

21

AREA OF PROPOSED EXTENSION

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Jones Grn

Jones Grn

Jones Grn

Jones Grn

Jones Grn

Jones Grn

Jones Grn

Jones Grn

Jones Grn

Jones Grn

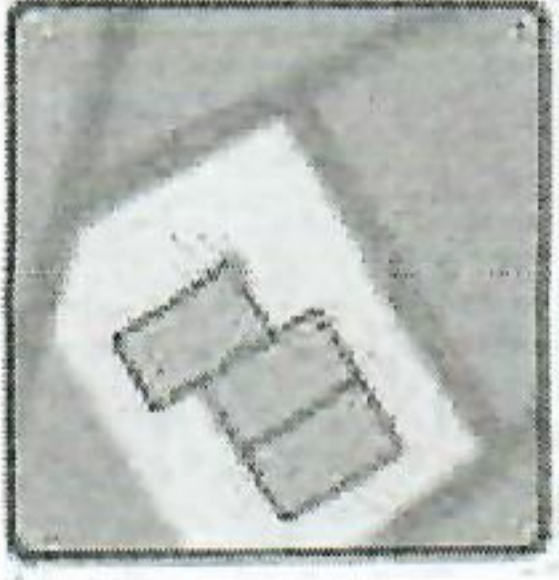
Jones Grn

Jones Grn

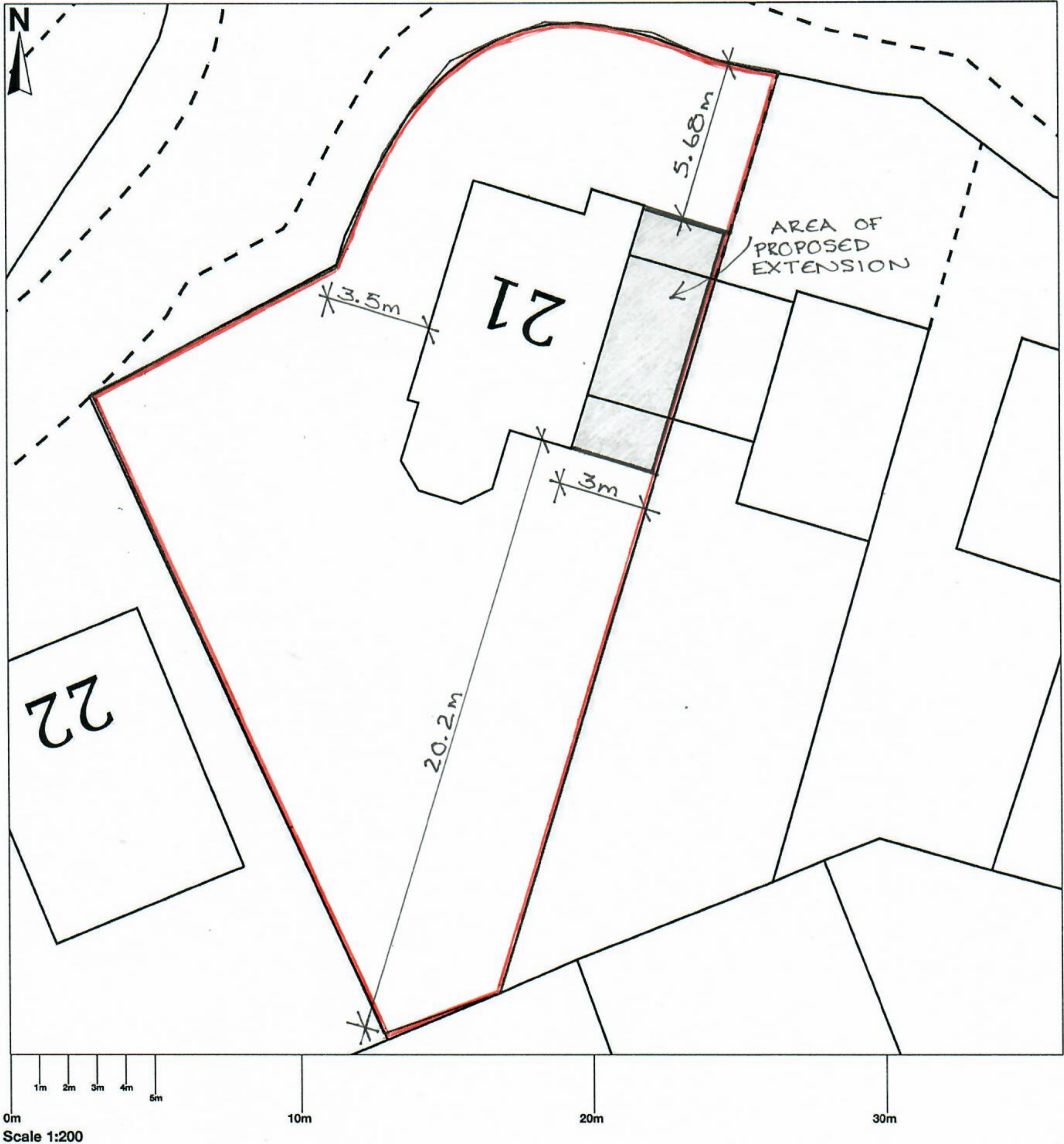
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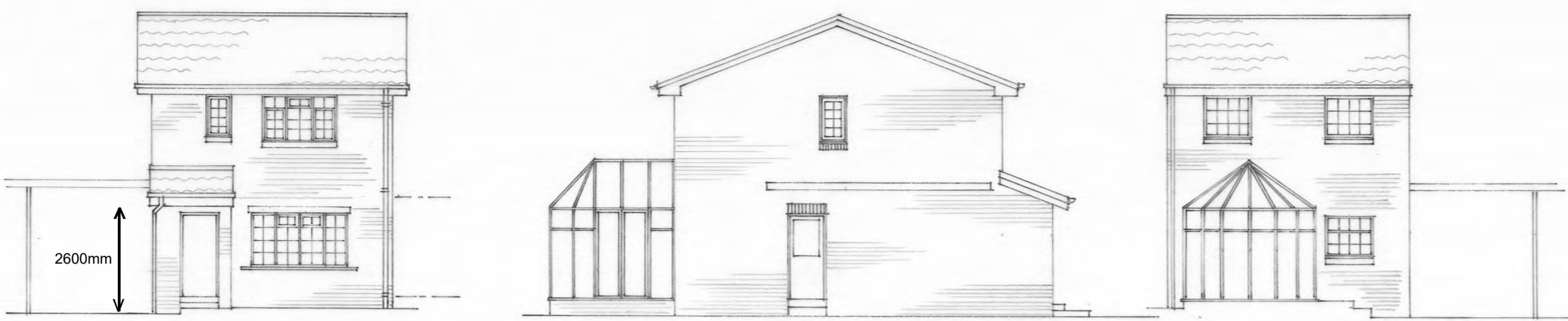
Jones Grn

Jones Grn



21 Jones Green, Livingston, EH54 8QB

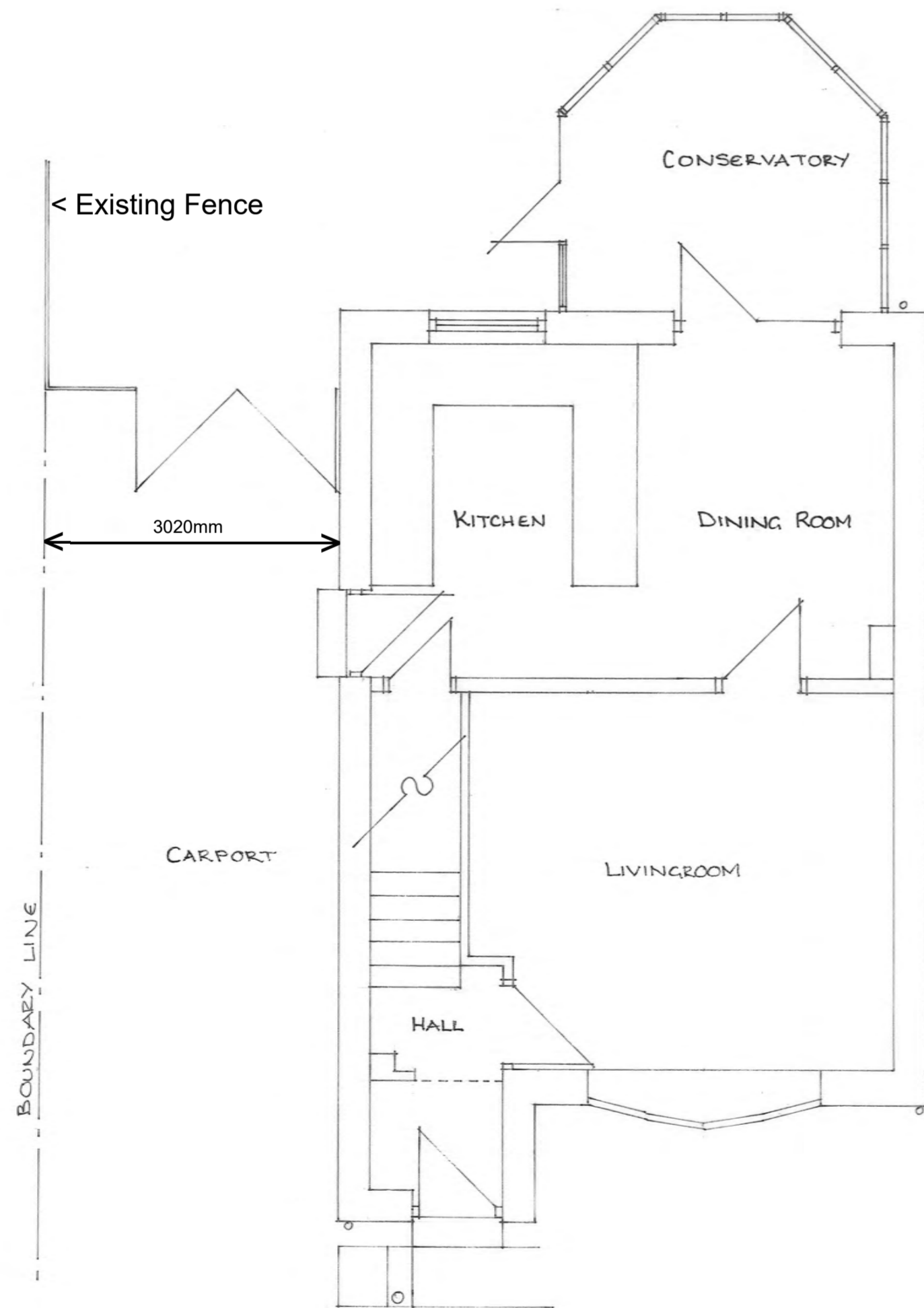




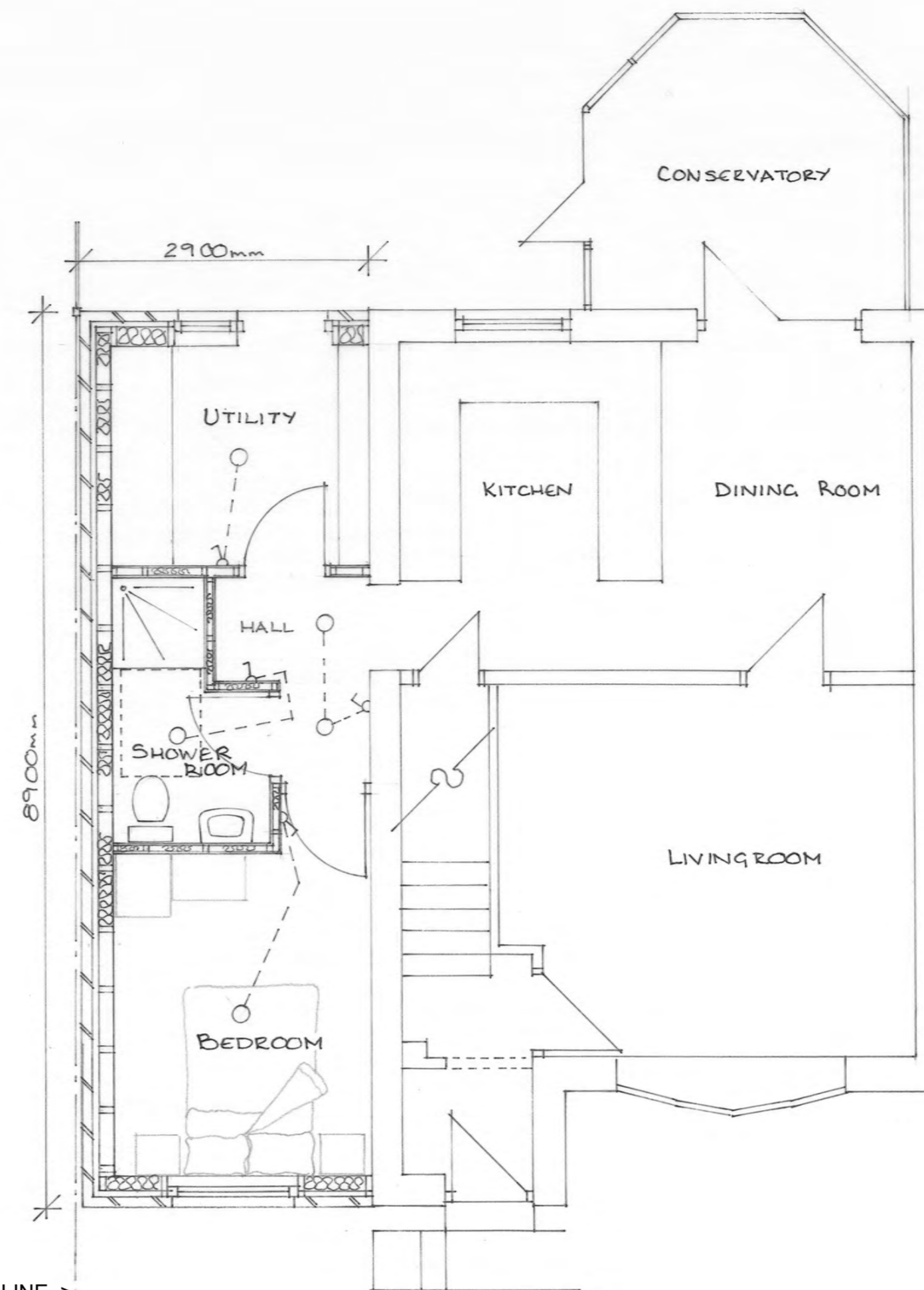
EXISTING FRONT ELEVATION

EXISTING SIDE (EAST) ELEVATION

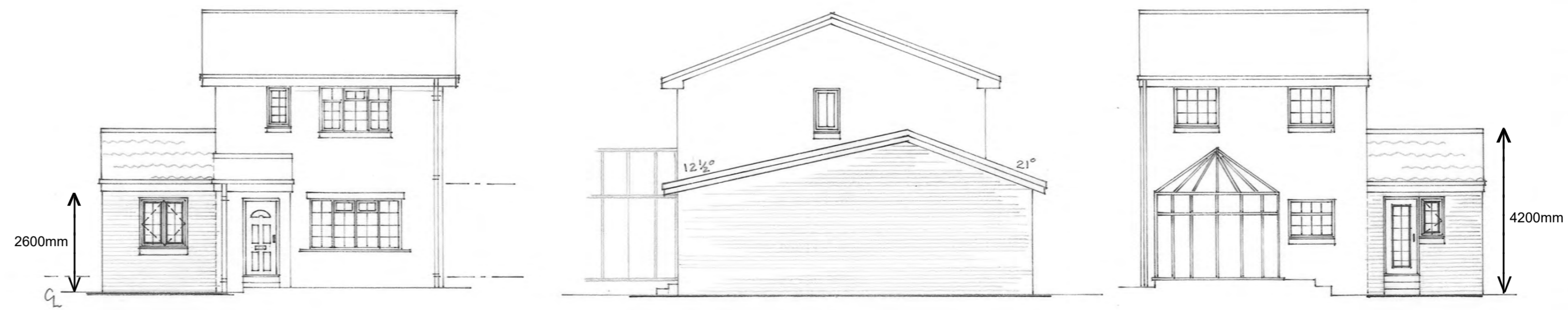
EXISTING BACK ELEVATION



EXISTING GROUND FLOOR PLAN



EXISTING BOUNDARY LINE >
PROPOSED GROUND FLOOR PLAN



PROPOSED FRONT ELEVATION

PROPOSED SIDE (EAST) ELEVATION

PROPOSED BACK ELEVATION

NOTES
 All dimensions must be checked on site and not scaled from this drawing.
 ALL NEW WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING STANDARDS (SCOTLAND) REGULATIONS 2004 AS AMENDED AND TO THE SATISFACTION OF THE LOCAL BUILDING STANDARDS OFFICER.
 PRIOR TO ANY WORK COMMENCING CONTRACTOR TO DETERMINE THE LOCATION OF ALL UNDERGROUND SERVICES WITHIN SITE BOUNDARY I.E. GAS, ELECTRIC, PHONE, WATER, DRAINAGE, PUBLIC SEWER. CONTRACTOR TO ARRANGE ANY ALTERATIONS OR RELOCATION AS REQUIRED.
 CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE PRIOR TO ORDERING MATERIALS OR COMMENCING WORK.
 ALL WORKMANSHIP TO COMPLY WITH BS 8000
 ALL PRODUCTS TO BE INSTALLED STRICTLY IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS
 CONTRACTOR TO PROVIDE ADEQUATE TEMP. PROPPING AND SHORING AS REQUIRED.
 ALL FINISHES TO MATCH EXISTING UNLESS SPECIFIED BY CLIENT.
 REMOVE EXCESS MATERIAL OFF SITE.
 AREA OF NEW EXTENSION TO BE CLEARED OF ALL TOP SOIL & VEGETABLE MATTER.
 FLOOR LEVEL OF NEW EXTENSION TO MATCH FLOOR LEVEL OF EXISTING HOUSE.
 DRAINAGE WORK TO BE CARRIED OUT IN ACCORDANCE WITH BS. EN. 12056-2:2000
 ROOF TILES TO BE REDLAND RECENT TILE IN SLATE GREY TO MATCH EXISTING.
 EXTERNAL WALLS TO BE FACED BRICK TO MATCH EXISTING.
 NEW WINDOWS AND DOOR TO BE HIGH QUALITY UPVC IN WHITE TO MATCH EXISTING.

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| E | |
| D | |
| C | |
| B | |
| A | OCT. 2023 PLANNING-ADDITIONAL DIMENSIONS |
| Date | Revisions |

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Client
MR & MRS GILMOUR

Job Title
**21 JONES GREEN
 LIVINGSTON
 EH54 8QB**

Drawing Title
**EXISTING & PROPOSED
 PLAN & ELEVATIONS**

Scale 1:50, 1:100

Date **OCT. 2023** Drawn by **P. SCOTT**

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|----------|-----|------|---|
| Drg. No. | 100 | Rev. | A |
|----------|-----|------|---|