Date:	

2000 1000 0 1000 2000 3000 4000 5000
 ORIGINAL SCALE AT A3 - 1:50
 ALL DIMENSIONS IN MILLIMETRES

EXISTING GROUND FLOOR PLAN
 (1:50)



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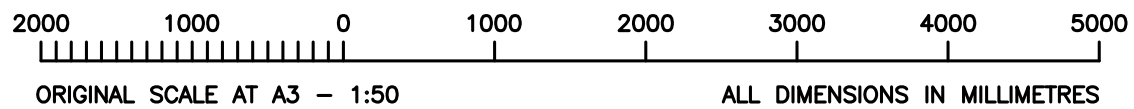


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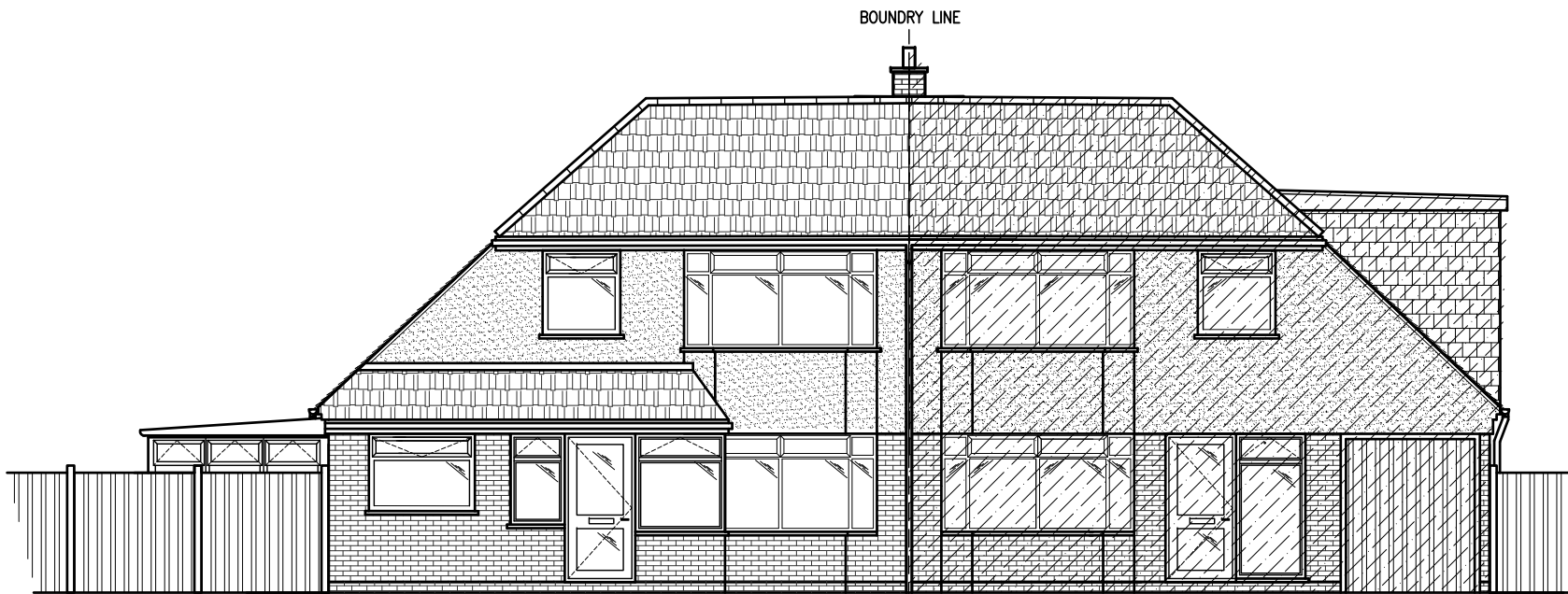
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Purpose of issue:	PLANNING
Drawing Number:	201

Scale:	As Shown	Drawn:	C.J.	Date:	15.11.2022	Issue:	A
Checked:	J.L.	Date:	15.11.2022	Approved:	J.L.	Date:	15.11.2022



EXISTING FIRST FLOOR PLAN
(1:50)

100mm
75mm
50mm
25mm
0mm

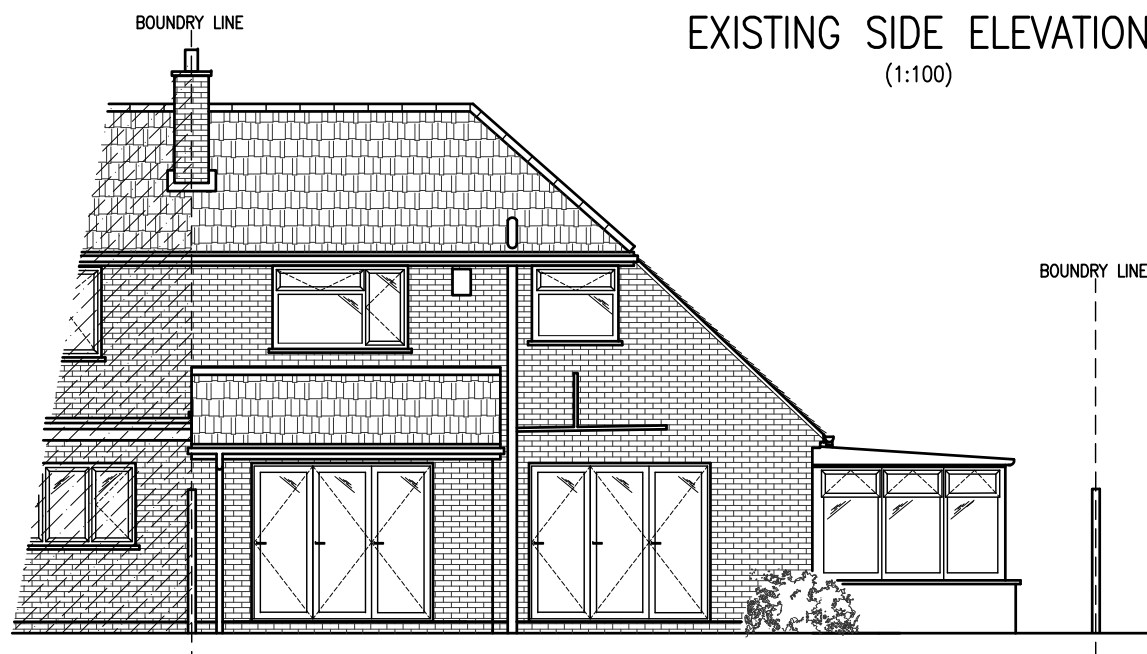


FRONT ELEVATION
PHOTOGRAPH

EXISTING FRONT ELEVATION
(1:100)



EXISTING SIDE ELEVATION
(1:100)



EXISTING REAR ELEVATION
(1:100)



REAR ELEVATION
PHOTOGRAPH

5000 0 5000 10000
ORIGINAL SCALE AT A3 - 1:100 ALL DIMENSIONS IN MILLIMETRES

Notes:
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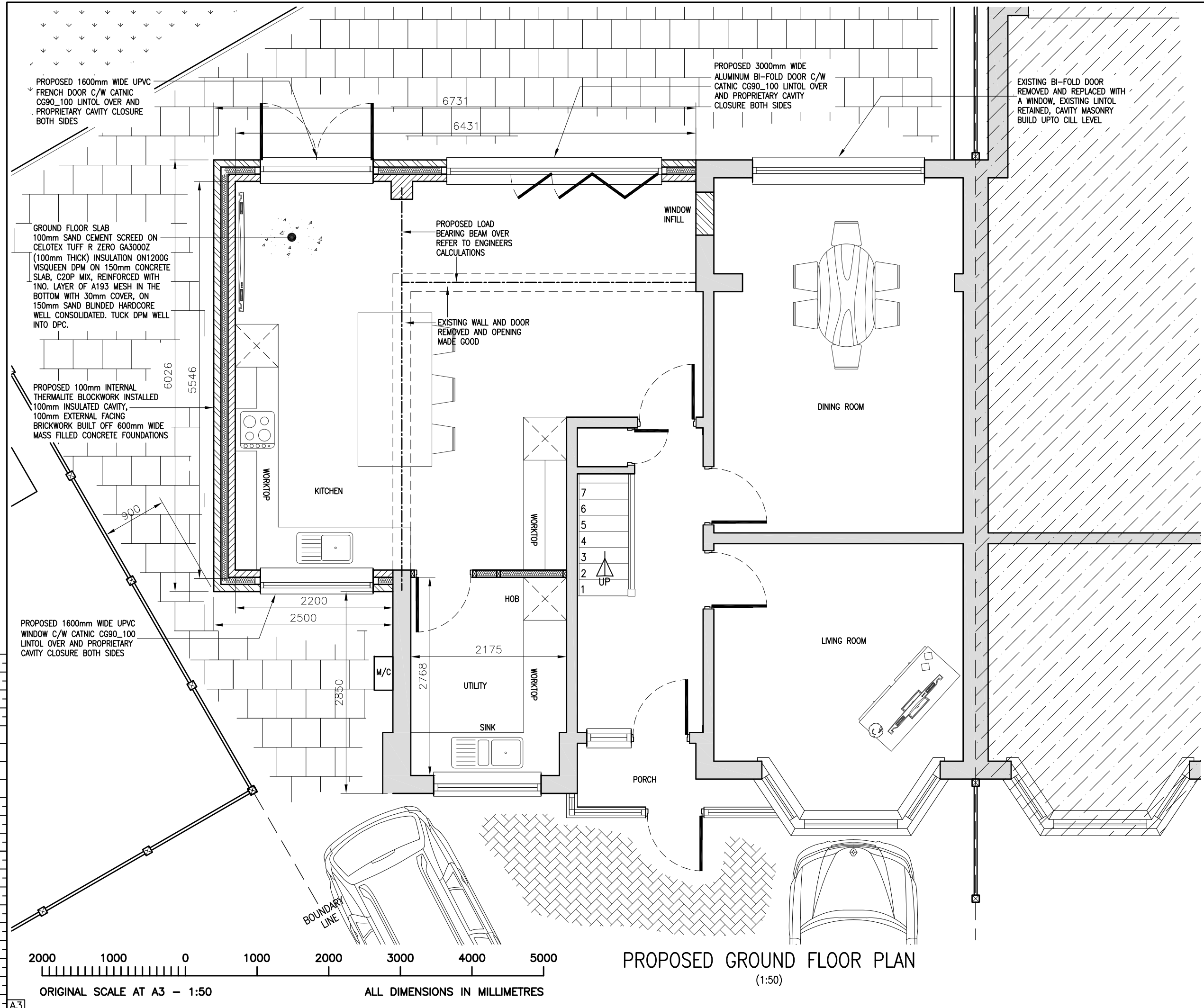
Drawing Title:
EXISTING ELEVATIONS

Purpose of issue:
PLANNING

Drawing Number:
202

Scale:	As Shown	Drawn:	C.J.	Date:	15.11.2022	Issue:	A
Checked:	J.L.	Date:	15.11.2022	Approved:	J.L.	Date:	15.11.2022

100mm
75mm
50mm
25mm
0mm
A3




Notes:
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REV	MODIFICATION	BY	CH	DATE
B	Amended Roof Line	C.J.	J.L.	16.01.2023
A	Issued for Approval	C.J.	J.L.	15.11.2022

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Client Name									
JAMES LEES									
Site Address / Contact Details									
61 SEGBOURNE ROAD RUBERY REDNAL BIRMINGHAM B45 9SY									
Drawing Title:	PROPOSED GROUND FLOOR PLAN								
Purpose of issue:	PLANNING								
Drawing Number:	300								
Scale:	As Shown	Drawn:	C.J.	Date:	15.11.2022	Issue:			
Checked:	J.L.	Date:	15.11.2022	Approved:	J.L.	Date:	15.11.2022	Issue:	B

PROPOSED GROUND FLOOR PLAN
(1:50)

ORIGINAL SCALE AT A3 - 1:50
ALL DIMENSIONS IN MILLIMETRES

Notes:
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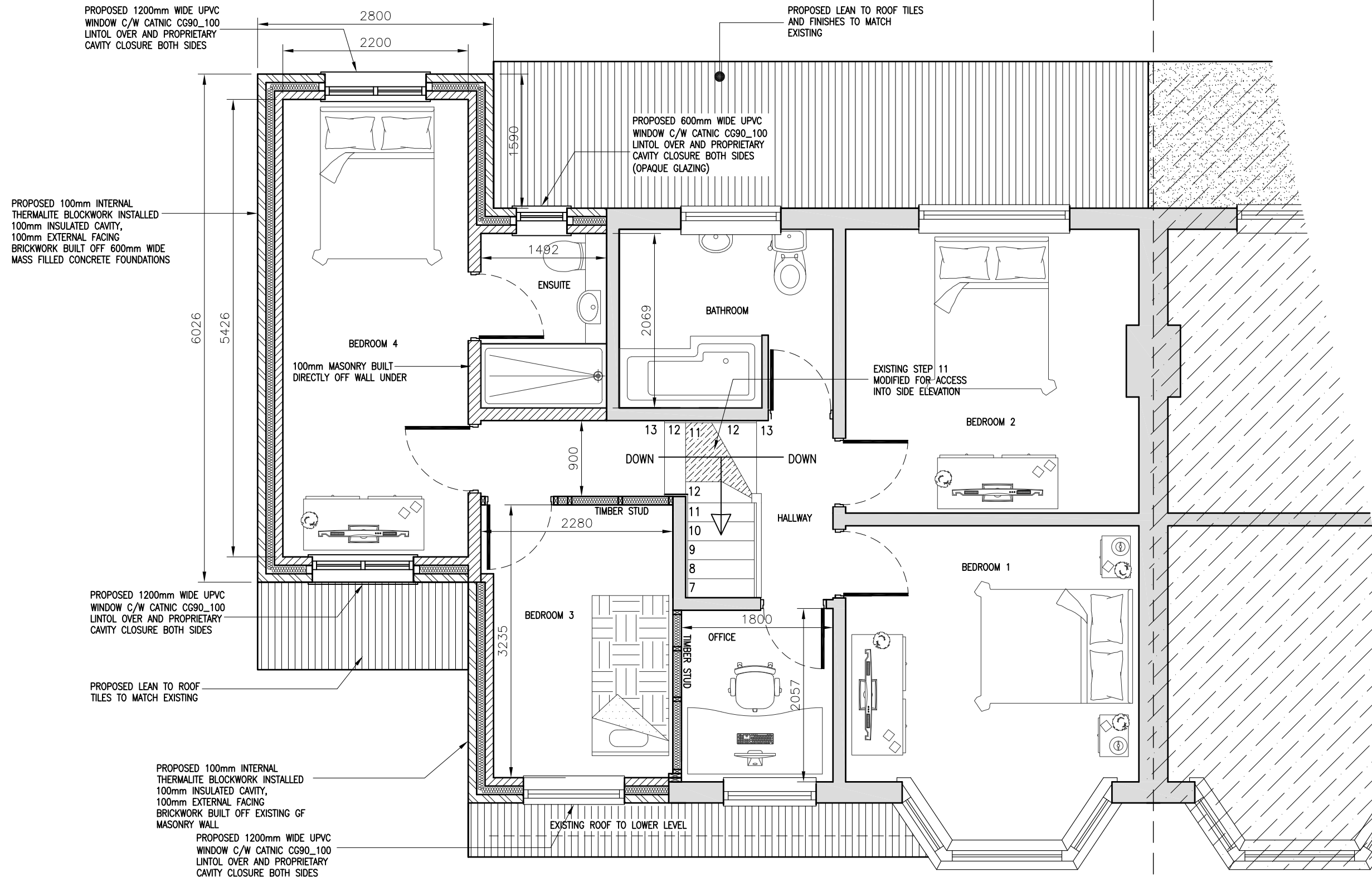
B	Amended Layout	C.J.	J.L.	16.01.2023
A	Issued for Approval	C.J.	J.L.	15.11.2022
REV	MODIFICATION	BY	CH	DATE

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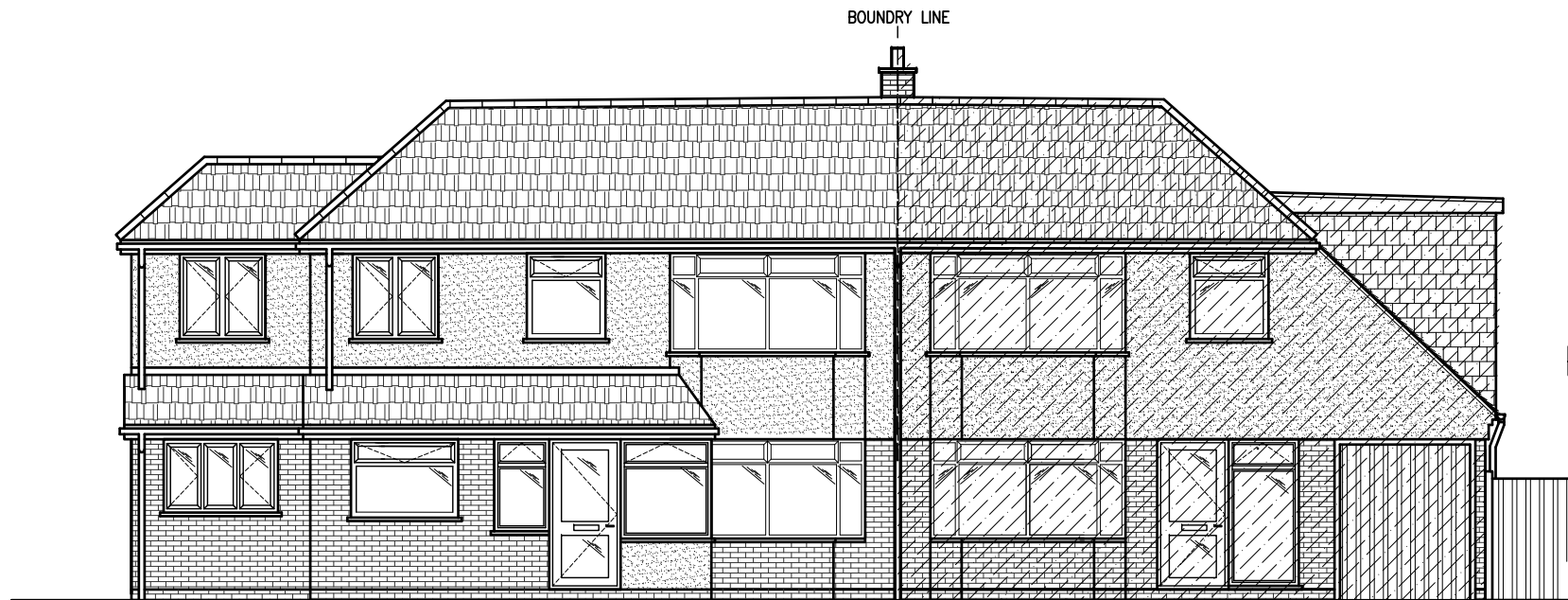
Drawing Title:	PROPOSED FIRST FLOOR PLAN				
Purpose of issue:	PLANNING				
Drawing Number:	301				
Scale:	As Shown	Drawn:	C.J.	Date:	15.11.2022
Checked:	J.L.	Date:	15.11.2022	Approved:	J.L.
				Date:	15.11.2022
				Issue:	B



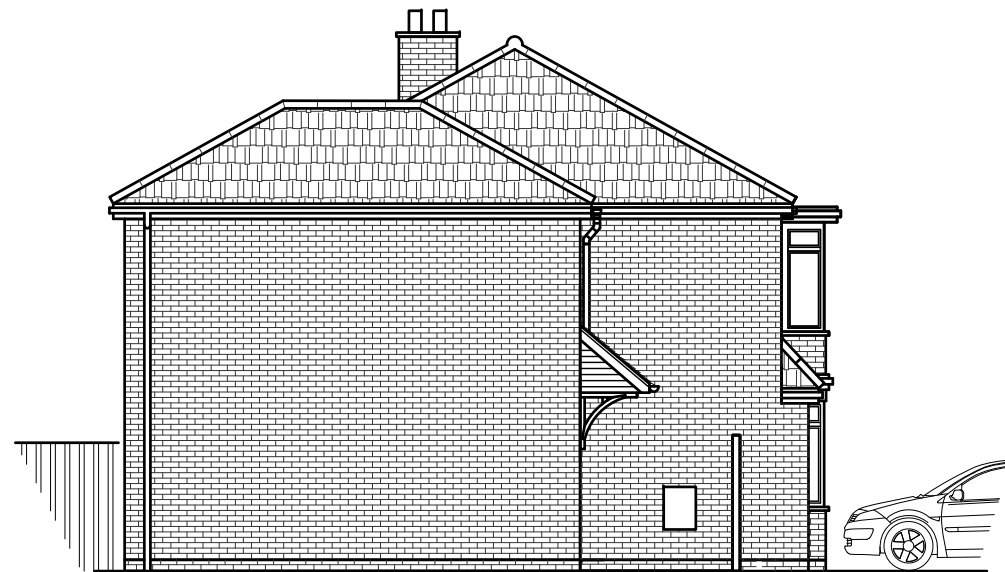
PROPOSED FIRST FLOOR PLAN
(1:50)

2000 1000 0 1000 2000 3000 4000 5000
 ORIGINAL SCALE AT A3 - 1:50
 ALL DIMENSIONS IN MILLIMETRES

100mm
75mm
50mm
25mm
0mm



PROPOSED FRONT ELEVATION
(1:100)



PROPOSED SIDE ELEVATION
(1:100)



PROPOSED REAR ELEVATION
(1:100)

ORIGINAL SCALE AT A3 - 1:100

ALL DIMENSIONS IN MILLIMETRES

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61 SEGBOURNE ROAD
 RUBERY
 REDNAL
 BIRMINGHAM
 B45 9SY

Drawing Title:
PROPOSED ELEVATIONS

Purpose of issue:
PLANNING

Drawing Number:
302

Scale:	Drawn:	Date:	Issue:
As Shown	C.J.	15.11.2022	B
Checked:	Date:	Approved:	Date:
J.L.	15.11.2022	J.L.	15.11.2022

100mm
75mm
50mm
25mm
0mm

Notes:
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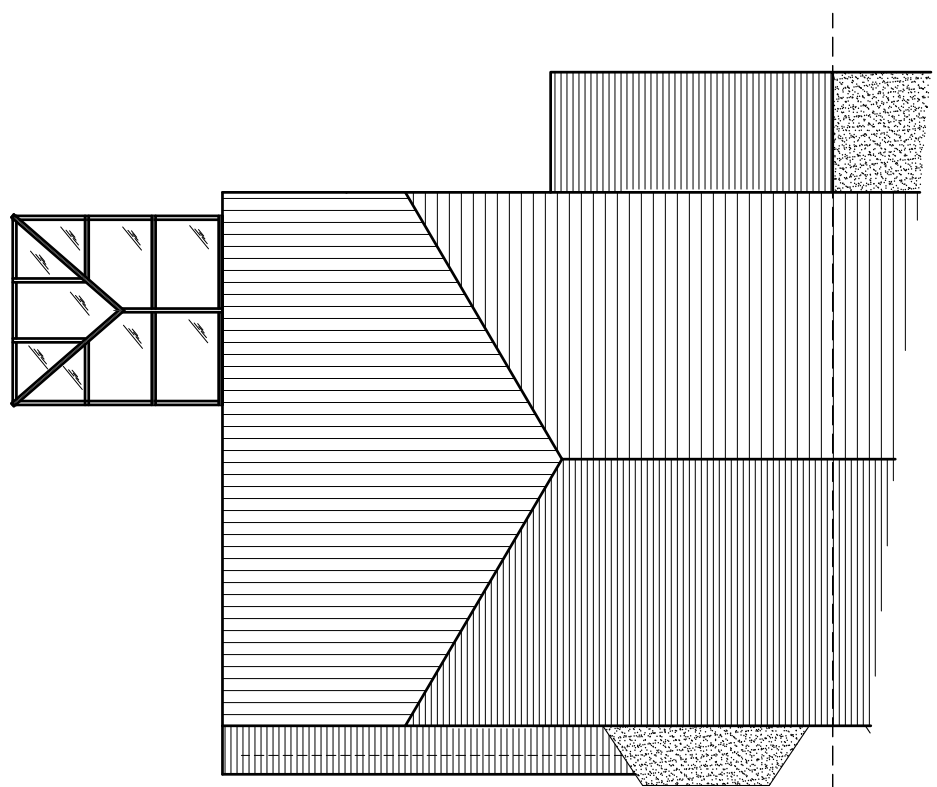
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A	Issued for Approval	C.J.	J.L.	15.11.2022

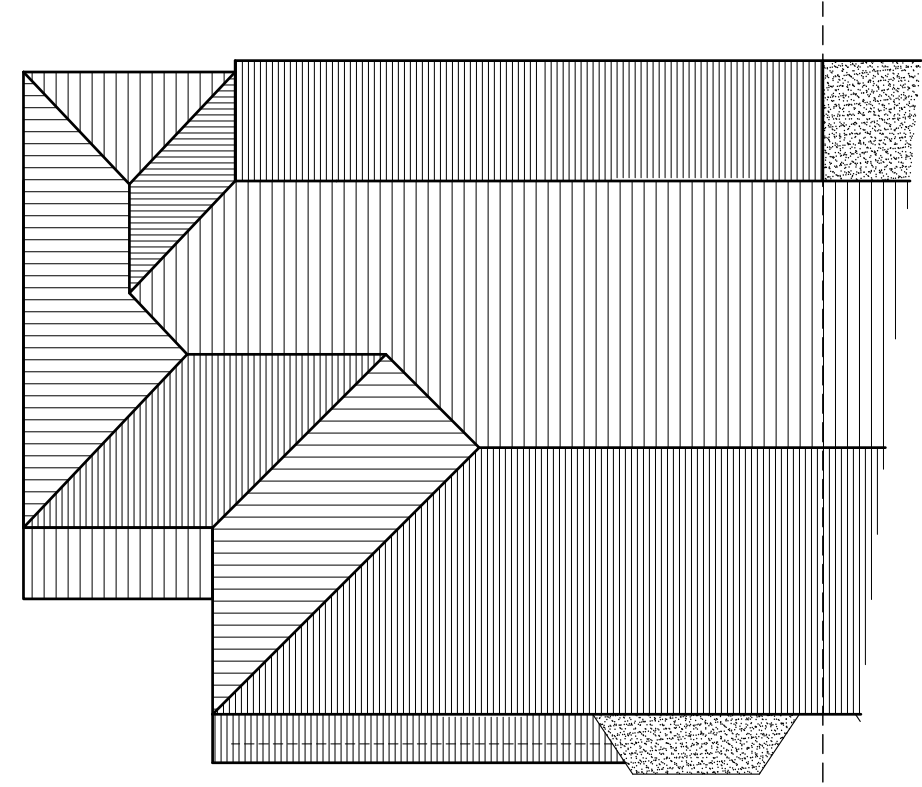
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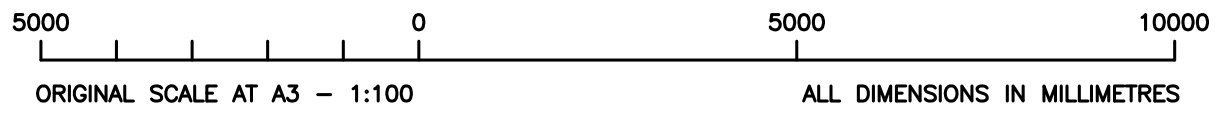
Site Name	Opt.
61 SAGBOURNE ROAD	A
Client Name	
JAMES LEES	
Site Address / Contact Details	
61 SEGBOURNE ROAD RUBERY REDNAL BIRMINGHAM B45 9SY	
Drawing Title:	ROOF PLANS
Purpose of issue:	PLANNING
Drawing Number:	303
Scale:	As Shown
Drawn:	C.J.
Date:	15.11.2022
Issue:	B
Checked:	J.L.
Date:	15.11.2022
Approved:	J.L.
Date:	15.11.2022



EXISTING ROOF PLAN
(1:100)



PROPOSED ROOF PLAN
(1:100)



100mm
75mm
50mm
25mm
0mm