



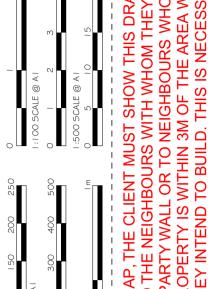




BLOCK PLAN 1:500 SCALE







_____ formal certification from the CONTRACTORS client's property. Please refe MUST READ THE to the most recent drawings BELOW: for full plans and elevations.

| Whilst every effort has been | made to ensure complete | Under the Party Wall etc Act the existing property and client | notices appropriate to the act | brief, building contractors | to you, informing you of your viewing this document are I rights in responding. This hereby informed that this drawing serves as the official drawing was created to notice of our client's compliance based on our

| understanding and assumptions | Information about the Act ca of the site at the time of its creation. Although rare, it is be found in the explanatory booklet available for downlo possible that misunderstandings, inaccurate from: https://www.gov.uk/part wall-etc-act-1996-guidance assumptions, and drawing errors may exist within documents issued by ASC You have 31 days to respond Design Services Ltd. We kindly | to this notice. The Party Wall request that any discrepancies | Act protects shared walls and

I owners. This notice informs

I and their potential impact on

To protect both parties, we suggest taking extensive

before the works begin. Ema

I "Agreed Party Wall Surveyor" will be required to draw up a

both parties. The fees will be

This notice informs you of the

I intend to build up to (but

I required at present, subject to Building Control Officers' input

Excavation: We will excavate

(generally below existing

property foundations) within meters of your structure.

formal award, stating the

agreed upon mutually.

your property.

| be reported to us urgently. | nearby structures for both Building contractors are I you of the construction work hereby warned that they are responsible for conducting all necessary site checks and investigations to accurately determine the materials and labour required for this project. They assume this risk photographs of your propert prior to providing quotations before the works begin. Ema for building works, or at the the digital photographs to o very least, they should include | client(s) for confirmation of provisions in their contracts to their pre-construction account for additional or condition. This will serve as unnecessary materials and evidence in case of any labour, thereby avoiding unforeseen expenses without prior cost estimation and I If you do not consent, an

allocation. For example, on-site measurements and at a minimum:

1. Verifying existing and proposed wall offset

This notice informs you of the dimensions in the event of a proposed works' impact on supporting wall and insertion categorized as follows: of a beam to ensure structural integrity and necessity. Line of Junction Notice: We

2.Ensuring walls intended to | wholly on the land) of our clier | viring appropriate load-bearing | No specialist foundations are materials. 3.Confirming actual on-site

beam spans. 4.Identifying instances of timber frame construction, as trenches for foundations at traditional masonry may have least one meter deep been assumed unless otherwise stated.

5. Verifying invert levels of inspection chambers on the Party Structure Notice: We site to ensure the feasibility of | may undertake works directly the proposed drainage layout | to the Party Wall, such as during the construction phase. I removing bricks on our client's 6.Determining ridge heights of solds to install a padstone solds for planned loft supporting a structural beam roof spaces for planned loft conversions, considering the

section of 200mm. 7.Conducting checks for potential asbestos presence. requiring removal prior to commencing any work.

probable need for an upgraded floor and a ridge

8.Carrying out trial hole for additional loads.

identify any site-specific obstacles that may impact the construction process. IO. On site verification of joist and rafter spans and sizes, and actions prior to works starting to mitigate

problems as a result.

W*e*/I: confirm the receipt this notice and existing foundation capacity | without prejudice to any of My/Our rights 9. Consulting with the client to under the Party Wall ı Act 1996, are content to the works to the property

ACKNOWLEDGEMENT

POSITIVE

identified above as the Client's, to start no earlier than 31 i days as of the date at the top of this document.

PROPOSED FIRST FLOOR PLAN AND BLOCK PLAN

NOTES
ALL DRAWINGS TO BE PRINTED AT 100% SCALE. DO NOT FIT TO PRINTER
MARGINS WHEN PRINTING.

1. This drawing is copyright of ASC Design. Reproduction is only to take place
with written authority.

2. These plans are subject to Planning & Building Regulation Approval or any other
statute in law before building work commences. No liability will be accepted for
works started before approval certification has been received.

3. Any structural work where mentioned on this drawing is subject to a qualified
structural and civil engineer calculations before building work commences. Where
walls are to be removed, contractor must check the location of walls above to
confirm requirements before allocating costs.

4. All boundaines are assumed. To be confirmed on site before building work
commences. commences.

5. All dimensions must be checked on site before construction, and descrpancies shall be reported to ASC Design Services before work commences.

6. Only Local Authority Planning Departments may scale dimensions from the PO9 3QP



7. If any discrepancies are found in the drawings these are to be brought to the attention of ASC Design. e. INFO@ASCDESIGNSERVICES.CO.UK

Ben Watson Nestledown 3 Lymington Bottom Four Marks, Alton GU34 5DL OCT 2023

PROPOSED-WATSON