

7 WILLOWDENE CLOSE HAVANT HAMPSHIRE PO9 3QP ASC
TEL: 07970057114
e. INFO@ASCDESIGNSERV

Local Authority to extend ou CONTRACTORS client's property. Please refer MUST READ THE to the most recent drawing for full plans and elevations. | Whilst every effort has been | made to ensure complete | Under the Party Wall etc Act accuracy and understanding of 1 of 1996, we must serve the existing property and client | notices appropriate to the act | brief, building contractors | to you, informing you of your viewing this document are I rights in responding. This hereby informed that this I drawing serves as the official

drawing was created to notice of our client's demonstrate building control compliance based on our | understanding and assumptions | Information about the Act car of the site at the time of its creation. Although rare, it is booklet available for downloa misunderstandings, inaccurate from: https://www.gov.uk/part wall-etc-act-1996-guidance assumptions, and drawing errors may exist within You have 31 days to respond documents issued by ASC Design Services Ltd. We kindly I to this notice. The Party Wall

request that any discrepancies | Act protects shared walls and be reported to us urgently. I nearby structures for both Building contractors are I you of the construction work hereby warned that they are I and their potential impact on responsible for conducting all your property. necessary site checks and investigations to accurately determine the materials and To protect both parties, we suggest taking extensive labour required for this project. They assume this risk photographs of your propert before the works begin. Emai prior to providing quotations for building works, or at the the digital photographs to ou very least, they should include | client(s) for confirmation of provisions in their contracts to their pre-construction

| damages to your property.

I "Agreed Party Wall Surveyor" I will be required to draw up a

rights and responsibilities o

agreed upon mutually.

both parties. The fees will be

This notice informs you of the

trenches for foundations at least one meter deep

labour, thereby avoiding unforeseen expenses without prior cost estimation and I If you do not consent, an allocation. For example, on-site measurements and investigations should include,

account for additional or unnecessary materials and

BELOW:

possible that

at a minimum: I.Verifying existing and proposed wall offset
| This notice informs you of the dimensions in the event of a | proposed works' impact on

supporting wall and insertion categorized as follows: of a beam to ensure structural integrity and necessity. Line of Junction Notice: We I intend to build up to (but 2.Ensuring walls intended to | wholly on the land) of our clier bear loads are constructed
I and your neighbour's property using appropriate load-bearing | No specialist foundations are required at present, subject to Building Control Officers' input

3.Confirming actual on-site beam spans. 4.Identifying instances of timber frame construction, as

(generally below existing been assumed unless property foundations) within otherwise stated. meters of your structure. 5.Verifying invert levels of inspection chambers on the site to ensure the feasibility of | may undertake works directly the proposed drainage layout | to the Party Wall, such as during the construction phase. | removing bricks on our client's

G.Determining ridge heights of roof spaces for planned loft supporting a structural bean probable need for an upgraded floor and a ridge beam with a minimum crosssection of 200mm. 7.Conducting checks for

potential asbestos presence, requiring removal prior to commencing any work. 8.Carrying out trial hole investigations to assess existing foundation capacity for additional loads. 9.Consulting with the client to under the Party Wall

identify any site-specific
obstacles that may impact the construction process. IO. On site verification of joist and rafter spans and sizes, and actions prior to works starting to mitigate

problems as a result.

the Client's, to start no earlier than 31 days as of the date at the top of this document.

POSITIVE

ACKNOWLEDGEMENT

this notice and

i Act 1996, are content to the works

without prejudice to

to the property

identified above as

any of My/Our rights

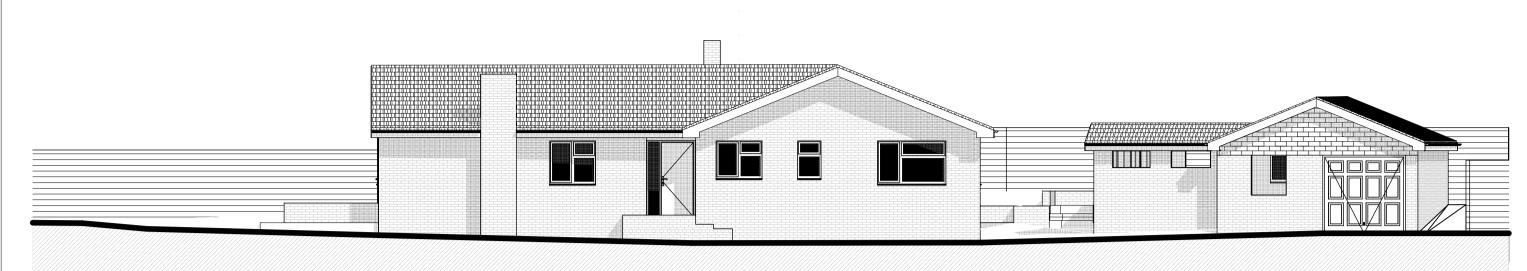
7. If any discrepancies are found in the drawings these are to be brought to the attention of ASC Desian

e. INFO@ASCDESIGNSERVICES.CO.UK

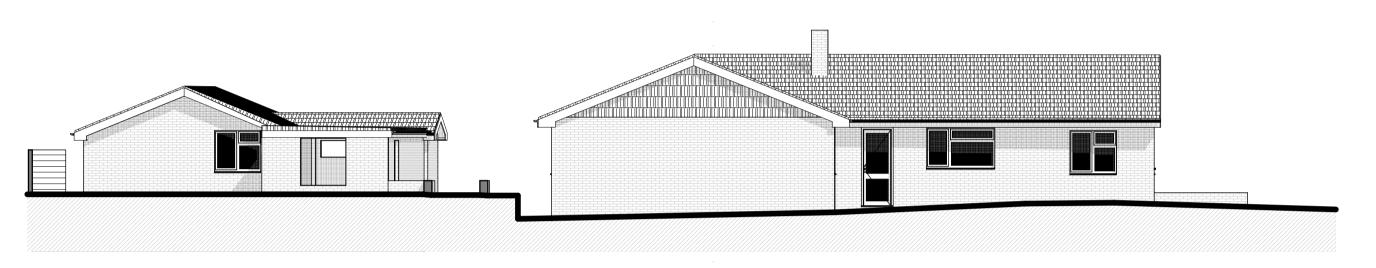
Nestledown 3 Lymington Bottom GU34 5DL

Ben Watson

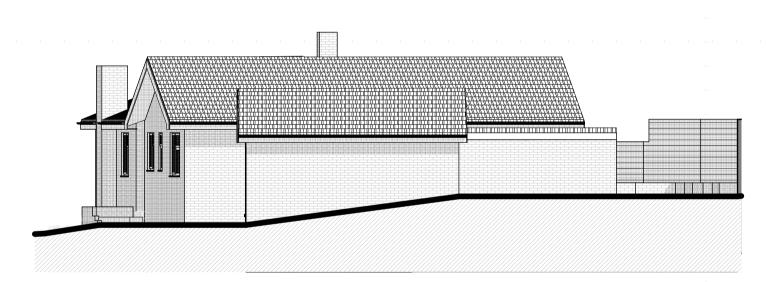
Four Marks, Alton OCT 2023 EXISTING-WATSON



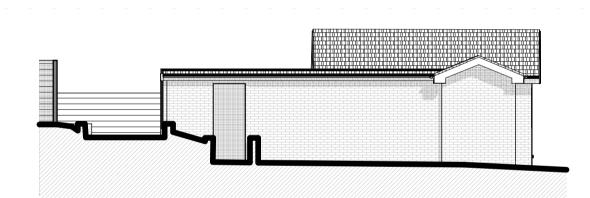
FRONT ELEVATION



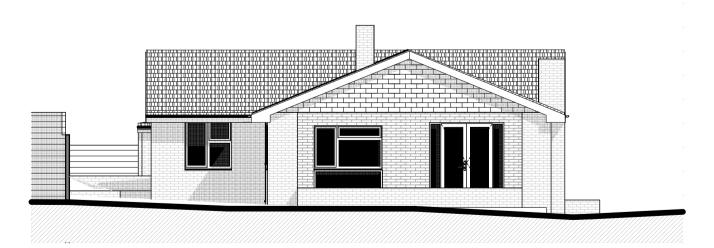
LEFT ELEVATION 1:100 SCALE



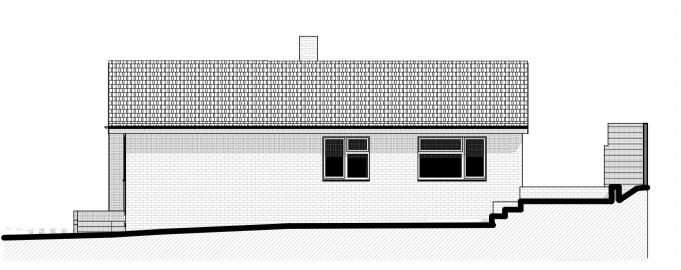
GARAGE RIGHT ELEVATION



GARAGE LEFT ELEVATION

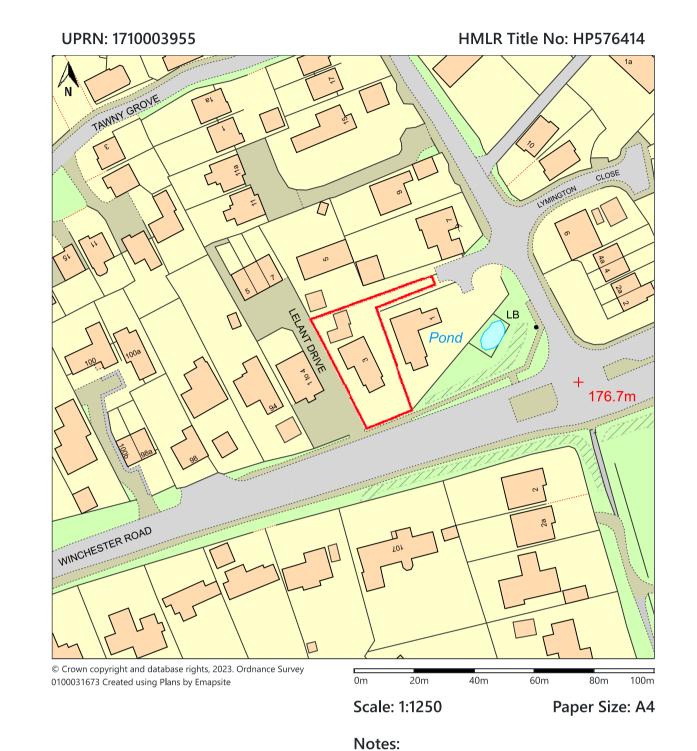


REAR ELEVATION 1:100 SCALE



RIGHT ELEVATION 1:100 SCALE

## 3, LYMINGTON BOTTOM ROAD, ALTON, HAMPSHIRE, GU34 5DL









## EXISTING ELEVATIONS AND SITE LOCATION PLAN

NOTES
ALL DRAWINGS TO BE PRINTED AT 100% SCALE. DO NOT FIT TO PRINTER
MARGINS WHEN PRINTING.

1. This drawing is copyright of ASC Design. Reproduction is only to take place 1. This drawing is copyright of ADD besign, Reproduction is only to take place with written authority.
2. These plans are subject to Planning & Building Regulation Approval or any other statute in law before building work commences. No liability will be accepted for works started before approval certification has been received.
3. Any structural work where mentioned on this drawing is subject to a qualified. 3. Any structural work where mentioned on this drawing is subject to a qualified structural and civil engineer calculations before building work commences. Where walls are to be removed, contractor must check the location of walls above to confirm requirements before allocating costs.

4. All boundaries are assumed. To be confirmed on site before building work commences.

5. All boundaries are assumed. To be confirmed on site before building work commences.

6. BEDHAMPTON commences.

5. All dimensions must be checked on site before construction, and descrpancies

HAMPSHIRE