

2.0 Design Statement

2.2 Layout & Amount

2.2.3 Plot 1 Proposed Accommodation

Plot 1 - Accommodation Schedule (GIA)







Entrance hall	9.3m ²
Bedroom wing corridor	27.5m ²
Kitchen/Living/Dining	67.9m ²
Study	11.1m ²
Utility	4.7m ²
WC	2.7m ²
Snug/TV room	9.2m ²
Lobby	4.6m ²
Guest bedroom	10.7m ²
Guest ensuite	4.2m ²
Guest dressing room	4.2m ²
Bedroom 1	14.6m ²
Ensuite 1	4.1m ²
Dressing room 1	4.2m ²
Bedroom 2	14.0m ²
Ensuite 2	5.0m ²
Dressing room 2	4.7m ²
Total	202.7m²

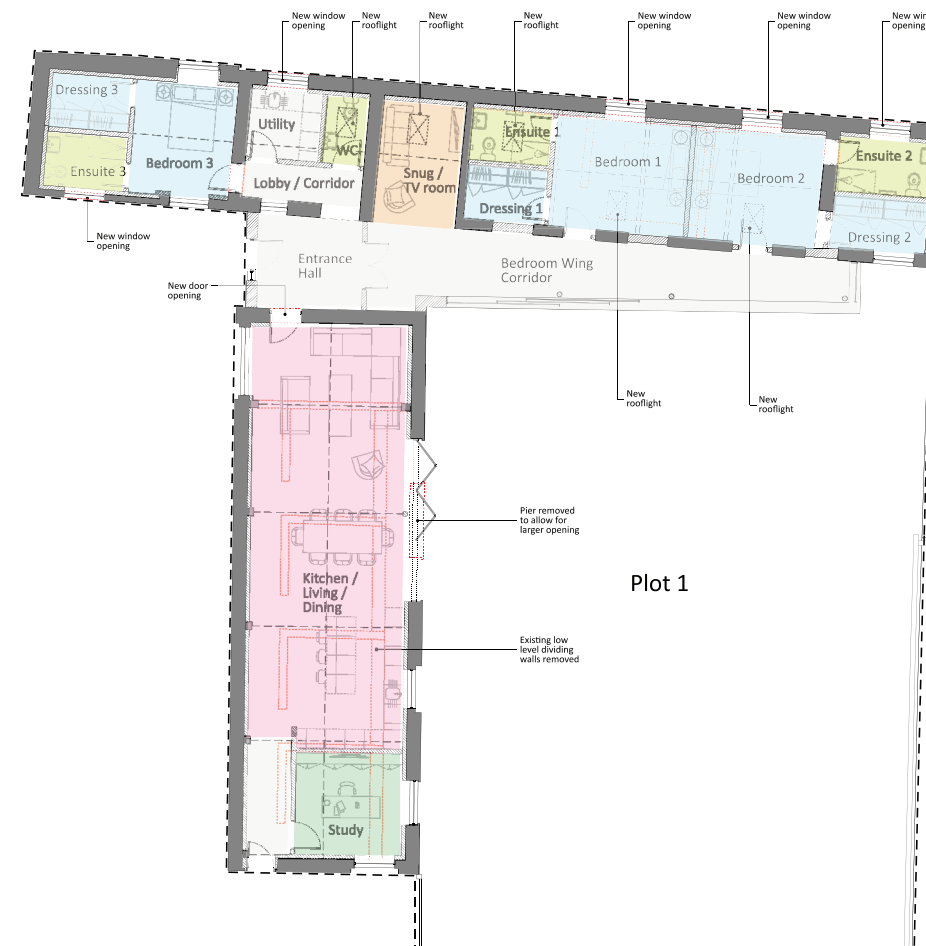
2.2.4 Plot 1 Layout

This plot is arranged over a single ground floor storey. With the existing buildings being retained as much as possible, with existing trusses and roof structures exposed and ceilings vaulted.

The new additions of the entrance hall and bedroom wing corridor serves the purpose of adding much needed circulation routes through the house. The entrance hall creates a build link between the two buildings, while the corridor enables circulation and access to the bedrooms whilst preserving the historic structure and fabric of the stables. Along this corridor, where any existing door and window openings have been block up, there will be a recess of the original opening, providing the opportunity to read the historic rhythm of the barn.

Legend :

	Bedrooms
	Kitchen / Dining
	Lounge / Snug
	Bathrooms
	Home Office / Games Room
	Utility / Ancillary Areas



2.0 Design Statement

2.2 Layout & Amount

2.2.5 Plot 2 Proposed Accommodation

Plot 2 - Accommodation Schedule (GIA)

Ground Floor

Kitchen/Dining/Hall	61.3m ²
Living	42.7m ²
WC	4.8m ²
Boots/Utility room	4.3m ²

First Floor

Landing	19.4m ²
Bedroom 1	24.3m ²
Ensuite	5.4m ²
Bedroom 2	16.2m ²
Bedroom 3	20.6m ²
Bathroom	12.0m ²
Total	211.0m²

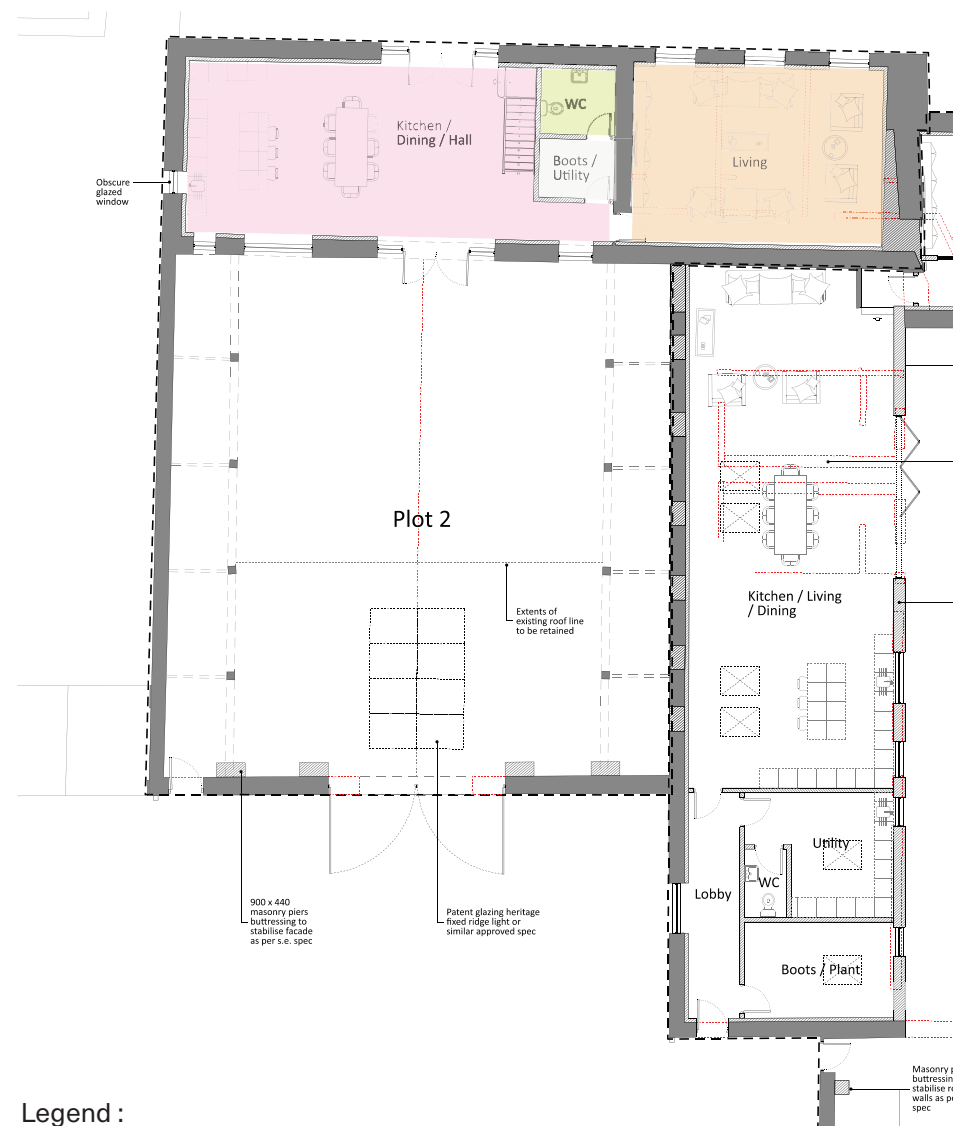
2.2.6 Plot 2 Layout

The layout is focussed around the oldest barn that forms this plot. By removing a portion of the existing barn roof, the historic threshing barn is revealed. It is this threshing barn that informs the layout of the home, with the entrance hall and kitchen, dining area being a double height vaulted ceiling, showcasing the original barn scale and timber structure.

At the opposite end of the barn has restricted window openings, hence is suitable for a cosy living area. On the upper floor are the bedrooms, taking advantage of the valuted ceilings, with exposed existing timber structure where possible.

The removal of the section of barn roof, allows the opportunity to create a walled courtyard garden, which maintains the footprint of the existing barn, and offers visual links to the context through the existing arched opening.

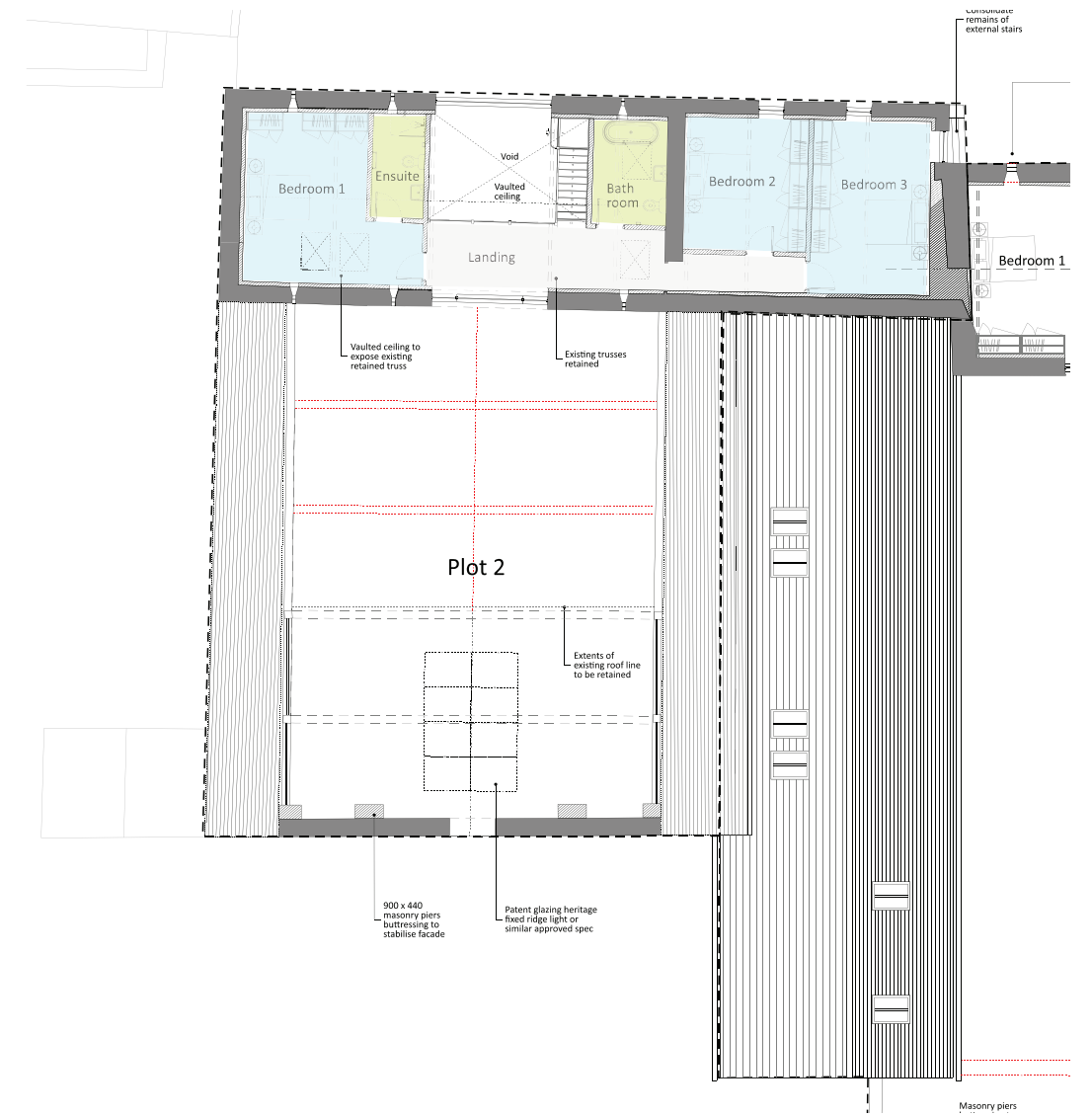
Ground Floor



Legend :

	Bedrooms
	Kitchen / Dining
	Lounge / Snug
	Bathrooms
	Home Office / Games Room
	Utility / Ancillary Areas

First Floor



2.0 Design Statement

2.2 Layout & Amount

2.2.7 Plot 3 Proposed Accommodation

Plot 3 - Accommodation Schedule (GIA)

Ground Floor

Entrance hall	26.1m ²
Kitchen	40.5m ²
Study	19.2m ²
WC	4.5m ²
Boots	4.3m ²
Kitchen/Living/Dining	104.6m ²
Utility	14.7m ²
WC	2.7m ²
Boots/Plant	14.7m ²
Lobby	11.3m ²

First Floor

Bedroom 1	21.5m ²
Ensuite 1	5.4m ²
Bedroom 2	16.2m ²
Ensuite 2	5.5m ²
Bedroom 3	14.5m ²
Bathroom	9.1m ²
Landing	9.2m ²

Sub-Total 354.0m²







Annexe

Lounge	24.1m ²
Games room/Hall	39.7m ²
Landing	2.6m ²
Bedroom	17.9m ²
Ensuite	5.4m ²

Sub-Total 88.8m²

Total 442.8m²

Legend :

	Bedrooms		Bathrooms
	Kitchen / Dining		Home Office / Games Room
	Lounge / Snug		Utility / Ancillary Areas



2.2.8 Plot 3 Layout

Much like plot 2, the layout seeks to showcase the historic threshing style of this barn, by reinstating the full height openings both front and back, creating a double height vaulted entrance hall with the timber roof structure exposed.

All of the openings are as per the existing layout, however to allow for adequate daylight it was necessary for some strategic new openings on the north elevation. There is evidence in this elevation of historic triangular ventilation slots which have been filled in. The new openings would replicate these triangular slots with fixed glazing panels within. On the first floor where these would not suffice for ventilation purposes, conservation rooflights are also fitted.

The north-south wing, which was where the previous livestock accommodation was housed, has fallen into a state of disrepair and collapse. This section will be reconstructed within the same footprint and heights creating a generous kitchen, living and dining room with sliding doors opening out on to the courtyard garden. This room will be vaulted and will feature timber trusses and structure which will closely resemble the original.

The annexe will feature a vaulted double height games room, which will expose the existing timber structure which will be retained where structurally possible.

2.0 Design Statement

2.3 Scale & Massing

2.3.1 Plot 1

The new additions that facilitate the circulation through and around the stables will be smaller in scale to the original stables barns. This will utilise the architectural language of a subservient intervention, demonstrating how these new additions have been constructed to facilitate the conversion to residential use in a supportive role rather than as the main character in the story.

As such the scale and massing of plot 1 will remain largely unaltered. The roofs will be made structurally safe and as such may be straightened from existing, however efforts will be made to maintain the existing ridge heights.



01 West Elevation
2214_P1_P_06_230_1.dgn



02 East Elevation
2214_P1_P_06_230_1.dgn



03 South Elevation Section
2214_P1_P_06_230_1.dgn



01 South Elevation
2214_P1_P_06_230_1.dgn



02 North Elevation
2214_P1_P_06_230_1.dgn

2.0 Design Statement

2.3 Scale & Massing

2.3.2 Plot 2

As touched upon in 2.2.6, the decision to remove a portion of the existing barn roof has been made to create a courtyard/walled garden, which will meet the outdoor amenity requirements for the residential use of the barns. The removal of the roof portion will reduce the scale of the barns, with this barn forming the larger section of the existing layout.

The removal will reveal the oldest section of the barns, which was a previous threshing barn, of which the scale and massing will remain largely unaltered, with the roof being repaired where necessary, the ridge height will remain as true to the existing level as possible.

2.3.3 Plot 3

The scale of the barns will remain largely unaltered, with the existing canopy covering what will become the courtyard garden removed. The currently dilapidated and structurally unsound section will be rebuilt in line with what would have been the existing scale, ridge and eaves heights, to follow those levels as closely as possible. As such the scale and massing will remain close to the existing throughout.



2.0 Design Statement

2.4 Appearance

2.4.1 Materials

The specification of the materials selected aims to demonstrate a sensitive approach to the heritage qualities of the existing barns, with the current material finishes simply repaired where necessary with appropriately sensitive means (e.g. lime mortar use, etc) to shore up and stabilise the existing fabric.

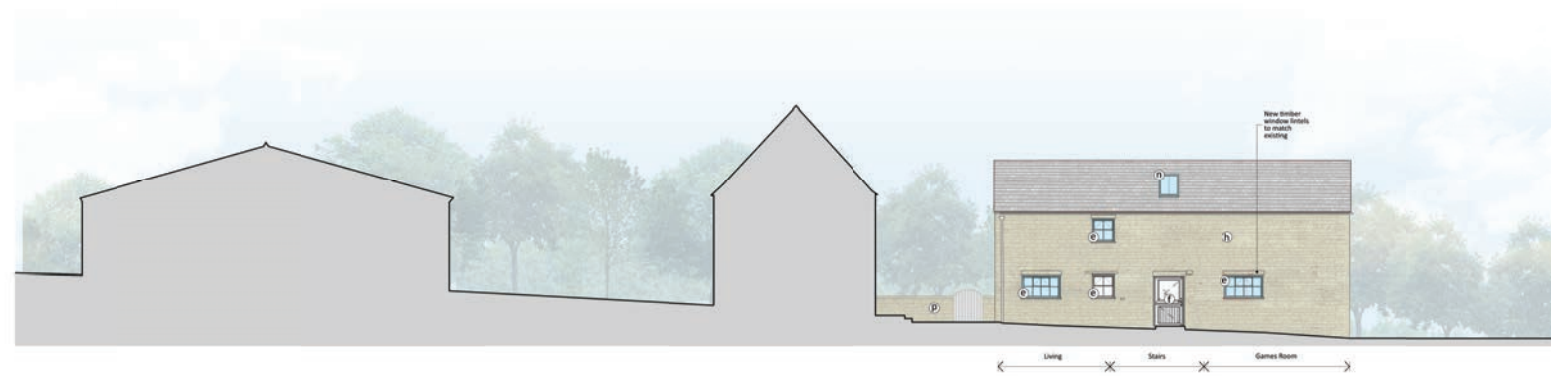
Any newly build sections will feature a different, yet sensitive palette, to sit harmoniously with the existing. Such as new sections of wall in plot 1 to be finished using pre-weathered timber cladding, and the same for new sections of roof in plot 1 to be finished with a zinc standing seam.

2.4.2 Appearance

The aim of the design proposals is to treat the existing barns with respect and sensitivity, while facilitating the conversion of use to residential.

As such the external appearance of the barns remain largely as existing, with only existing fenestration being used to maintain the heritage integrity of the existing fabric. No additional openings are added to facilitate the location of the habitable rooms, such as the living spaces and bedrooms. Where existing openings are limited to the original arrow slots, it is necessary to include conservation rooflights for daylight and ventilation.

On plots 2 and 3 however there will be new arrow slots added to the northern walls. These arrow slots will look to replicate the style and size of historic arrow slots in these barn walls, of which evidence is visible in the walls. These arrow slots will add natural light to the houses and also seek to highlight these hidden features of the barns.



01 West Elevation (plot 3 annexe)
2214_P1_P_02_215_1.dgn



02 East Elevation
2214_P1_P_02_215_1.dgn



01 Section A-A
2214_P1_P_02_215_1.dgn

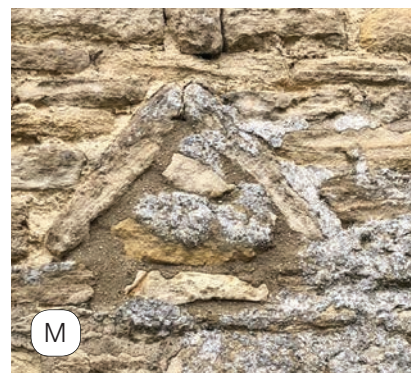
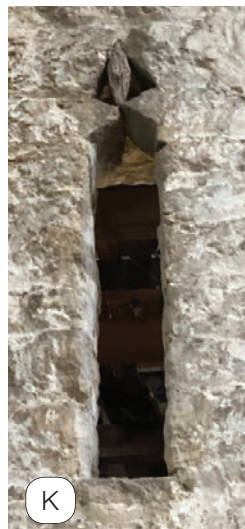
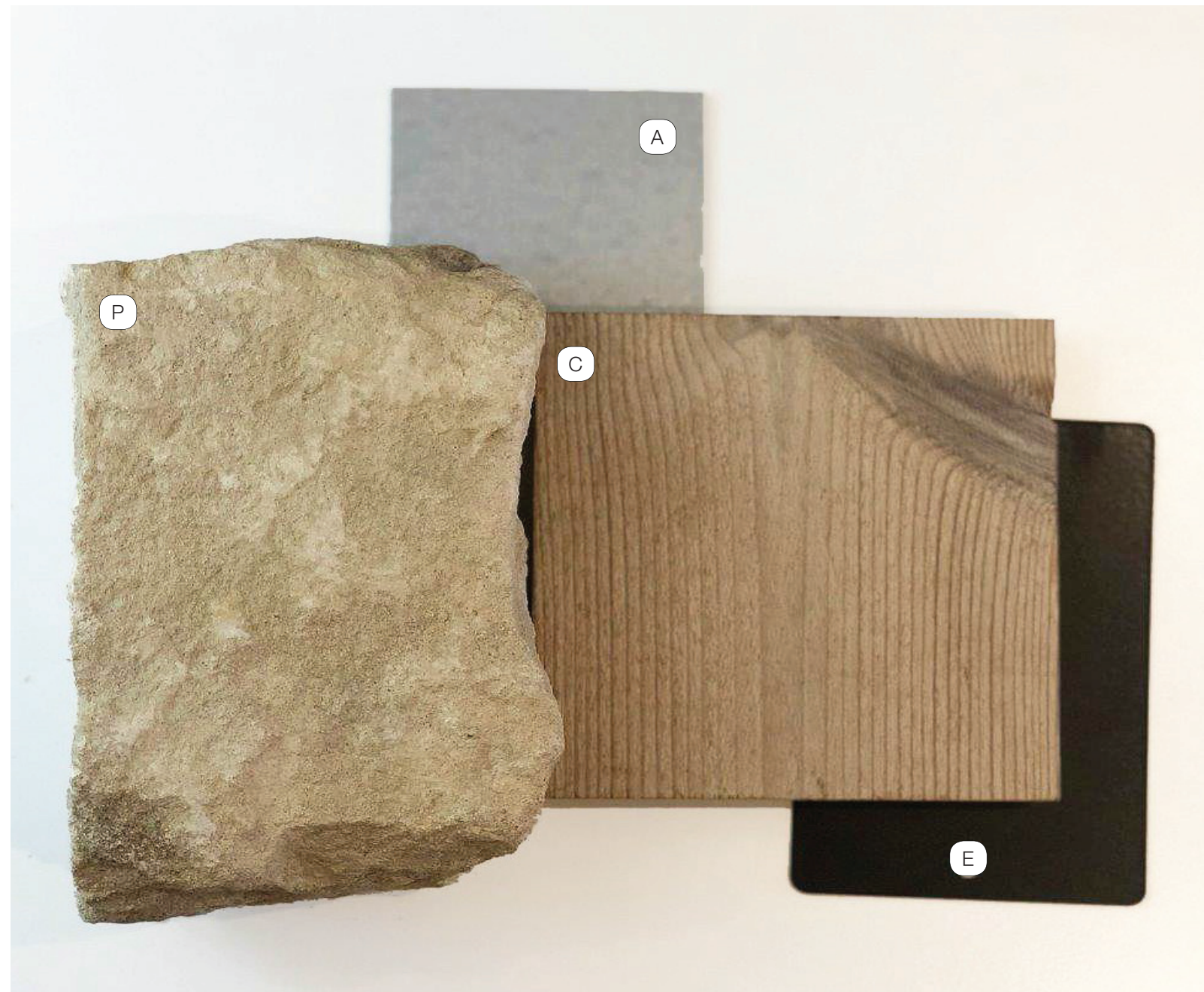
2.0 Design Statement

2.4 Appearance

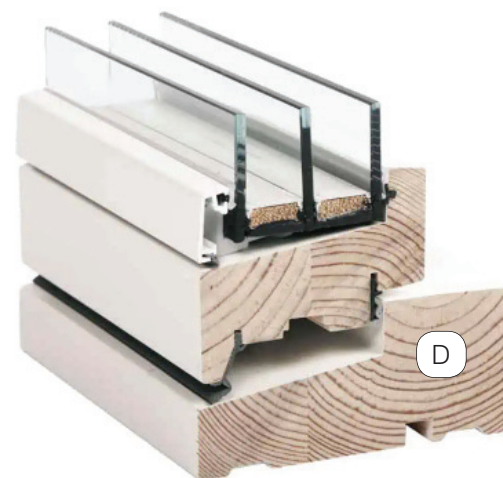
2.4.3 Materials Schedule

Materials Key:

- A - Zinc standing seam roof
- B - Metal sliding glazed door system
- C - Pre-weathered timber cladding
- D - Timber casement windows
- E - Metal crittal style windows
- F - Timber stable door
- G - Timber glazed door
- H - Existing Cotswold stone
- I - Existing brickwork
- J - Stainless steel PPC flue
- K - New arrow slot windows with fixed glazing
- M - New triangular arrow slot windows with fixed glazing
- N - Conservation rooflight
- O - Patent glazing heritage fixed ridge light
- P - New Cotswolds stone to match existing



Note: These are photos of the existing, which will form the basis of the proposed



2.0 Design Statement

2.5 Sustainability & Ecology

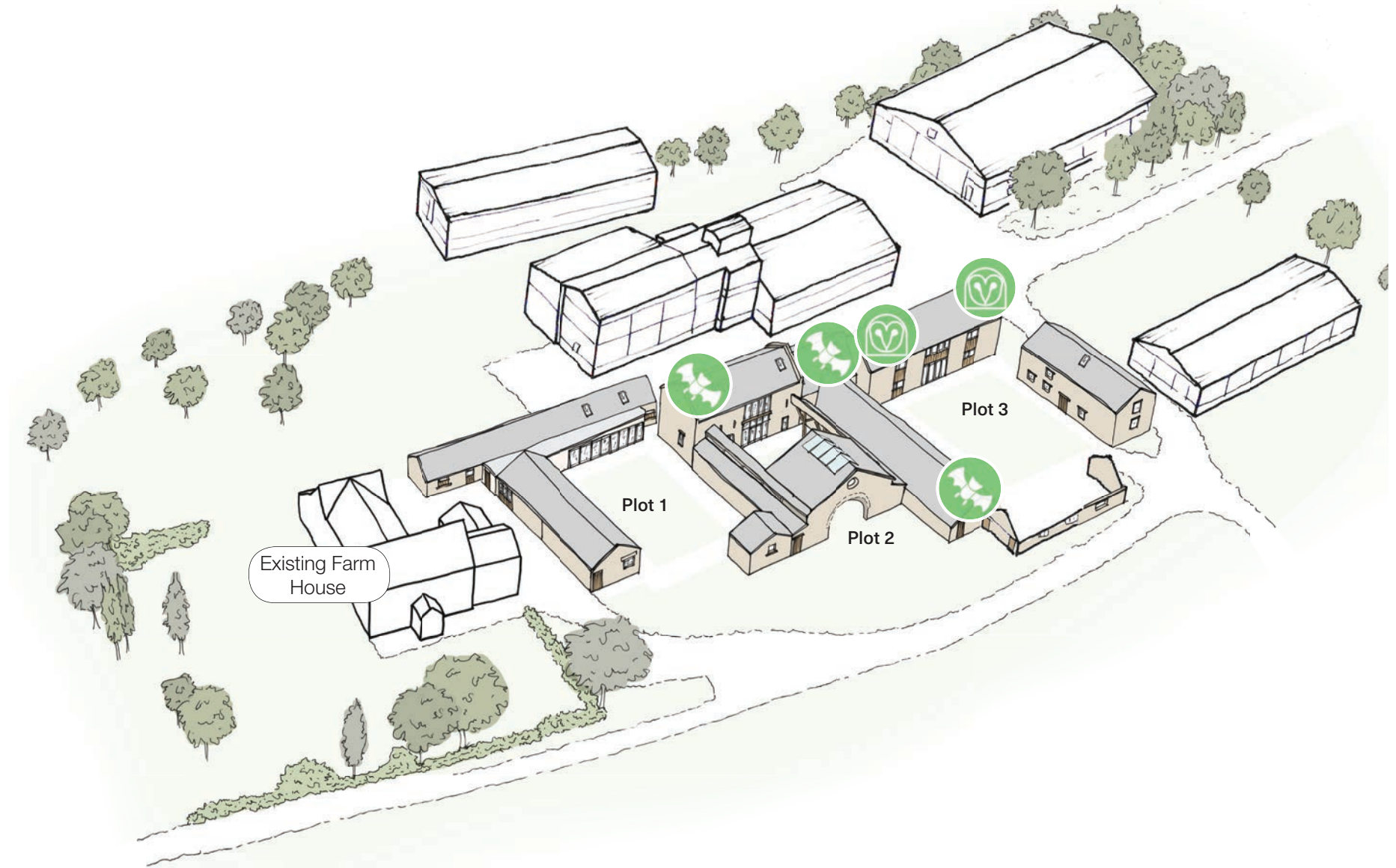
2.5.1 Ecological Considerations

From the preliminary ecological assessment undertaken by Ecology Solutions in 2022, there was evidence of bat roosts in the barns that will form plot 2 and the plot 3 annexe. A suspected barn owl nest in plot 3.

Ecology Solutions have recommended the following mitigation for the site:

- 15 Integrated bat roosting features
- 2 Tree mounted barn owl boxes
- 2 Integrated barn owl boxes
- 10 Bird nesting features

Specification and locations for the required mitigation have yet to be finalised and are to be confirmed. Any products that are specified will be visually sensitive, so as not to detract from the heritage importance of the barns. Examples of which are shown below.



Mitigation examples for bats (below) and barn owls (right)

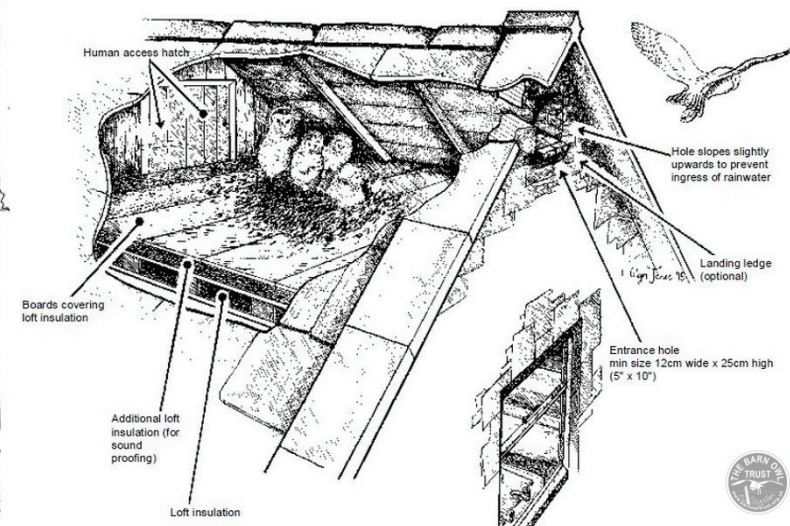
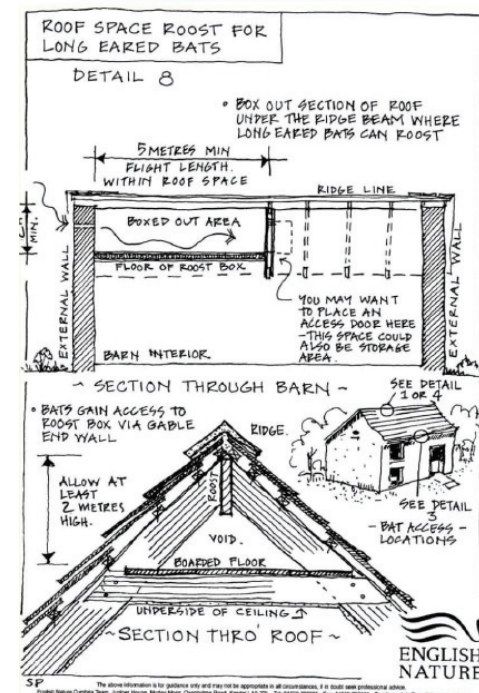
Legend : Bio diversity enhancement locations



Integrated Barn Owl Box



Integrated Bat Roosting



2.0 Design Statement

2.5 Sustainability & Ecology

2.5.2 Sustainability Considerations

The detailed design solution will be based on the following principals:

Energy / Renewable

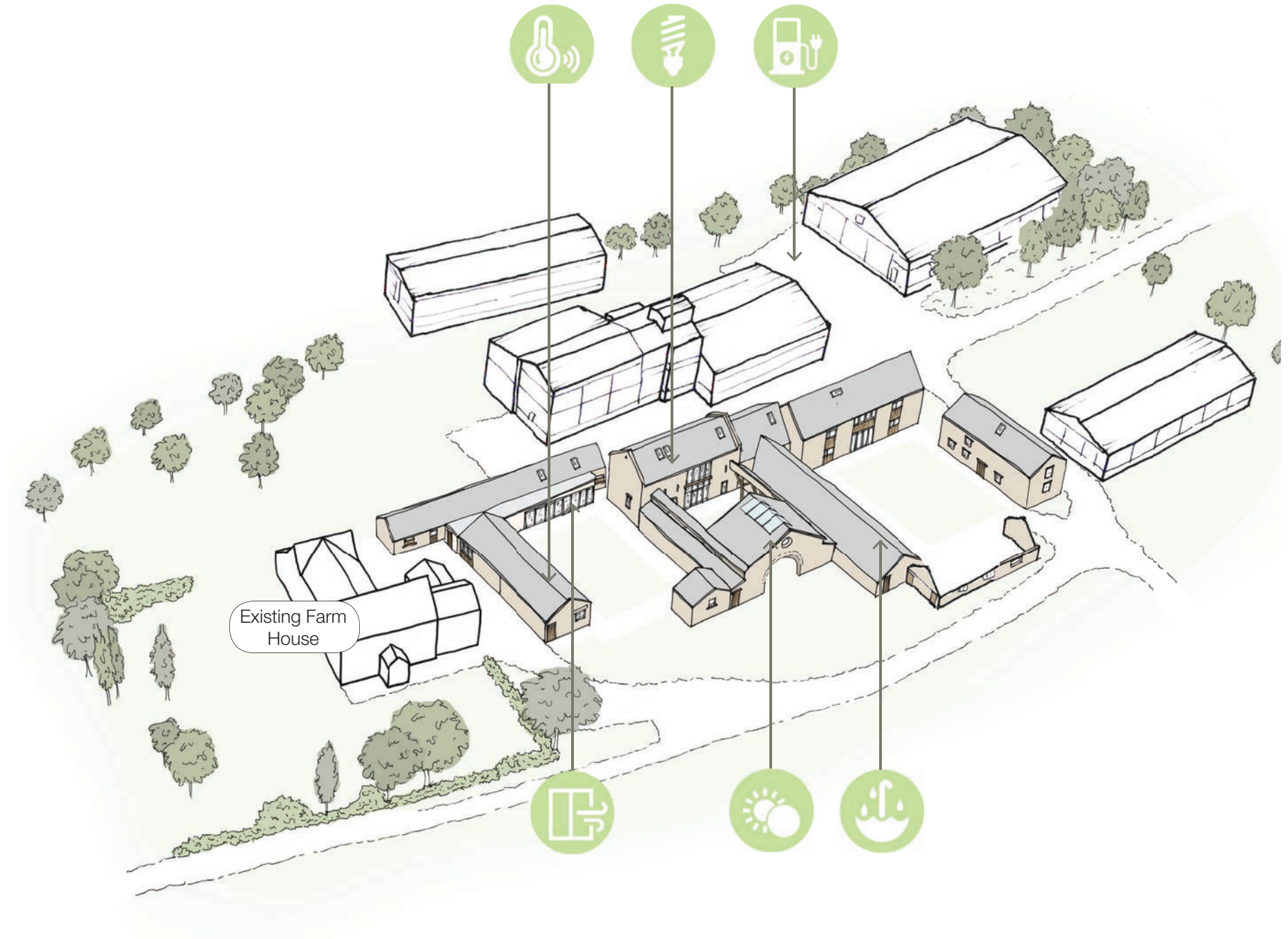
- Ambitious energy performance achieve primarily through passive design (e.g sensitive & breathable insulation improvements to existing building fabric and low air permeability)
- Low carbon & on-site renewables such as air source heating.

Transport / Connectivity

- Secure cycle storage space is provided within each house.
- Capacity for EV car charging will be provided in the communal parking area.

Sustainability in use

- Water efficient fitting and appliances will be used with grey water harvesting where appropriate.
- Individual smart meters to be provided for each property.
- Dedicated storage facilities provided for recyclable waste.
- A home user guide will be provided to tenants describing operation and best practice to optimise energy performance



Legend:



Natural Ventilation



Energy Efficiency



Energy Saving Metering



Rainwater Harvesting



Solar Shading



EV Charging

2.0 Design Statement

2.6 Biodiversity & Landscaping

2.6.1 Biodiversity & Landscaping Considerations

Each plot will feature dedicated external amenity space, which will in plot 2 and 3's case include removal of existing hard standing with new green spaces, giving opportunity for enhancement to the biodiversity of the site.

There will be new hedgerow and tree planting along the boundary of the site, providing habitat improvements for the local wildlife.



3.0 Access Statement

3.1 Access & Parking

3.1.1 Access

Access will remain largely unaltered, with the primary route to the site accessed from the existing A44 junction. Access along this route will be improved through the laying of a new surface to match the existing and stabilise the road surface, making it suitable for the use of heavy goods vehicles, such as refuse collection trucks. Also the curvature of the access road will be formalised, creating easier access to the plots.

3.1.2 Parking

Parking for each of the plots will be on primarily on the hardstanding area to the north of the site, with each plot allocated space for the parking of up to 2 cars, in line with the guidance provided by Oxfordshire County Council. There will also be provision for 2 visitor spaces.

Each plot will also feature at least one dedicated pick-up and drop-off space for accessibility.










3.1.3 Refuse Storage & Collection

In accordance with the guidance provided by Oxfordshire County Council, adequate space away from frontages will be provided for the storage of refuse, dry recycling, food waste and garden waste at each plot.

Each of the plots will be required to move their bins on collection days to the agreed communal collection point next to the parking area.

This location has been confirmed as being adequate for turning circle requirements of a refuse collection vehicle, please refer to the associated transport technical note.

Legend:

- | | | | |
|---|---------------------------|---|----------------------------------|
|  | Plot 1 drop-off locations |  | Plot 1 refuse storage |
|  | Plot 2 drop-off locations |  | Plot 2 refuse storage |
|  | Plot 3 drop-off locations |  | Plot 3 refuse storage |
|  | Communal parking location |  | Communal refuse collection point |
| | |  | Plot entrances |

