

General Construction Notes:

- These dwgs are to be read in conjunction with the Structural Engineer's dwgs, details & calculations for confirmation of all structural elements, sizing & positions.
- No work is to be commenced until site dimensions have been checked & discrepancies reported.
- Where new cavity wall abuts existing house either:
 - install new vertical damcor insulated dpc dressed into saw cut to existing wall;
 - or
 - expose and join existing and new wall construction for continuation of cavity.
- 10mm movement joint between new wall and existing to be filled with Fosroc Expandfoam compressible filler (or S.A product) and pointed with fungicidal silicone mastic to match brick colour.
- New wall to be tied to existing external walls using ancon stalfix universal wall starter system installed in accordance with manufacturers written instructions.
- Extract fan routes introduced for new Ensuite area (wall or ceiling mounted with exhaust ductwork to external walls or via new roof over) - should none be present. Positions and any duct route T.B.C. on site and agreed with client.
- All dimensions to structural frame / wall positions. Any dimensions shown **RED** are from internal finishes
- It is the contractors responsibility to locate electrical cabling, drainage & mains gas pipework on site.
- All flashings, valleys, drips and soakers to the Lead Development Associations details.
- Central heating and electrical wiring and any other applicable services to be extended from main house into extension. Existing switches/sockets adjusted to suit new layout.
- All newly enclosed external walls to receive plaster finish and painted to client preference.

General notes:
This drawing must be read in conjunction with the following:
1466-01 Plans as Existing
1466-02 Elevations as Existing
1466-03 Elevations as Proposed
1466-04 Ground Floor Plan as Proposed
1466-05 First Floor Plan as Proposed
1466-06 Section as Proposed
1466-07 B.R. Specification
1466-08 Typical Drainage Details

Original Drawing Size A2

Contractor to add cavity tray at new abutment from new roof. Cavity tray added in all locations where practicable. Provide min. 150mm Lead upstand chased into existing wall at appropriate course.

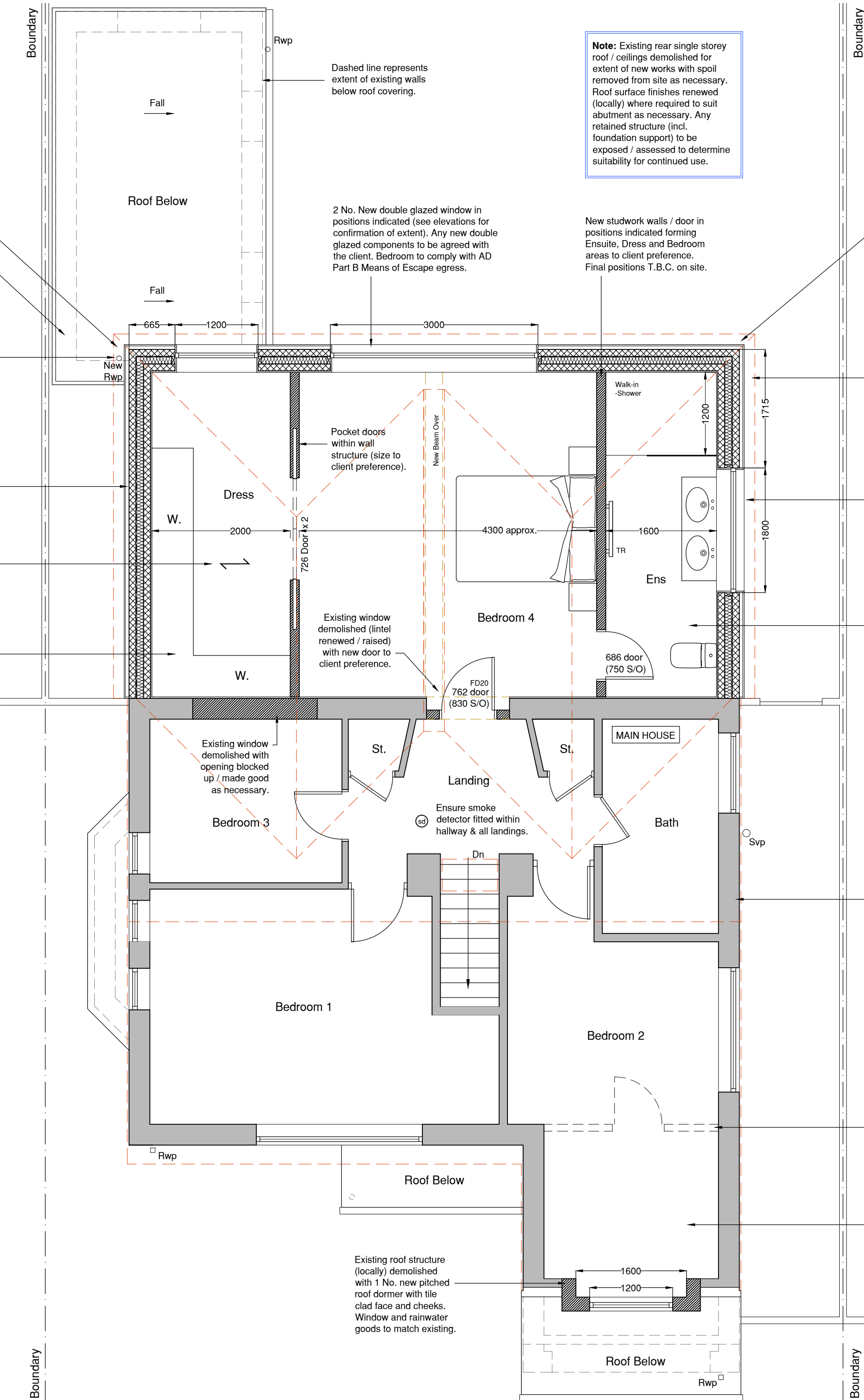
Contractor to ensure continuation of any existing flat roof air path requirements to LABCO approval.

New Rwp to discharge onto existing flat roof and ultimately manage surface water into existing drainage system to LABCO approval.

Eaves cavities to be sealed off at highest practicable position.

Rafter & Ceiling Joist Span Over (S.E. to confirm).

New Floor: Timber floor joists sized to suit span with intermediate support (if necessary) and fully filled with quilted insulation. Span direction and height positioned to match existing floor adjacent (T.B.C. on site). All to S.E. design.



Note: Existing rear single storey roof / ceilings demolished for extent of new works with spoil removed from site as necessary. Roof surface finishes renewed (locally) where required to suit abutment as necessary. Any retained structure (incl. foundation support) to be exposed / assessed to determine suitability for continued use.

Cavity wall construction. See specification for confirmation of construction build up.
HardiePlank (or S.A) horizontal shiplap weatherboard cladding; Colour & finish to client preference. See specification for confirmation of construction build up.
S.E. to confirm movement joint locations to LABCO approval.

New eaves fascia, soffits, gutter and rwp's to match existing colour. Boxed eaves (to match existing). Continuous ventilation provided at eaves with min. 50mm air path over insulation into new roof void over.

1 No. new high level side facing (obscure) double glazed window to be non-openable below 1.7m from FFL with support over to S.E. design.

See specification for First floor build up. Finished floor level to be flush with existing house. Levels to be confirmed on site.

Ensuite room layout indicative. Client to agree final design & specification prior to commencement of works. Pipework connected to existing drainage as necessary. All drainage details and routes T.B.C. on site prior to commencement of works & in accordance with AD Part G.

Any existing (retained) structure shown solid hatch.

Existing wall and door demolished (shown dashed red) with area made good as necessary.

Client to confirm / agree any sloping ceiling finishes / insulation renewal with contractor prior to commencement. Ensure installation / continuation of any air path requirements adjacent insulation to LABCO approval.

The location of the boundary shall be confirmed and agreed with the adjacent owner. No part of the works shall be constructed so that it effects a trespass upon the adjacent property. All work shall be undertaken in accordance with the Party Wall agreement. The Party Wall Act of 1996. An agreement should also be obtained from the adjoining owner in respect to access to neighbouring properties for the purpose of construction.

All work shall be carried out in strict accordance with the British Standard Codes of Practice and respective Manufacturers' Instructions.

The contractor is responsible for maintaining the stability of the structure during the course of the works and as such should satisfy himself as to the condition of the structure prior to commencement of works. Should the contractor deem that temporary works are necessary to enable the works to be carried out safely, then he should employ a suitable qualified person to advise accordingly. The contractor will be responsible for the design and installation of all temporary works.

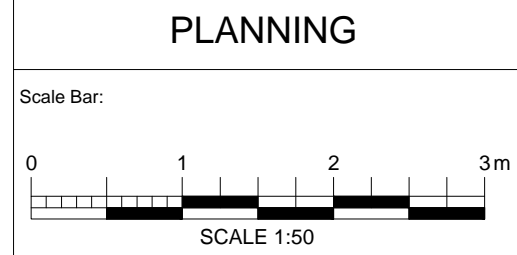
Where existing walls have been assumed to be load bearing, these are to be checked and confirmed by the structural engineer prior to commencement of works and to the entire satisfaction of the building control officer.

No works should commence until these plans have been approved. Should any works commence or materials ordered prior to the approval notice from the building control officer being issued, then this is done so entirely at the client/contractor's own risk and expense.

All dimensions are to be checked and confirmed on site by the contractor. Dimensions are not to be used for the ordering of materials or the preparation of cutting lists.

Construction (Design & Management) Regulations 2015:
Essan-K Planning are appointed only as Principal Designer up to the production of planning & building regulations dwgs. The client, for all future works, will need to be made aware of their duties under the CDM Regulations to appoint a Principal Designer and Principal Contractor or, in the case of domestic projects, for the Principal Contractor to undertake these duties on behalf of the client. See Specification Notes drawing for list of this projects pre-construction CDM requirements. The appointed Principal Contractor (or Client) should agree or supplement this list prior to commencement of any works.

Rev	Date	Description



Project Title:
Mr Ian Adams
151 Heath Road,
Maidstone, Kent. ME16 9HJ.

Drawing:
Single Storey Rear Extension
First Floor Plan
Proposed

Date: 16/06/2023	Drawing Number:
Scale: 1:50 @ A2	1466 - 05
Drawn: G.J.O.	Revision:
Checked: S.W.	

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