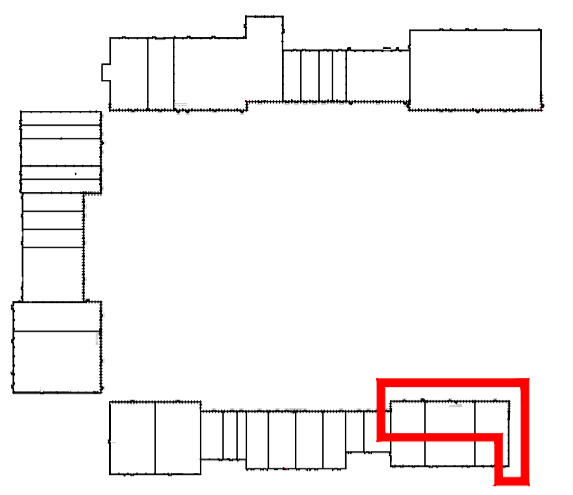


NOTE:
DRAWING BASED ON AMALGAMATION OF EXISTING RECORD DRAWINGS, SURVEYS PROVIDED BY BGP ENGINEERS AND HARRIS PARTNERSHIP ARCHITECTS. ALL SUBJECT TO ON SITE SURVEY CONFIRMATION.



KEY PLAN

Scale 1:5000 @ A1

Proposed Materials Specification:

- 1 GLAZING**
- Shopfront glazing - SAINT GOBAIN - clear structural glazing, single glazed (TBC), laid structurally stacked with stainless steel spider fixings, and stainless steel head and sill support channels - all to Specialist design.
 - 1A - Plinth - brushed stainless steel, 100mm.
 - 1B - Glazing panel, clear, standard size 2 x 3 m.
 - 1C - Glazing support - brushed stainless steel, 100mm, to head detail.
 - 1D - Entrance doors - 2m wide clear opening. Glazed auto-biparting, all within feature surround.
 - 1E - Glazed entrance doors - 3m wide clear opening (3.5 m between jambs), clear glazing, auto-biparting with door gear fixed to glass. Secondary support to portal columns for tenant fixtures / fittings.
 - 1F - Fire exit doors - steel faced, colour, TBC.

2 - BUILDING / FACADE STRUCTURAL ELEMENTS

- 2A - Steel structural horizontal beam, 180 x 180 SHS, to give support at mid location of shopfront glazing. Fixed off existing portal columns - to SE details. Painted - colour: Dark Grey.
- 2B - Existing portal cladding columns - to be painted - Dark Grey.

3 CLADDING

- 3A - Cladding panels - KINGSPAN BENCHMARK EVOLUTION AXIS flat unprofiled insulated panels. Colour: GREYROCK KC 100.
- 3B - Cladding panels - of hook on tray cassette panels, at 1000 mm vertical centres. To be - SOTECH ACM OPTIMA HC panels, colour: Dark Grey, finish: Metallic S05. Fixed back to KINGSPAN carrier panels.
- Ceramic granite facade panels, 11 mm in thickness, from SHACKERLEY SHG, fixed back to KINGSPAN BENCHMARK KARRIER panels. All ceramic granite panels set out on a module of 1200 by 600 mm, vertically or horizontally - as shown.
- Concealed lighting behind panels.
- 3C - Ceramic granite panels - Black Glass - (Ref: 8522 LEV, Basicata)
- 3D - Ceramic granite panels - White Glass - (Ref: 8521 LEV, Basicata)
- 3E - Ceramic granite panels - Black Matt - (Ref: RN05 NAT, River)
- 3F - Ceramic granite panels - White Matt - (Ref: RN01 STRUCT, River)
- 3G - Aluminium twin facade, with decorative perforation (historic reference image, landlora design)
- 3H - Behind ceramic granite, concealed lighting strips.
- 3J - Matt Black Dibond with directed print mesh graphic and folded edge construction
- 3K - High brushed stainless steel cladding, (with mirror effect), external grade.

4 LOUVRES

- 4 - Aluminium louvres, proprietary type.

5 SIGNS

- 5A - High Level Signage - flex face illuminated tenant signage feature.
- 5B - Secondary Sign - individual letters fixed internally to new glazing.
- 5C - Secondary Sign - individual letters fixed externally to new cladding material.

Drawing Notes

Drawing based on BGP Consulting Engineers received information. The Harris Partnership Ltd record information and Centara partial topographical survey. All subject to full internal building survey. Drawing subject to structural engineers design.

Rev	Date	Description	Rev By	Cr'd By
Q	09/11/23	Door position added	SA	OJC
P	08/11/23	Unit 21A subdivision shown	SA	OJC
N	10/03/22	Amendments made to suit tenant layout	SA	OJC
M	09/02/22	Fire exit door removed	SA	OJC
L	23/05/17	Material 3J updated on elevation, gable wall updated and extent of glazing area to JD.	OJC	OJC

Project Title	PROPOSED RETAIL PARK REFURBISHMENT TEESIDE SHOPPING PARK A66 STOCKTON ON TEES TS17 7BT		
Client	STOCKTON RETAIL PARK LTD		
Status	PLANNING		
Scale	1:200	Drawing Size	A1
Drawn By	TK	Checked By	OJC
Date	29/04/16		
Drawing Title	PROPOSED ELEVATIONS/GA - JD,BOOTS,H&M		
Job-Dwg No	14199-104	Rev	Q

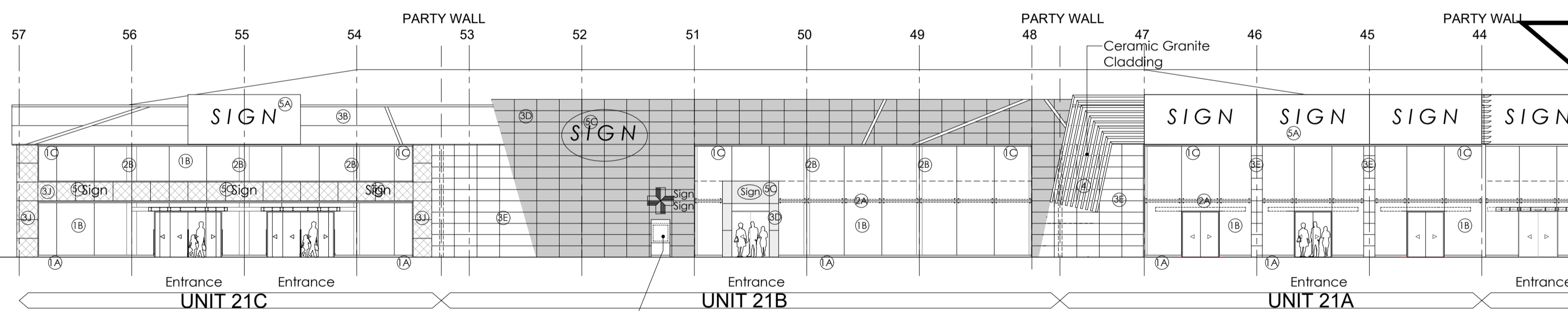
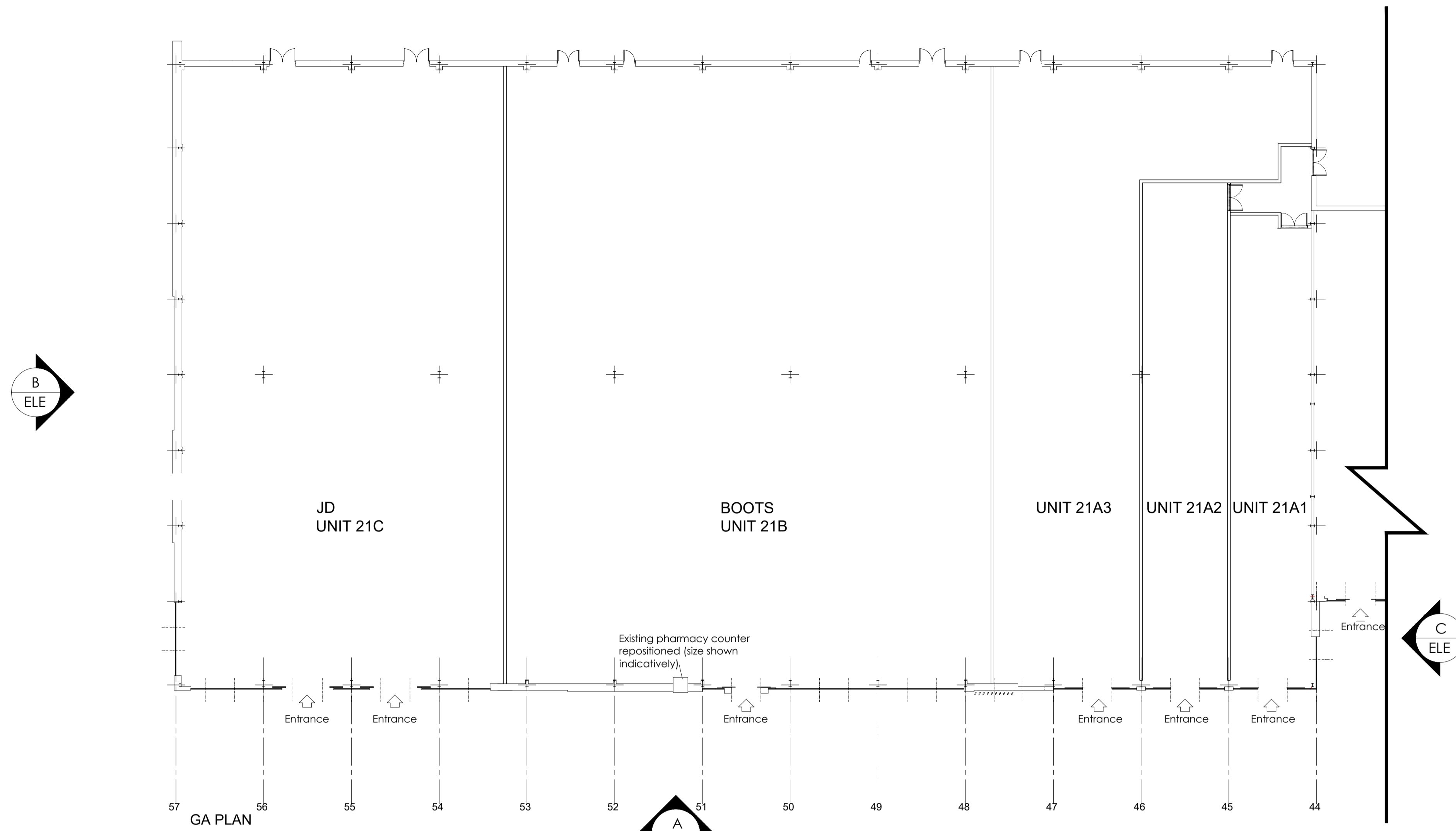
THE HARRIS PARTNERSHIP WAKEFIELD
231, Idro North, Wakefield, WF1 3QA
t. 01924 291 800 f. 01924 290 072

THE HARRIS PARTNERSHIP MANCHESTER
2nd Floor, Corners Warehouse
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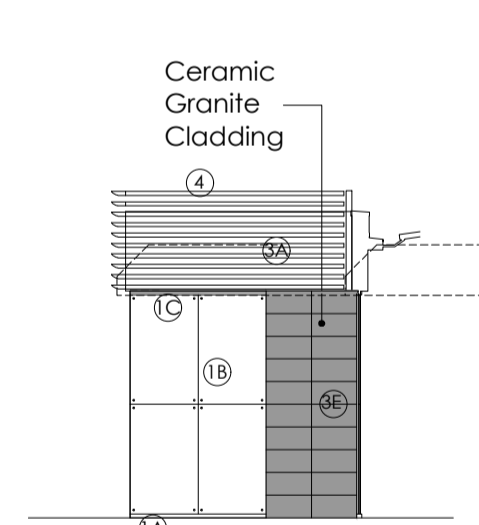
THE HARRIS PARTNERSHIP MILTON KEYNES
The Old Rectory, 79 High Street
Newport Pagnell, MK15 8AS
t. 01908 211 577 f. 01908 211 722

THE HARRIS PARTNERSHIP READING
101 London Road, Reading, RG1 5BT
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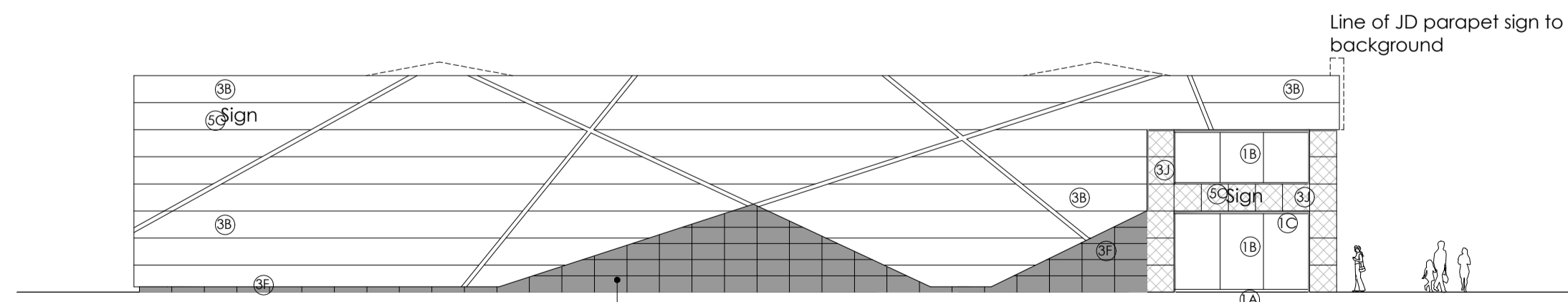
THE HARRIS PARTNERSHIP ARCHITECTS
www.harrispartnership.com



ELEVATION A



ELEVATION C



ELEVATION B

PROPOSED ELEVATIONS / GA PLAN
scale 1:200 @ A1

