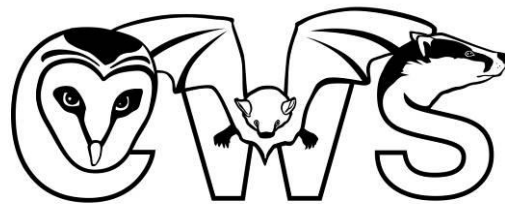


**Tree Report for Field Farm,
Nether Westcote, Chipping Norton,
Gloucestershire, OX7 6SD**



Cotswold Wildlife Surveys

24th May 2022

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SUMMARY

At Field Farm in Nether Westcote near Chipping Norton in Gloucestershire, planning permission is being sought for a new dwelling in the garden. The proposed works will include the removal of several trees and the creation of a new access drive through a section of boundary hedgerow.

On 24th May 2022, Andy Warren from Cotswold Wildlife Surveys undertook a tree survey of the site. All trees within impacting distance of the proposed construction and demolition zone were surveyed, and are considered within this report.

The aim of the report, which has been produced in accordance with British Standard 5837:2012 '*Trees in Relation to Design, Demolition & Construction - Recommendations*', is to systematically assess the arboricultural implications arising as a result of the proposed scheme, and to provide suitable recommendations regarding the potential effect on trees.

The arboricultural implications can be summarised as follows:

- The application site consists of an existing lawned garden which contains a wide variety of native and non-native trees and shrubs of varying ages, but all planted by the current landowners;
- For the purposes of this application, a total of 11 trees were surveyed, along with a section of boundary hedgerow through which a new access drive will be created;
- Only one tree was categorised as B class, this a middle aged Norway Maple *Acer platanoides* (T1) which is in good physiological and structural condition;
- The rest are all C class, as none are particularly good specimens and some contain physiological and/or structural defects;
- Two of the trees are still young – T3 Orchard Apple *Malus domestica* and T7 Sweet Chestnut *Castanea sativa*;
- The root protection areas (RPA) have been calculated;
- In order to facilitate the proposed development, some of the trees will have to be removed, as their RPAs are incurred to a greater or lesser extent by the new buildings, including three Orchard Apples (T2, T3 and T4), a Plum *Prunus domestica* (T5), a Beech *Fagus sylvatica* (T6), the Sweet Chestnut (T7) and a Hawthorn *Crataegus monogyna* (T8);
- The RPAs of the remaining trees are not incurred, and these trees will be retained, although ground protection measures will be necessary to prevent ground compaction above the roots;
- The short section of roadside hedge to be removed consists of relatively young Blackthorn *Prunus spinosa*, Cherry Laurel *P. laurocerasus*, Hawthorn, Hazel *Corylus avellana* and Tree Cotoneaster *Cotoneaster frigidus*. There are no large trees in proximity to the proposed entrance;
- Some minor pruning of T1 will be required (approximately 1.0 m reduction), but otherwise the new dwelling will not lie under the canopies of any of the trees, so it is not anticipated that there will be any conflict over accumulating leaf litter in the gutters and/or shedding branches;
- To offset the loss of trees, it is proposed to plant an orchard in the adjoining paddock which also belongs to the same landowners.

1.0 INTRODUCTION

This report has been prepared to accompany a planning submission by Professor and Mrs Earl (hereafter – clients), relating to the construction of a new dwelling in the garden of Field Farm in Nether Westcote near Chipping Norton in Gloucestershire (hereafter – site).

It has been produced in accordance with British Standard 5837: 2012 ‘*Trees in Relation to Design, Demolition & Construction – Recommendations*’, (hereafter – BS5837).

The scope of BS5837 is to provide guidance on how trees and other vegetation can be suitably integrated into construction and development schemes. The overall aim is to ensure the protection of amenity and landscape through appropriate retention of trees.

This report has been produced in accordance with BS5837, and is intended to demonstrate how trees have been properly considered in relation to the proposed scheme. The objective is to provide recommendations for tree protection (where applicable) relating to the scheme’s potential impact on trees and vice versa.

Following instruction, the consultant visited the site on 24th May 2022. Pursuant to the agreed brief, a site assessment and a BS5837 tree survey were carried out. All trees within impacting distance of the proposed construction and demolition activities were surveyed.

1.1 Proposed works

The proposed works will include the construction of a new dwelling and garaging, along with parking and associated access. The works will include the removal of several trees and a section of boundary hedgerow.

1.2 Survey area

The survey site comprises part of the garden of Field Farm, this formally landscaped and containing mature vegetation, including a mown lawn of amenity grass, flower and shrub beds, ornamental hedgerows, boundary native and non-native hedgerows, and a wide variety of mature, middle aged and young trees (Figs. 1-3).



Figs. 1 & 2 Garden of Field Farm



Fig. 3 Garden of Field Farm

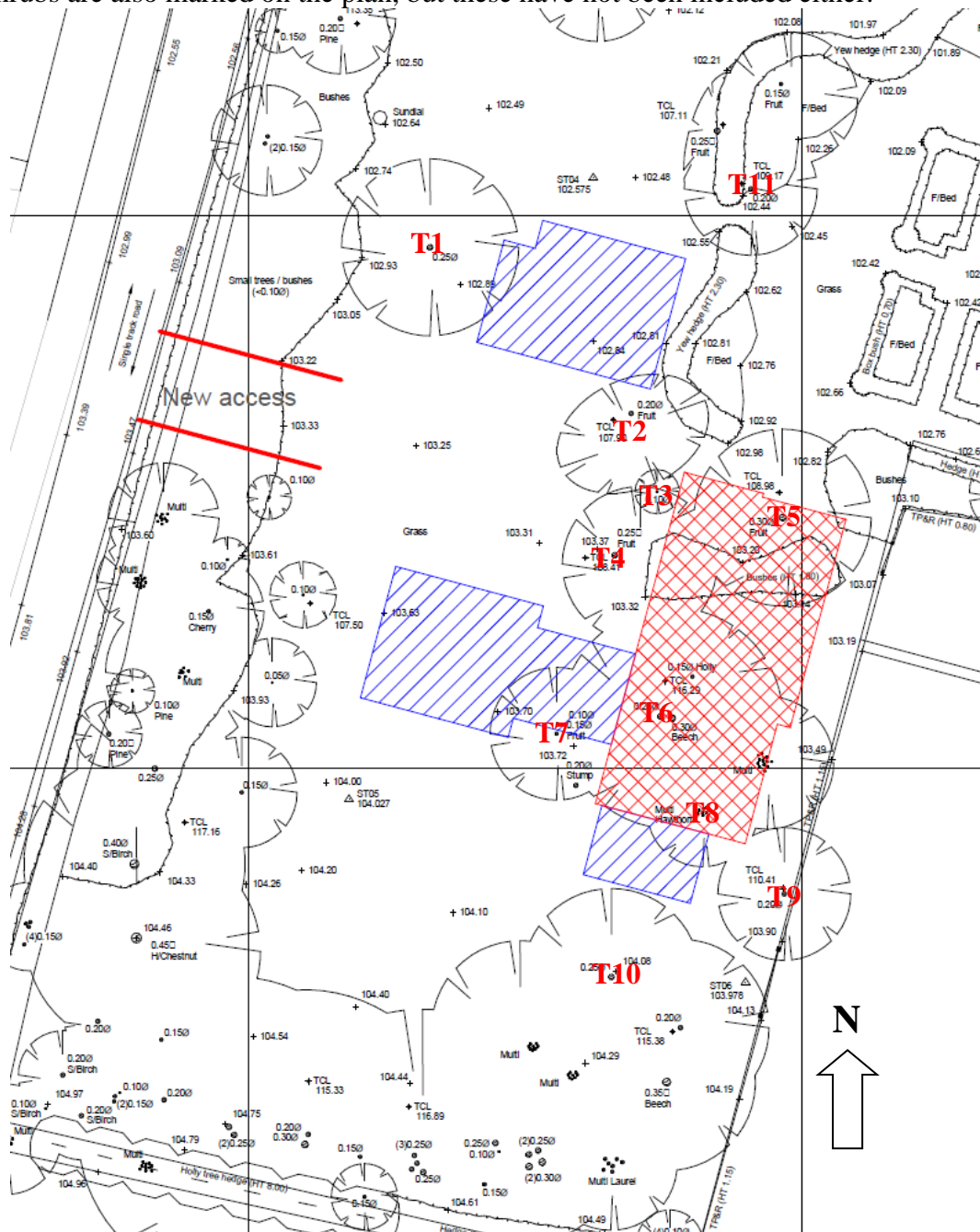
The proposed construction site is sensitive from an arboricultural perspective, due to the presence of the mature, middle aged and young trees. The objective assessment resulted in BS5837 categories of 'B3', 'C1' and 'C2' being attributed to the trees that would be impacted upon by the proposed development.

The trees provide both an individual and collective contribution to the site, and their physiological and structural condition is generally fair to good.

The survey data and site observations have been used to illustrate the site's arboricultural restrictions in the form of a Tree Quality Assessment and Tree Constraints Plan at Appendix II and III respectively. A provisional Tree Protection Plan is shown in Appendix IV.

2.0 TREE SURVEY

The survey focussed on 11 trees across the site. The locations of the trees are shown on the existing site layout plan below. Other trees were too far away to be impacted upon by the proposed works and have not been included as part of the survey. Some shrubs are also marked on the plan, but these have not been included either.



Plan 1 Tree survey and site plan

The detailed tree survey schedule is shown in Appendix I.

3.0 TREE CATEGORISATION

Tree No.	Species	Category
T1	Norway Maple	B3
T2	Orchard Apple	C2
T3	Orchard Apple	C2
T4	Orchard Apple	C2
T5	Plum	C2
T6	Beech	C1
T7	Sweet Chestnut	C2
T8	Hawthorn	C2
T9	Orchard Apple	C2
T10	Orchard Apple	C2
T11	Pear	C2

B3: Trees with some conservation value for wildlife, and potential cultural benefits.

C1: Trees not qualifying in higher categories.

C2: Trees present in groups or woodlands, but without this conferring on them significantly greater landscape value, and/or trees offering low or only temporary screening benefit.

The tree quality assessment is shown in Appendix II.

4.0 ARBORICULTURAL IMPLICATIONS ASSESSMENT

The following information, as with the prior contents of this report, should be read in conjunction with the tree data table and the TCP (Appendix III).

4.1 Below ground constraints

Irrespective of the proposed development, none of the trees were identified as requiring removal for reasons of sound arboricultural practice (BS5837 category 'U').

However, in order to facilitate the proposed development, some of the trees will have to be removed as their RPAs will be incurred to a greater or lesser extent, including three Orchard Apples (T2, T3 and T4), a Plum (T5), a Beech (T6), a Sweet Chestnut (T7) and a Hawthorn (T8). All of these were categorised as C class.

Although category C trees have some cultural, ecological and landscape value, they should not constrain the proposed development, as they could be replaced. Their removal may also assist in the growth and development of higher category trees.

The construction of the new dwelling, garage, parking and access will be used in conjunction with the installation of protective barrier fencing (PBF).

The PBF will be of an appropriate specification and will be installed to exclude construction activities from the RPAs of retained trees. At the point of PBF being installed, the enclosed RPA sections become demolition and construction exclusion zones (CEZ). This is to protect the RPAs of good quality retained trees during construction. The construction restrictions, phased processes and specification for the PBF form part of the AMS.

As such, applying BS5837 the root protection areas of the trees were calculated. These are shown on the TCP in Appendix III.

As noted, the RPAs of T2-T8 will be incurred. Although some of these incursions are acceptable under the terms of BS5837:2012, the trees themselves are likely to be damaged by the proposed works, and as such they will be removed if planning is consented.

The RPAs of the remaining trees are not incurred, and these trees will be retained, although ground protection measures will be necessary to prevent ground compaction above the roots.

The short section of roadside hedge to be removed consists of relatively young Blackthorn, Cherry Laurel, Hawthorn, Hazel and Tree Cotoneaster. There are no large trees in proximity to the proposed entrance, and no RPAs have been calculated, as all specimens fall below the BS5837:2012 threshold.

As services will be associated with the new dwelling and garage, any underground utilities installed within close proximity to RPAs will take account of the trees' roots and their growing environment.

As such, excavations will be carried out manually with the use of hand operated machinery and potentially an air spade.

Due to the installation of PBF for the duration of the proposed construction phase, it is not anticipated that RPA incursion will occur on any trees outside the construction zone.

However, where this need arises, it may be necessary to protect the tree roots and their growing environment. If so, the advice of the consultant should be sought and the written permission of the Local Authority may also be required.

4.2 Above ground constraints

Overall there will be little effect on the landscape when viewed from locations outside of the site, as it is well-screened by existing vegetation, and only internal trees are to be removed, most of which are quite small.

Some minor pruning of T1 will be required (approximately 1.0 m reduction), but otherwise the new dwelling will not lie under the canopies of any of the trees, so it is not anticipated that there will be any conflict over accumulating leaf litter in the gutters and/or shedding branches.

4.3 Replacement Planting

To offset the loss of trees, it is proposed to plant an orchard in the adjoining paddock which also belongs to the same landowners.

4.4 Conclusions

The objective assessment above has resulted in the following:

- The application site consists of an existing lawned garden which contains a wide variety of native and non-native trees and shrubs of varying ages, but all planted by the current landowners;
- For the purposes of this application, a total of 11 trees were surveyed, along with a section of boundary hedgerow through which a new access drive will be created;
- Only one tree was categorised as B class, this a middle aged Norway Maple (T1) which is in good physiological and structural condition;
- The rest are all C class, as none are particularly good specimens and some contain physiological and/or structural defects;
- Two of the trees are still young – T3 Orchard Apple and T7 Sweet Chestnut;
- The root protection areas (RPA) have been calculated;
- In order to facilitate the proposed development, some of the trees will have to be removed, as their RPAs are incurred to a greater or lesser extent by the new buildings, including three Orchard Apples (T2, T3 and T4), a Plum (T5), a Beech (T6), the Sweet Chestnut (T7) and a Hawthorn (T8);
- The RPAs of the remaining trees are not incurred, and these trees will be retained, although ground protection measures will be necessary to prevent ground compaction above the roots;

- ❑ The short section of roadside hedge to be removed consists of relatively young Blackthorn, Cherry Laurel, Hawthorn, Hazel and Tree Cotoneaster. There are no large trees in proximity to the proposed entrance;
- ❑ Some minor pruning of T1 will be required (approximately 1.0 m reduction), but otherwise the new dwelling will not lie under the canopies of any of the trees, so it is not anticipated that there will be any conflict over accumulating leaf litter in the gutters and/or shedding branches;
- ❑ To offset the loss of trees, it is proposed to plant an orchard in the adjoining paddock which also belongs to the same landowners;
- ❑ Construction traffic and materials storage areas will be contained on existing lawned areas away from retained trees;
- ❑ This Arboricultural Implications Assessment (AIA) is supported by an Arboricultural Method Statement (AMS) and Tree Protection Plan (TPP).

5. ARBORICULTURAL METHOD STATEMENT

5.1 Construction Restrictions

The following restrictions are to be employed to ensure the suitable protection of retained trees:

- i. Tree works are to be completed prior to commencement of any and all construction processes;
- ii. No tree works not specified below are permitted;
- iii. PBF is to be installed prior to the construction works commencing;
- iv. No fires are to be lit and no machinery, plant or vehicles are to be washed down within 10.0 m of a tree's canopy;
- v. During construction activities, RPAs may not be breached, i.e. no surfacing works, no chemicals/materials to be transported or stored or used or mixed, without the prior advice of the consultant and the consent of the Local Authority;
- vi. No mechanical digging or scraping is permitted within an RPA;
- vii. Only following completion of construction can any hard surfacing used for construction traffic be removed;
- viii. Only following construction can the PBF be removed and the soft landscaping/tree planting works (if required) be undertaken.

5.2 Tree Works Specification

Tree works must only be undertaken with the full and written permission of the Local Authority and/or in accordance with detailed planning permission and to BS:3998 by a tree surgeon who is suitably qualified, experienced and insured.

The tree works listed below are the result of the AIA's recommendations.

TREE WORK SUMMARY

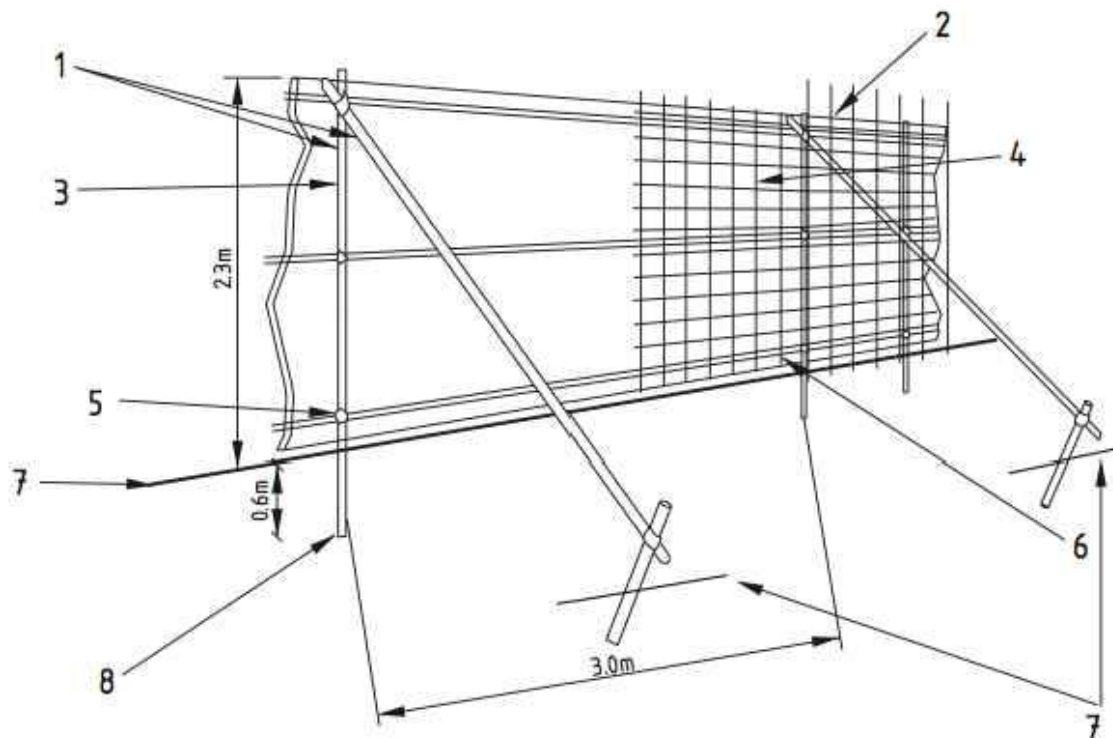
Tree Number	Remedial works
T2-T8	Remove to facilitate the construction of the new dwelling, garage and access

Protective Barrier Fencing (PBF) Specification

Following the completion of the tree works, PBF is to be installed as illustrated on the TPP, and is to remain in situ for the entire duration of the construction phase, unless otherwise agreed in writing by the Local Authority.

The PBF, due to the degree and proximity of work taking place around the trees, is to consist of *“a vertical and horizontal (scaffold) framework, well braced to resist impacts, with the vertical tubes spaced at a maximum of 3m. Onto this, weld mesh panels should be securely fixed with wire or scaffold clamps. Weldmesh panels on rubber or concrete feet are not resistant to impact and should not be used unless securely fixed to the ground.*

The type of fence to be used is shown in Fig. 4 below.



- | | |
|--|--|
| Standard scaffold poles | 5 Standard clamps |
| Uprights to be driven into the ground | 6 Wire twisted and secured on inside face of fencing to avoid easy dismantling |
| Panels secured to uprights with wire ties and where necessary standard scaffold clamps | 7 Ground level |
| Weldmesh wired to the uprights and horizontals | 8 Approx. 0.6 m driven into the ground |

Fig. 4 Protective Barrier Fencing

The position of the PBF is shown in Appendix IV.

Tree protection signage denoting the words “*TREE PROTECTION ZONE – KEEP OUT*” is to be fixed onto every other panel of the PBF (Fig. 5).



Fig. 5 Example of signage

Sensitive RPA Excavations

Where works are proposed within an RPA, special excavation techniques are required to ensure the rooting volume, and the existing conditions for growth, are protected during both the excavations and the duration of the works. The following measures are to be implemented where said situation is present.

- ❑ Protect the soil from compaction or soil shearing (i.e. direct contact with open soil);
- ❑ Retain the soils aerobic conditions and facilitate the vertical and lateral exchange of water and air;
- ❑ Undertake the excavation works whilst complying with the construction process restrictions

The excavation of soil within an RPA is to be conducted manually with the use of manually operated (hand held) machinery such a pneumatic drill. If required thereafter, an air spade with soil suction should be used as a non-invasive means of excavation to ultimate depth.

Where rooting volume is encountered greater than 25 mm in diameter, for the duration of exposure, the roots should be wrapped in dry, clean hessian sacking. In certain circumstances roots smaller than 25 mm can be pruned back.

However, pruning of roots greater than 25 mm in diameter will require the advice of the consultant and written permission from the Local Authority.

Prior to backfilling, any hessian wrapping should be removed and roots should be surrounded/packed with sharp sand (not building sand).

Special Engineering Solutions

Where existing surfacing has been excavated/prepared within an RPA and replacement hard surfacing is to be installed, special measures may be required to ensure the rooting volume, and the existing conditions for growth, are protected.

At Field Farm this is unlikely to be required, but is shown here in case it become necessary to protect the site during construction.

The preparation and installation of a load bearing surface solution is to be installed within an RPA that is to:

- ❑ Be a no dig solution for the installation of hard surfacing within the RPAs of retained trees;
- ❑ Retain the soils aerobic conditions and facilitate the vertical and lateral exchange of water and air;
- ❑ Install the surface treatment whilst complying with any construction process restrictions.

A geotextile is to be laid onto the prepared ground and a cellular confinement system fixed on top and 'charged' with a washed no fines aggregate. This is to be 'dressed' using traditional gravel.

This will require the installation of a thin layer of gravel bedding and a filled DuoBlock-type system with the surface material on top. The latter will be porous, so could be resin bound gravel, loose gravel, porous paving, etc.

The illustration below shows this load bearing surfacing (Fig. 6).

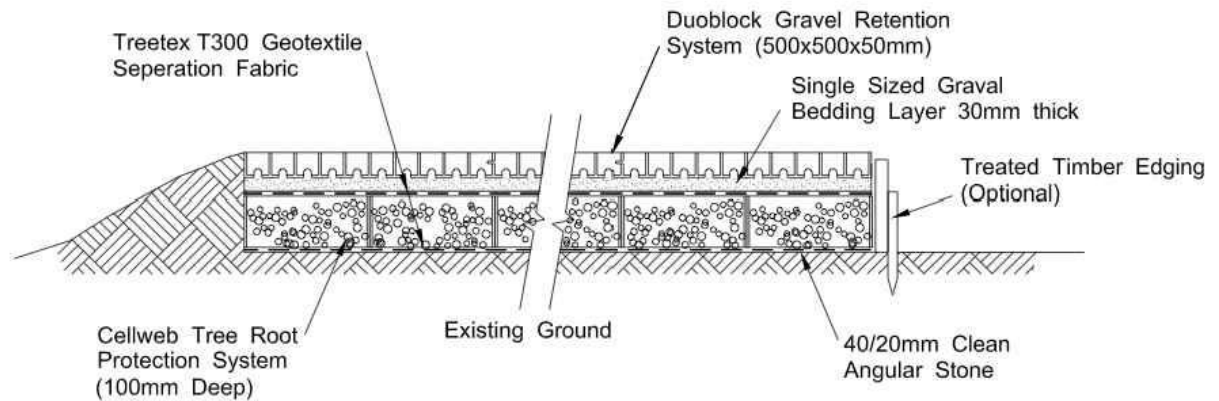


Fig. 6 Example of load bearing surfacing for use in RPAs

The installation of this system will minimise the impacts of the construction traffic and activities on the RPAs of retained trees, and will protect the RPAs for all future use. As such it is not anticipated that any additional mitigation measures will be required.

It is anticipated that ground protection measures will be required, in particular when working next to T1. These will consist of scaffold boards placed on top of a 50 mm layer of bark chippings (or sand or graded aggregate) spread on top of porous geotextile membrane (Fig. 7).

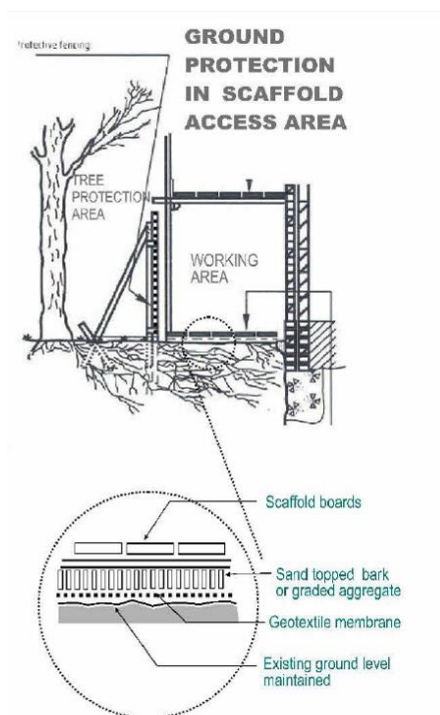


Fig. 7 Ground protection measures

5.3 Replacement Planting Specification

To offset the loss of trees, it is proposed to plant an orchard in the adjoining paddock which also belongs to the same landowners.

Each new tree's location should be properly prepared with adequate drainage and room for future development. For larger specimens:

- The planting pit is to be excavated to a sufficient width and depth to accommodate the root-ball, allowing a minimum of 1.0 m clearance, with the additional breaking up of the planting pit's sides and base;
- The tree is to be planted to the same depth as existing, i.e. not above the root collar, and it should be back-filled with high grade soil and firmed in;
- The tree is to have a non-intrusive and adjustable supportive system installed in the form of either staking or above/underground guying;
- A bark/wood-chip mulch is to be applied around the base of the planted tree to at least a 2.0 m radius and < 5cm depth;
- A suitable maintenance programme, i.e. additional watering, fertilizing, weed control and mulching, is essential to ensure the tree establishes successfully.

6. RECOMMENDATIONS

This report is released to the clients for them to distribute at their discretion. The consultant is available via telecom and/or email (via the methods on the back page) for any queries relating to this report and/or any other matter relating to arboriculture (which will form part of a separate contract).

The arboricultural supervision and/or monitoring is therefore recommended thus:

- On-site observation/guidance at the time of tree work operations;
- Induction of site team members regarding general and site specific arboricultural considerations and the assignment of key personnel (site manager) responsible for the AMS;
- Production of statement of delegated powers (if applicable);
- Production of written instructions for dealing with variations and/or incidents (if applicable);
- On completion of the development, sign off the site as having correctly adhered to this AMS.

Terms and Definitions

“*Arboriculturist*” - person who has, through relevant education, training and experience, gained recognized qualifications and expertise in the field of trees in relation to construction.

“*Land survey*” - an accurately measured land survey (also known as a topographical survey) should be undertaken showing all relevant existing site features.

“*Tree survey*” - should be undertaken by an arboriculturist and should record the information about trees on a site independently of and prior to and specific design for development. The results of a tree survey should be included in the preparation of a tree constraints plan, which should be used to assist with the site design.

“*Tree categorization method*” - should be applied by an arboriculturist and is to identify the quality and value of the existing tree stock, allowing informed decisions to be made concerning which trees should be removed or retained should development occur.

“*Tree constraints plan (TCP)*” - an accordingly scaled plan prepared by an arboriculturist for the purposes of layout design showing the tree stem, crown spread, root protection area and unique identification number.

“*Root protection area (RPA)*” - layout design tool indicating the area surrounding a tree that contains sufficient rooting to ensure the survival of the tree, shown on the TCP in m². The radius is calculated as a function of the tree stem diameter; x12 at 1.5m from ground level for single trees and up to five stems. For trees with more than five stems, the combined stem diameter should be calculated as the square root of the (mean stem diameter)² × number of stems. An arboriculturist may change the shape of an RPA but not reduce its area.

“*Arboricultural implications assessment (AIA)*” - study, undertaken by an arboriculturist, to identify, evaluate and possibly mitigate the extent of direct and indirect impacts on existing trees that may arise as a result of the implementation of any site layout proposal.

“*Arboricultural method statement (AMS)*” - methodology for the implementation of any aspect of development that has the potential to result in loss of or damage to a tree.

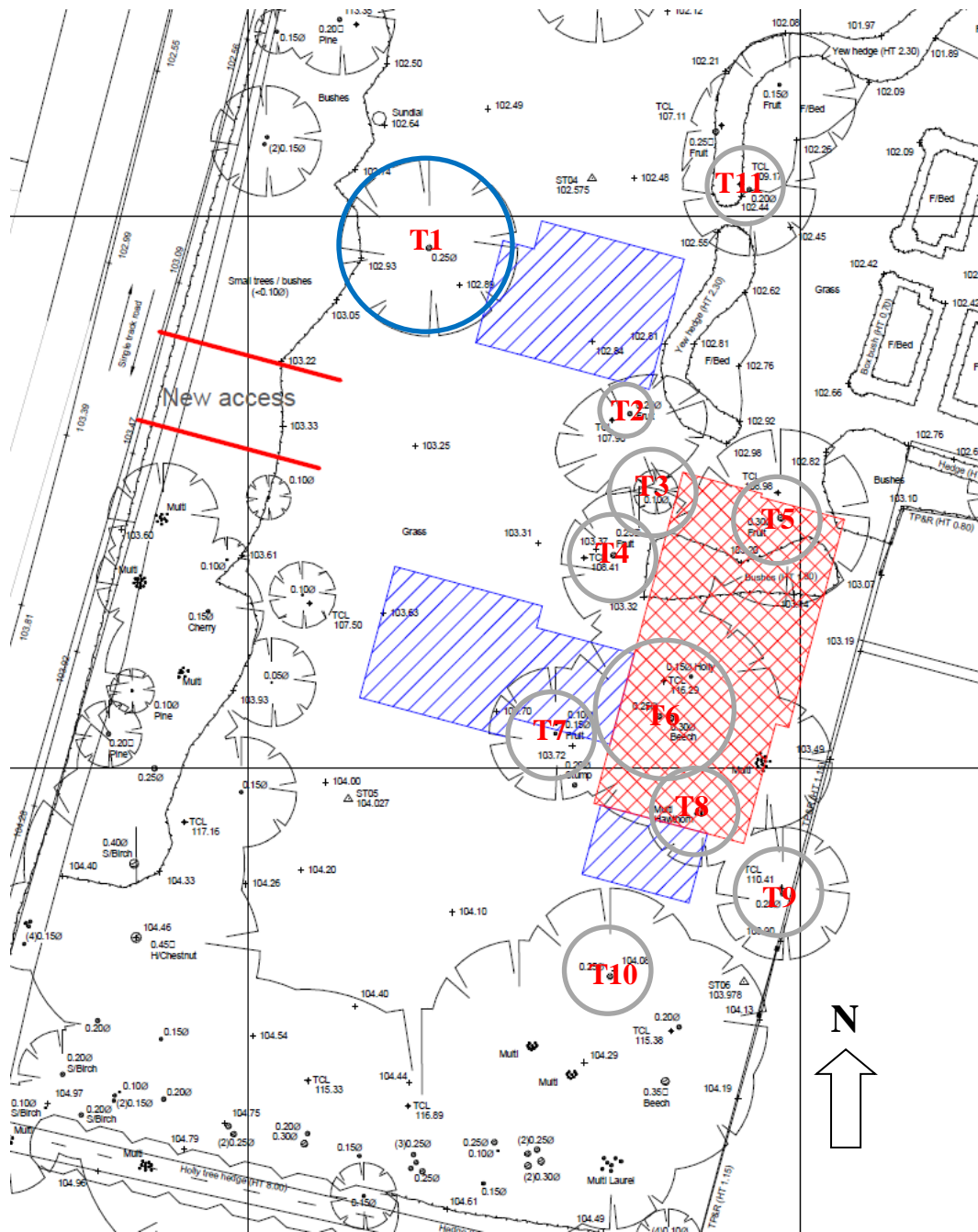
“*Tree protection plan (TPP)*” - an accordingly scaled plan prepared by an arboriculturist showing the finalised layout proposals detailed within the AMS, which can be shown graphically.

Appendix I - Tree survey schedule

Tree reference number	Species	Height m	Stem diameter mm	Branch spread m	Height of crown clearance m	Age class	Physiological condition	Structural condition	Preliminary management recommendations	Estimated remaining contribution years	Category grading
1	Norway Maple <i>Acer platanoides</i>	10	255	N 4 S 4 E 4 W 4	1.0	Middle Aged	Good	Good	-	40+	B3
2	Apple <i>Malus domestica</i>	4	208	N 1 S 1 E 1 W 1	1.5	Mature	Good	Fair	-	20-40	C2
3	Apple <i>Malus domestica</i>	2	86	N 2 S 2 E 2 W 2	1.5	Young	Good	Fair	-	10-20	C2
4	Apple <i>Malus domestica</i>	4	261	N 2 S 2 E 2 W 2	2.0	Mature	Good	Fair	-	20-40	C2
5	Plum <i>Prunus domestica</i>	5	246	N 2 S 3 E 2 W 2	2.0	Mature	Fair – dead wood and dying back	Fair	-	10-20	C2
6	Beech <i>Fagus sylvatica</i>	9	Co-dominant 222, 302	N 3 S 3 E 3 W 3	0.5	Middle Aged	Good	Fair – co-dominant from 1.0 m	-	40+	C1
7	Sweet Chestnut <i>Castanea sativa</i>	5	150	N 2 S 2 E 2 W 2	1.5	Young	Good	Fair	-	40+	C2
8	Hawthorn <i>Crataegus monogyna</i>	5	Multi-stemmed 80, 110, 120	N 2 S 2 E 2 W 2	0.25	Mature	Good	Fair	-	40+	C2

9	Apple <i>Malus domestica</i>	5	229	N 2 S 2 E 2 W 2	1.75	Mature	Fair – multiple stem cavities	Fair	-	20-40	C2
10	Apple <i>Malus domestica</i>	4	234	N 2 S 2 E 2 W 2	2.0	Mature	Good	Fair	-	20-40	C2
11	Pear <i>Pyrus communis</i>	5	175	N 1.75 S 1.75 E 1.75 W 1.75	1.5	Mature	Good	Good	-	40+	C1

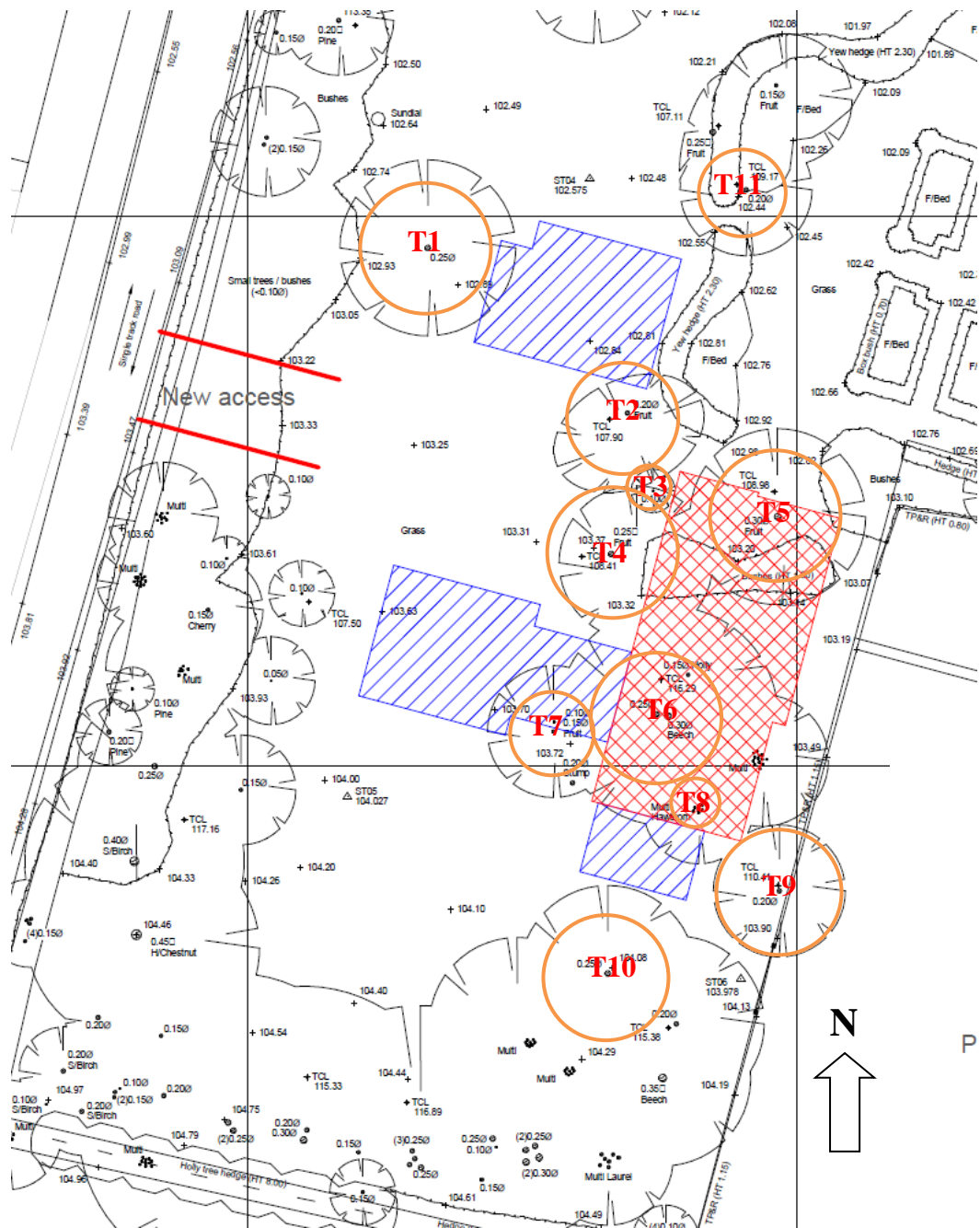
Appendix II – Tree quality assessment



Plan 2 Tree Quality Assessment & crown spreads (to scale)

- Trees for removal
- Category A – high quality
- Category B – moderate quality
- Category C – low quality

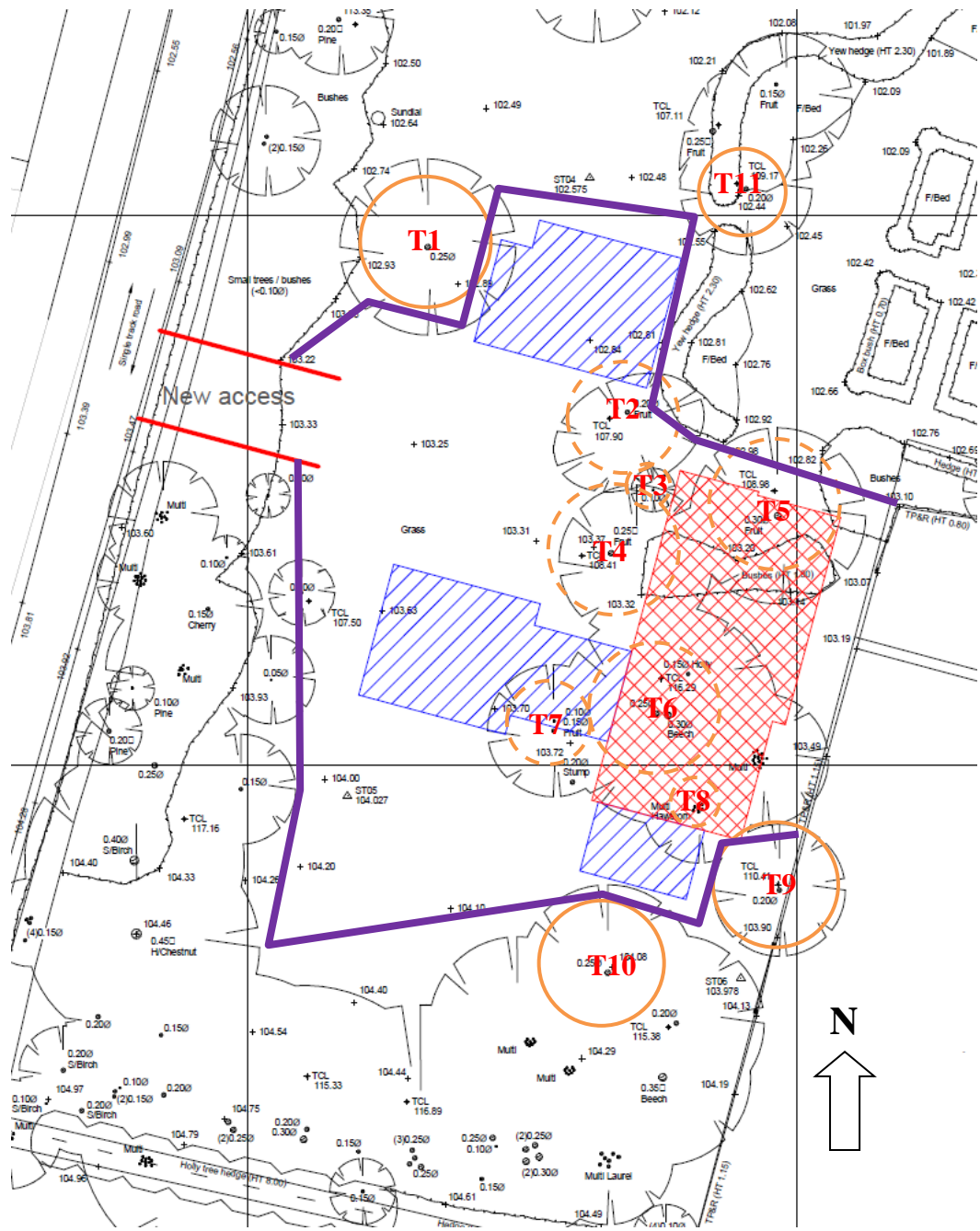
Appendix III – Tree Constraints Plan



Site plan - RPAs shown to scale

Tree No	RPA radius m	Tree No	RPA radius m
1	3.06	7	1.80
2	2.49	8	1.23
3	1.03	9	2.74
4	3.13	10	2.80
5	2.95	11	2.10
6	3.14		

Appendix IV – Tree Protection Plan



Protective Barrier Fencing ———

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Field Farm, Nether Westcote, Chipping Norton – Tree Survey Report

To: Professor and Mrs Earl

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