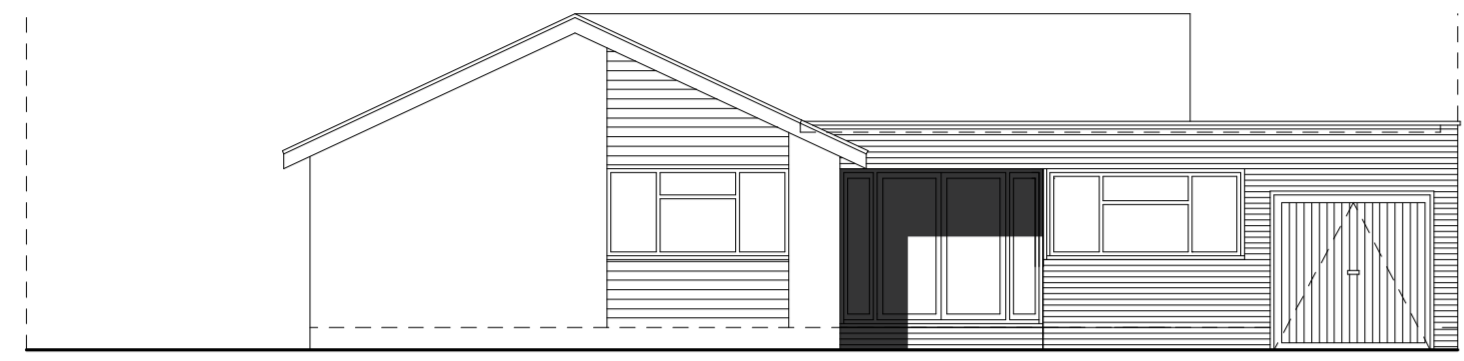
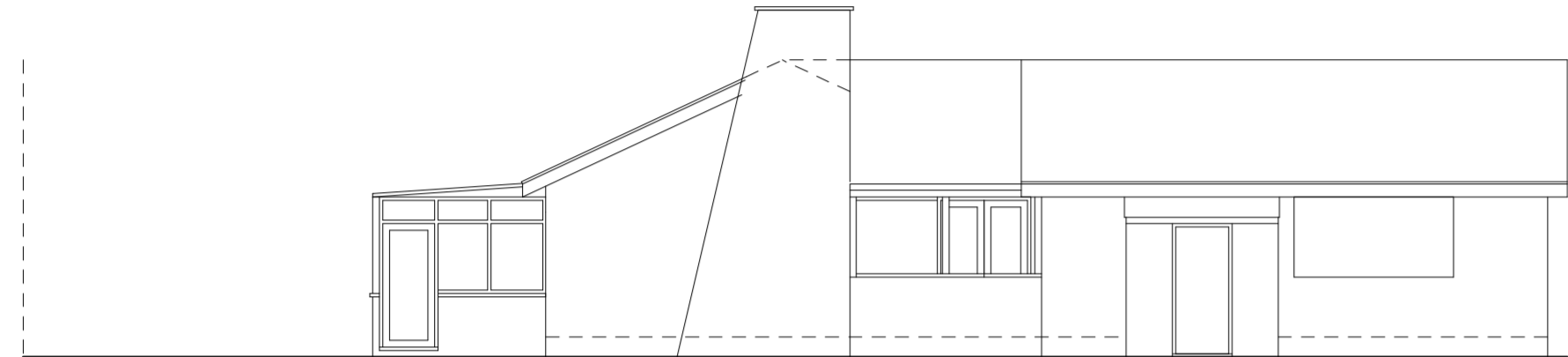


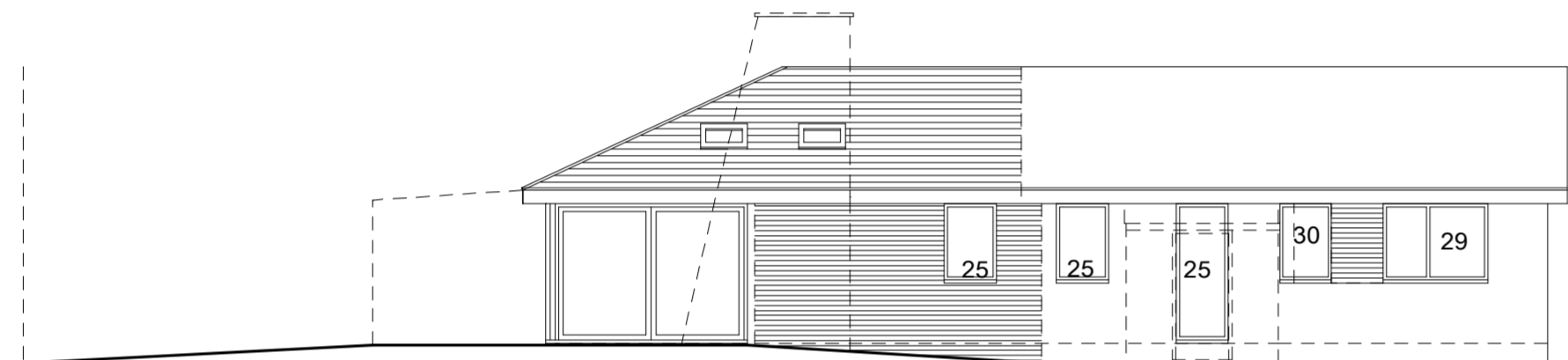
EXISTING FRONT ELEVATION



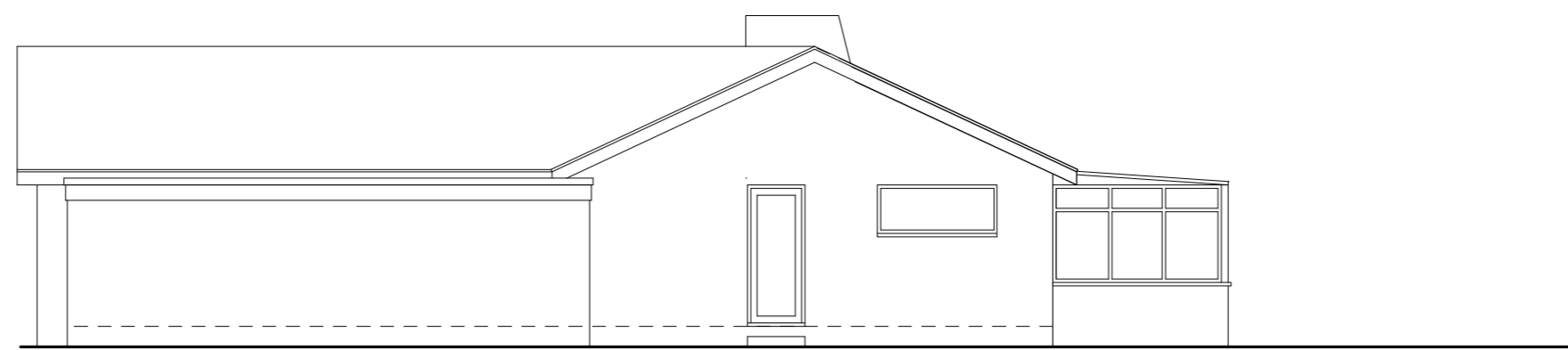
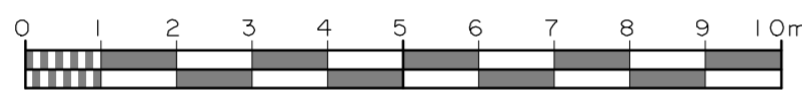
PROPOSED FRONT ELEVATION



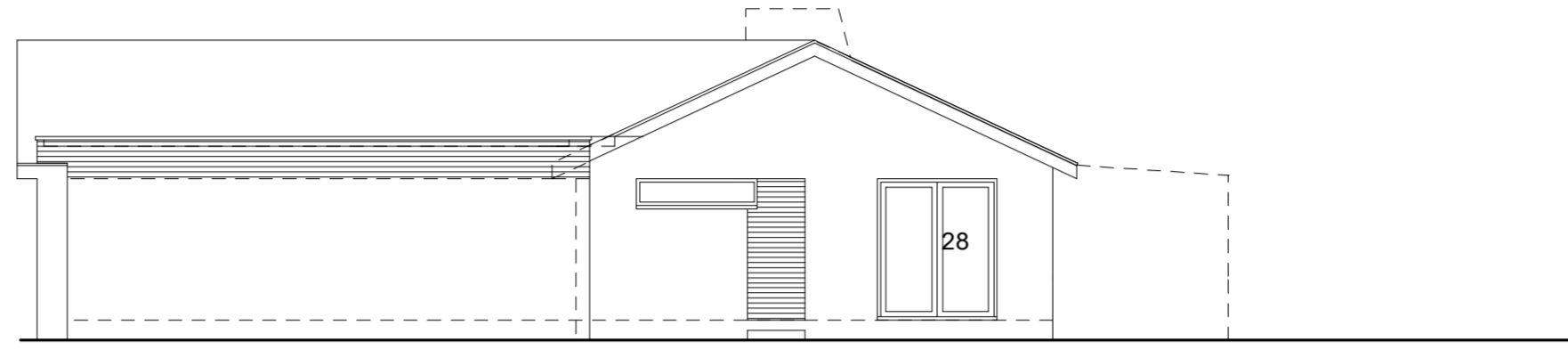
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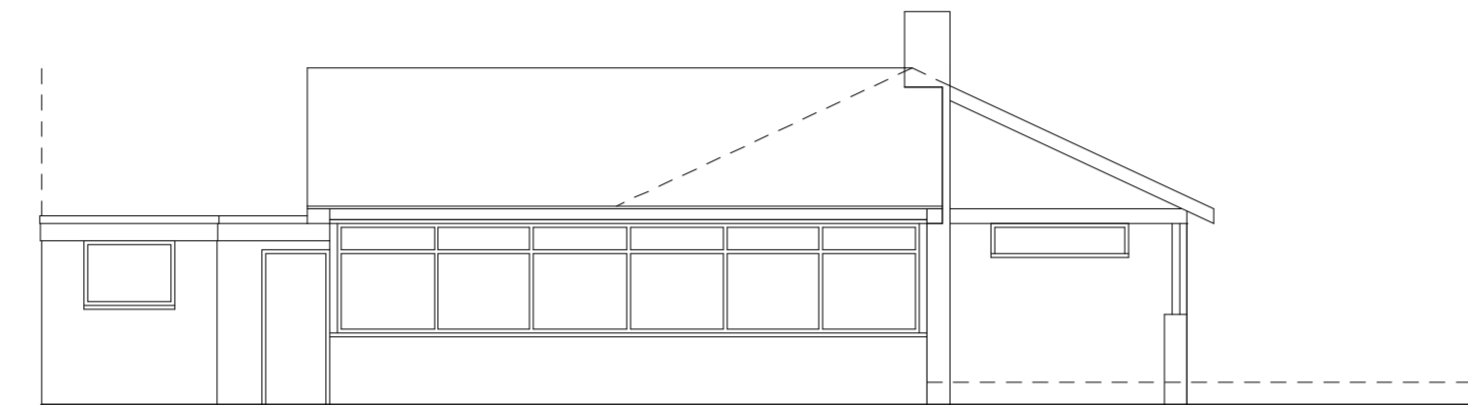
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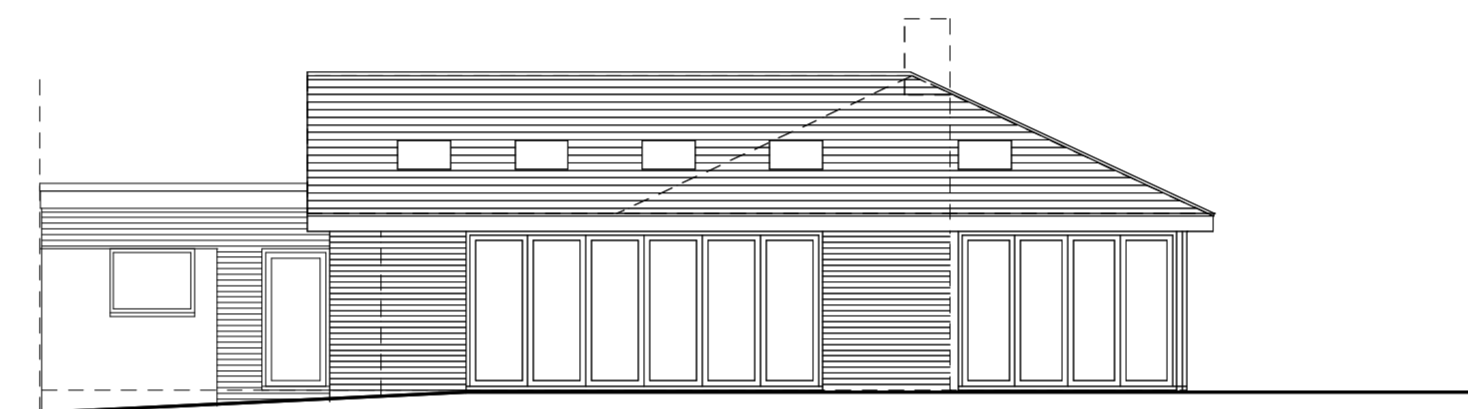
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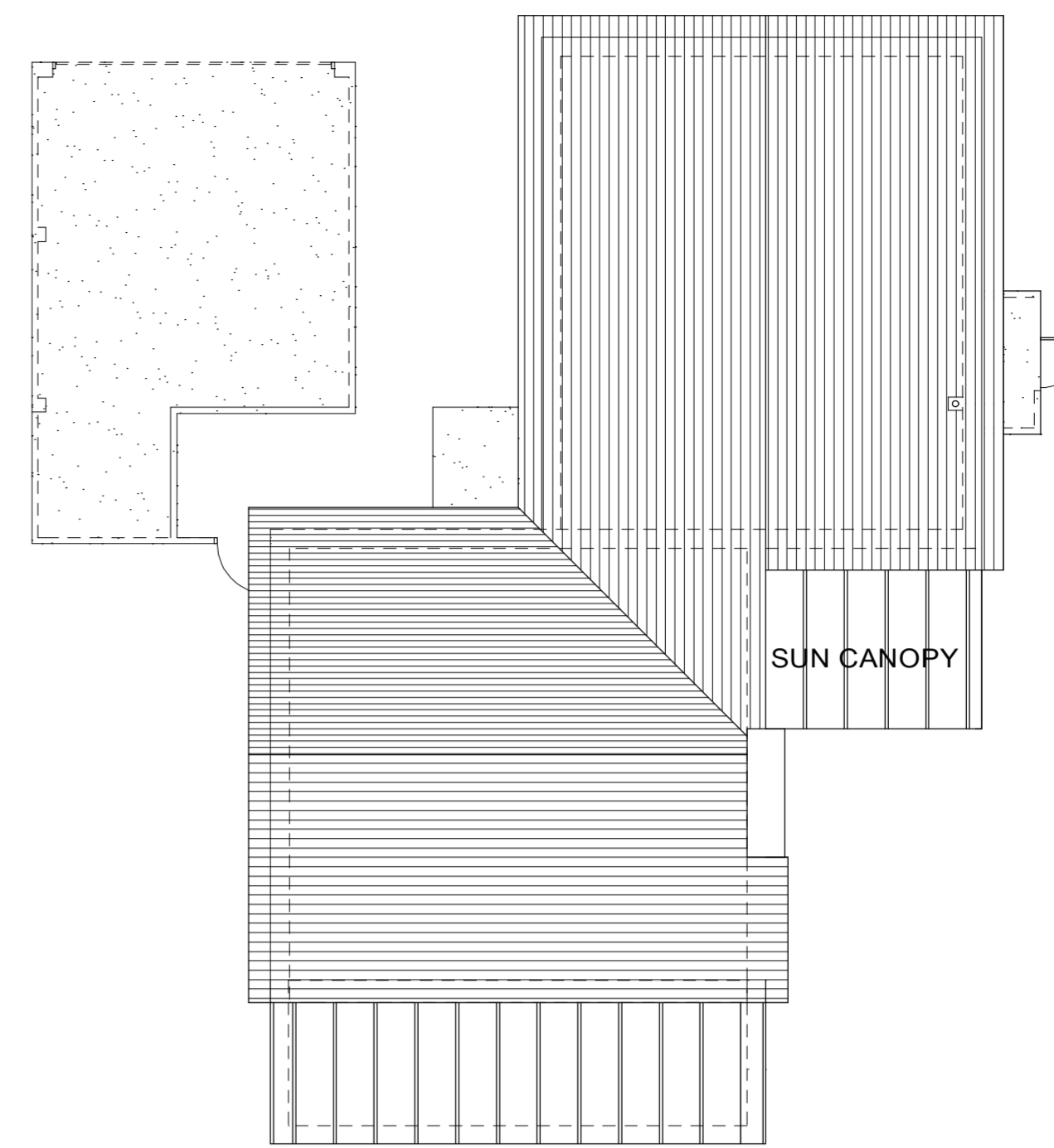
PROPOSED SIDE ELEVATION



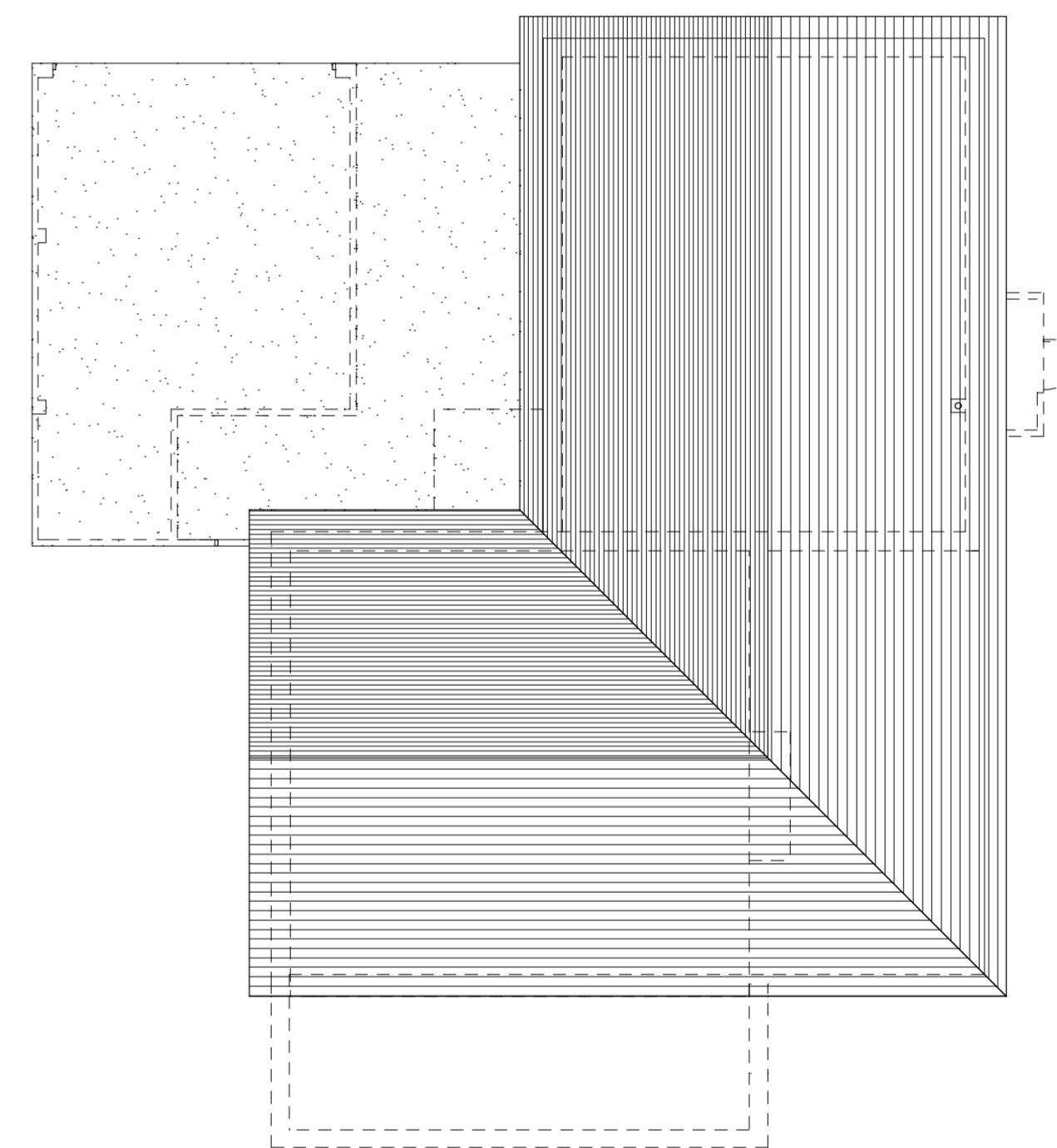
EXISTING REAR ELEVATION



PROPOSED REAR ELEVATION



EXISTING ROOF PLAN



PROPOSED ROOF PLAN

- GENERAL NOTES:**
- Part garage conversion, front door removed and replaced with single garage door to left and wrap around window to right, forming a new insulated habitable space, as bedroom 3.
 - New recessed fully glazed entrance door, allowing maximum natural light and rain cover, with Beam B11 over.
 - Inner draught lobby to retain heat with fully glazed inner doors and screen to maintain maximum natural light into new hallway, with B10 over to support roof light trimmers T1.
 - New insulated partition between retained single garage and new habitable space garage conversion.
 - New soil A.A.V and drain run to existing manhole at the front of the property. Drain run to run in floor void created by raising the garage conversion floor to match the existing house.
 - Existing manhole to be removed with drain run. Drain run from redundant w.c. also to be discontinued and blocked up.
 - Dotted lines denote skylight over hall.
 - Dotted lines denote walls demolished.
 - New fully glazed back door and cavity wall nib to form external wall of new utility room.
 - New utility room.
 - Existing external wall of kitchen window removed and blocked up. Kitchen to be opened up to entrance hall and into main living/dining area as open plan space. Beam B6 over to support existing roof.
 - Bathroom back wall the house demolished, with beam B1 over, supporting the roof/ceiling of the existing house.
 - New high level window in kitchen flank wall, to give natural light and to maintain use of wall for kitchen units and other kitchen uses.
 - Existing back door removed and wall blocked up and made good to extend potential for kitchen unit wall run etc.
 - New en-suite with pocket sliding door to maximise space.
 - New partition wall formed to divide new open plan living space and new bedroom.
 - Existing flank wall of house to be demolished, together with large chimney stack, with New beam B2 over, supporting vertical wall forming vaulted ceiling and roof structure.
 - New beam B3 supporting vertical wall forming vaulted ceiling and roof structure.
 - New circular log burner focal point to lounge, with conical flue, allowing all round access.
 - Existing rear window in dining area removed and replaced Bi-fold doors.
 - New bi-fold doors with beam B4 over bi-folds.
 - Open corner with level access to garden via to matching bi-fold doors meeting at the corner. Opening up garden and living space into one during good weather. Dual beams B5 over, with removable post P1 to structural engineers recommendations. Roof hip rafter support required at this point also.
 - Dotted line denotes roof hip. Ceiling will be vaulted in this area, together with the area between B3 and B4.
 - Existing redundant swimming pool outhouse stiped out of services and demolished.
 - 3 x new window to match existing, one full height and two half height in new master bedroom, positioned to avoid structural steel and allow for fitted wardrobes if required. The three windows are symmetrically placed, viewed internally and allow a significant amount of light into the bedroom.
 - Dotted line denotes existing conservatory demolished.
 - Existing flank wall of garage to be demolished and a new stud wall built 300mm over to enlarge bedroom 3 and reduce width of hall by 300mm.
 - Highlevel dining room window removed and replaced with french doors to garden.
 - Existing bedroom window removed and opening reduced in size to accommodate new bathroom position.
 - New window to be inserted in new En-suite.
 - Remaining rear wall of garage to be demolished and replaced as a timber stud wall.
 - Front of flat roof over garage to be supported by new beam extending over new window position, with Beam B12 extending of front bedroom 3 window and entrance canopy.
 - Existing wall line retained to continue existing structural support of existing roof structure, with Beam B8 over gap to extend roof support to existing external cavity wall.
 - Existing flank wall demolished with Beam B7 over connecting to back of Beam B6.
 - Intermediate roof support Beam B9 over - roof support and roof light trimmer support T1.

NOTES:
All dimensions must be checked on site and not scaled from this drawing, with the exception of planning purposes.

- STRUCTURAL BEAM SCHEDULE**
- Beam B1. Bathroom back wall the house demolished, with beam B1 over, supporting the roof/ceiling of the existing house.
 - Beam 2. Existing flank wall of house to be demolished, together with large chimney stack, with New beam B2 over, supporting vertical wall forming vaulted ceiling and roof structure.
 - Beam 3. New beam B3 supporting vertical wall forming vaulted ceiling and existing roof structure.
 - Beam 4. New bi-fold doors with beam B4 over bi-folds.
 - Beam 5. Open corner with level access to garden via to matching bi-fold doors meeting at the corner. Opening up garden and living space into one during good weather. Dual beams B5 over, with removable post P1 to structural engineers recommendations. Roof hip rafter support required at this point also.
 - Beam 6. Existing external wall of kitchen window removed and blocked up. Kitchen to be opened up to entrance hall and into main living/dining area as open plan space. Beam B6 over to support existing roof.
 - Beam B7. Existing flank wall demolished with Beam B7 over connecting to back of Beam B6.
 - Beam B8. Existing wall line retained to continue existing structural support of existing roof structure, with Beam B8 over gap to extend roof support to existing external cavity wall.
 - Beam B9. Intermediate roof support Beam B9 over - roof support and roof light trimmer support T1.
 - Beam 10. Inner draught lobby to retain heat with fully glazed inner doors and screen to maintain maximum natural light into new hallway, with B10 over to support roof light trimmers T1.
 - Beam B11. New recessed fully glazed entrance door, allowing maximum natural light and rain cover, with Beam B11 over.
 - Beam B12. Front of flat roof over garage to be supported by new beam extending over new window position, with Beam B12 extending of front bedroom 3 window and entrance canopy.
 - Flat roof light trimmers T1 supported off Beams B9 and B10.

A	SEPT 2023	ELEVATION FLOOR PLAN DETAIL UNIFIED AND EXISTING AND PROPOSED ROOF PLANS ADDED
B	OCT 2023	EXISTING FRONT PORCH DOOR ADDED

Date	Revisions
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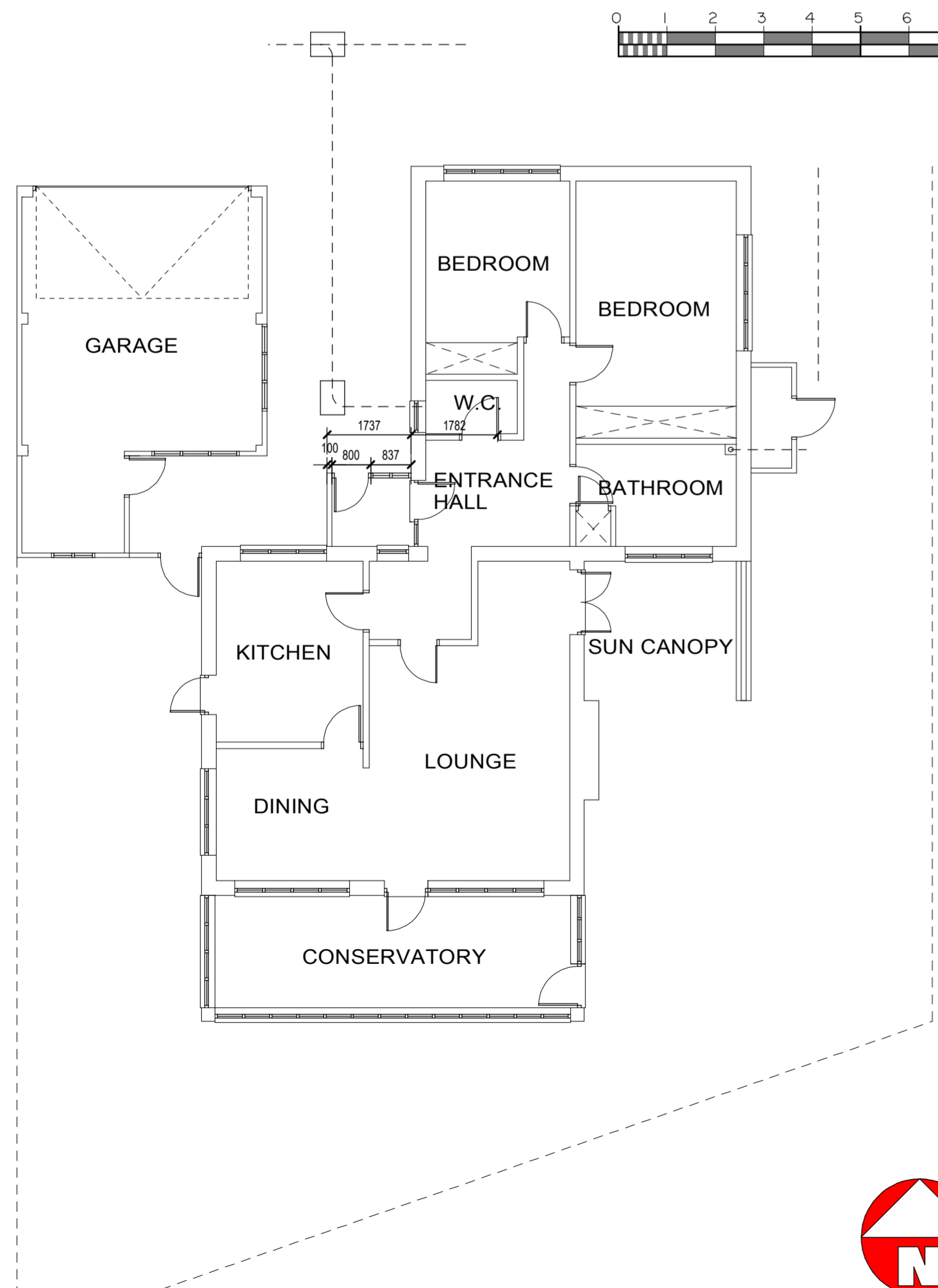
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Client
Mr & Mrs Thomas

Job Title
PERMITTED DEVELOPMENT APPLICATION FOR HOUSE REMODELING @ 1 THE GLADE, CHEAM SM2 7NZ

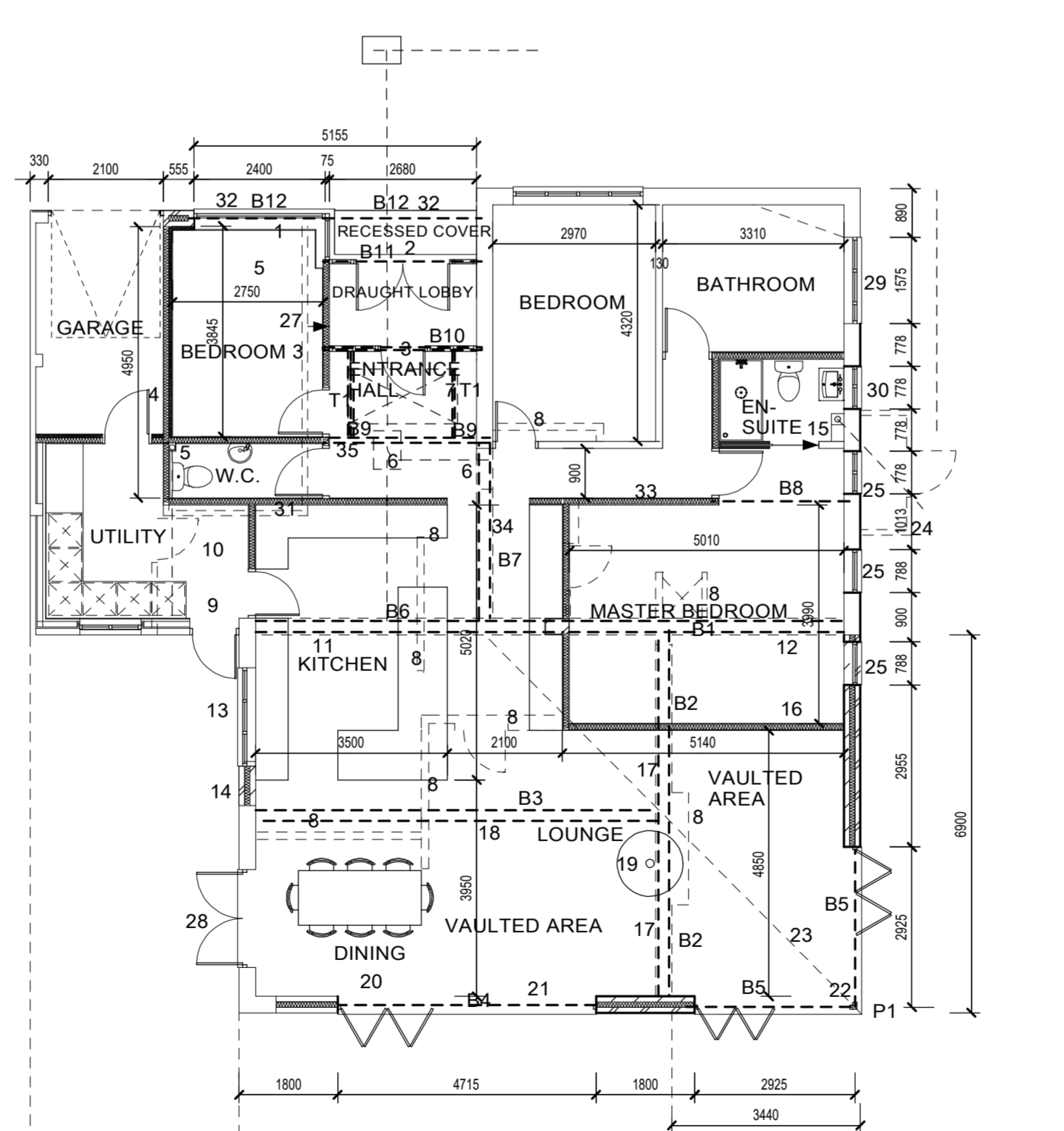
Drawing Title
EXISTING AND PROPOSED FLOOR PLAN AND ELEVATIONS

Scale	1:100
Date	AUG 2023
Drawn by	CP

Drg. No.	23.109.01	Rev.	B
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EXISTING GROUND FLOOR PLAN



PROPOSED GROUND FLOOR PLAN

SCOPE OF THE WORK
The existing property is a large detached bungalow. The work comprises of the complete re-configuration of the floor plan, incorporating one of the two bays of the existing double garage, converting into a bedroom/study and the infilling of the space between the garage and main house to create a new large front entrance. A rear conservatory is to be demolished, with a new side extension built to enlarge the existing lounge.

