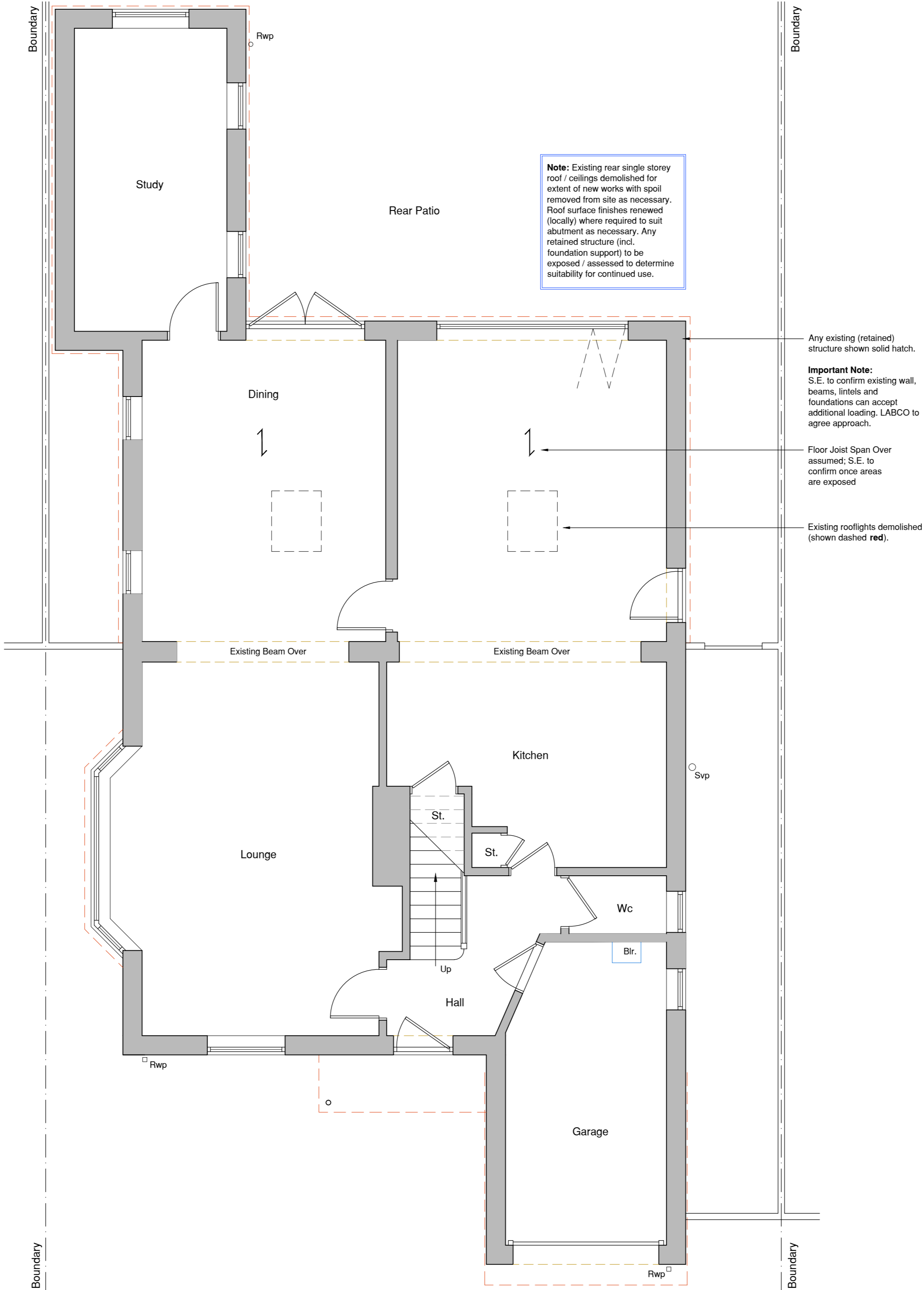


General Construction Notes:

- These dwgs are to be read in conjunction with the Structural Engineer's dwgs, details & calculations for confirmation of all structural elements, sizing & positions.
- No work is to be commenced until site dimensions have been checked & discrepancies reported.
- Where new cavity wall abuts existing house either:
 - install new vertical damcor insulated dpc dressed into saw cut to existing wall;
 - or
 - expose and join existing and new wall construction for continuation of cavity.
- 10mm movement joint between new wall and existing to be filled with Fosroc Expandfoam compressible filler (or S.A product) and pointed with fungicidal silicone mastic to match brick colour.
- New wall to be tied to existing external walls using ancon staxif universal wall starter system installed in accordance with manufacturers written instructions.
- Extract fan routes introduced for new Ensuite area (wall or ceiling mounted with exhaust ductwork to external walls or via new roof over) - should none be present. Positions and any duct route T.B.C. on site and agreed with client.
- All dimensions to structural frame / wall positions. Any dimensions shown **RED** are from internal finishes
- It is the contractors responsibility to locate electrical cabling, drainage & mains gas pipework on site.
- All flashings, valleys, drips and soakers to the Lead Development Associations details.
- Central heating and electrical wiring and any other applicable services to be extended from main house into extension. Existing switches/sockets adjusted to suit new layout.

General notes:
This drawing must be read in conjunction with the following:

- 1466-01 Plans as Existing
- 1466-02 Elevations as Existing
- 1466-03 Elevations as Proposed
- 1466-04 Ground Floor Plan as Proposed
- 1466-05 First Floor Plan as Proposed
- 1466-06 Section as Proposed
- 1466-07 B.R. Specification
- 1466-08 Typical Drainage Details



Note: Existing rear single storey roof / ceilings demolished for extent of new works with spoil removed from site as necessary. Roof surface finishes renewed (locally) where required to suit abutment as necessary. Any retained structure (incl. foundation support) to be exposed / assessed to determine suitability for continued use.

- Any existing (retained) structure shown solid hatch.
- Important Note:** S.E. to confirm existing wall, beams, lintels and foundations can accept additional loading. LABCO to agree approach.
- Floor Joist Span Over assumed; S.E. to confirm once areas are exposed
- Existing rooflights demolished (shown dashed red).

The location of the boundary shall be confirmed and agreed with the adjacent owner. No part of the works shall be constructed so that it effects a trespass upon the adjacent property. All work shall be undertaken in accordance with the Party Wall agreement 'The Party Wall Act of 1996'. An agreement should also be obtained from the adjoining owner in respect to access to neighbouring properties for the purpose of construction.

All work shall be carried out in strict accordance with the British Standard Codes of Practice and respective Manufacturers' Instructions.

The contractor is responsible for maintaining the stability of the structure during the course of the works and as such should satisfy himself as to the condition of the structure prior to commencement of works. Should the contractor deem that temporary works are necessary to enable the works to be carried out safely, then he should employ a suitable qualified person to advise accordingly. The contractor will be responsible for the design and installation of all temporary works.

Where existing walls have been assumed to be load bearing, these are to be checked and confirmed by the structural engineer prior to commencement of works and to the entire satisfaction of the building control officer.

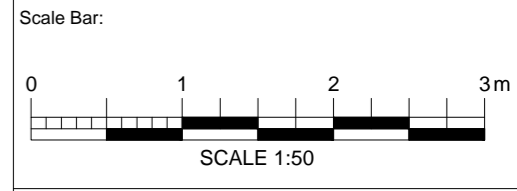
No works should commence until these plans have been approved. Should any works commence or materials ordered prior to the approval notice from the building control officer being issued, then this is done so entirely at the client/contractor's own risk and expense.

All dimensions are to be checked and confirmed on site by the contractor. dimensions are not to be used for the ordering of materials or the preparation of cutting lists.

Construction (Design & Management) Regulations 2015:
Essan-K Planning are appointed only as Principal Designer up to the production of planning & building regulations docs. The client, for all future works, will need to be made aware of their duties under the CDM Regulations to appoint a Principal Designer and Principal Contractor or, in the case of domestic projects, for the Principal Contractor to undertake these duties on behalf of the client.
See Specification Notes drawing for list of this projects pre-construction CDM requirements. The appointed Principal Contractor (or Client) should agree or supplement this list prior to commencement of any works.

| Rev | Date | Description |
|-----|------|-------------|
| | | |

PLANNING



Project Title:
Mr Ian Adams
151 Heath Road,
Maidstone, Kent. ME16 9HJ.

Drawing:
Single Storey Rear Extension
Ground Floor Plan
Proposed

| | |
|------------------|------------------|
| Date: 16/06/2023 | Drawing Number: |
| Scale: 1:50 @ A2 | 1466 - 04 |
| Drawn: G.J.O. | Revision: |
| Checked: S.W. | |

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