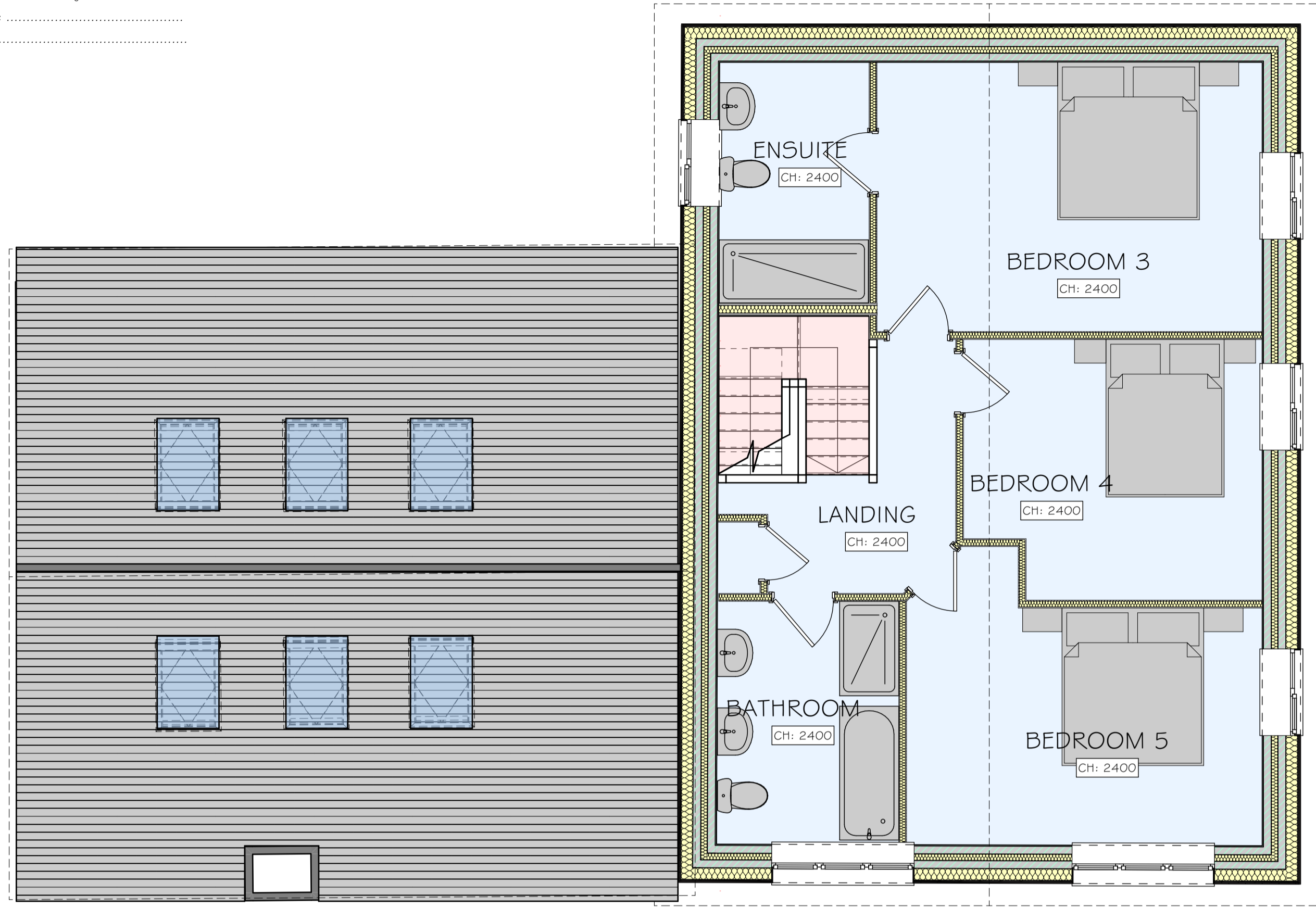
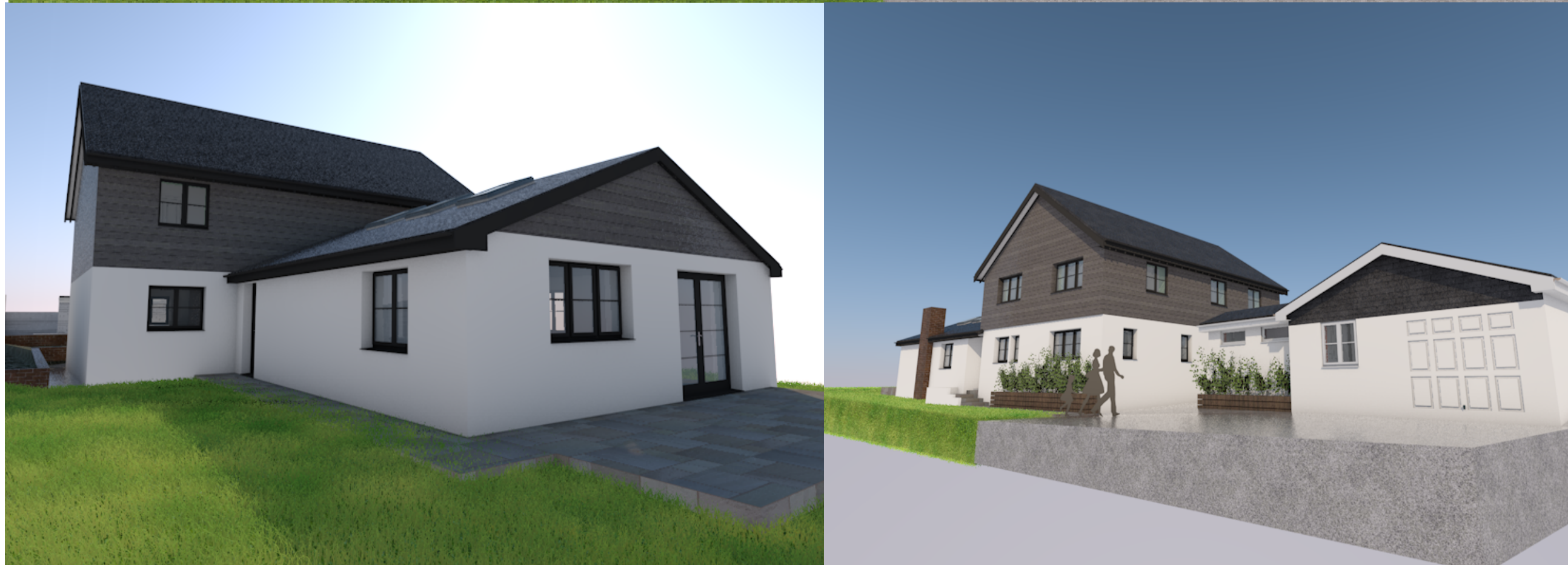


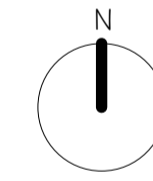
Well: .....  
 Confirm that the scheme as drawn reflects our intentions for the builder to construct to. ASC Design Services LTD accept no liability for schemes not approved by Building Control, or schemes which have not received the Client signature confirming their approval that the design reflects what the client intends to be built.  
 Signed: .....  
 Date: .....



FIRST FLOOR PLAN  
 1:50 SCALE



BLOCK PLAN  
 1:500 SCALE



PROPOSED FIRST FLOOR PLAN AND  
 BLOCK PLAN



1:50 SCALE @ A1  
 0 100 200 250  
 1:100 SCALE @ A1  
 0 100 200 250  
 1:200 SCALE @ A1  
 0 100 200 250

**ASAP. THE CLIENT MUST SHOW THIS DRAWING TO THE NEIGHBOURS WITH WHOM THEY SHARE A PARTY WALL OR TO NEIGHBOURS WHOSE PROPERTY IS WITHIN 3M OF THE AREA WHERE THEY INTEND TO BUILD. THIS IS NECESSARY TO INITIATE THE PARTY WALL PROCESS.**

Dear Neighbour Viewing Who Shares a Boundary with This Property

Asc Design Services Ltd seek formal certification from the Local Authority to extend our client's property. Please refer to the most recent drawings for full plans and elevations.

Under the Party Wall etc Act of 1996, we must serve notices appropriate to the act to you, informing you of your rights in responding. This drawing serves as the official notice of our client's intentions.

Information about the Act can be found in the explanatory booklet available for download from: <https://www.gov.uk/party-wall-etc-act-1996-guidance>

You have 31 days to respond to this notice. The Party Wall Act protects shared walls and nearby structures for both owners. This notice informs you of the construction works and their potential impact on your property.

To protect both parties, we suggest taking extensive photographs of your property before the works begin. Email the digital photographs to our client for confirmation of their pre-construction condition. This will serve as evidence in case of any damages to your property.

If you do not consent, an "Agreed Party Wall Surveyor" will be required to draw up a formal award, stating the rights and responsibilities of both parties. The fees will be agreed upon mutually.

This notice informs you of the proposed work impact on party walls and structures, categorized as follows:

- Line of Junction Notice: We intend to build up to (but wholly on the land) of our client and your neighbour's property.
- No specialist foundations are required at present, subject to Building Control Officers' input.
- Excavation: We will excavate trenches for foundations at least one meter deep (generally below existing property foundations) within 3 meters of your structure.
- Party Structure Notice: We may undertake works directly to the Party Wall, such as removing bricks on our client's side to install a poststone supporting a structural beam.

**POSITIVE ACKNOWLEDGEMENT**

Well: .....  
 confirm the receipt of this notice and without prejudice to any of My/Our rights under the Party Wall Act 1996, are content to the works to the property identified above as the Client's, to start no earlier than 31 days as of the date at the top of this document.  
 Signed: .....  
 Date: .....

NOTES  
 ALL DRAWINGS TO BE PRINTED AT 100% SCALE. DO NOT FIT TO PRINTER MARGINS WHEN PRINTING.  
 1. This drawing is copyright of ASC Design. Reproduction is only to take place with written authority.  
 2. These plans are subject to Planning & Building Regulation Approval or any other statute in law before building work commences. No liability will be accepted for works started before approval/certification has been received.  
 3. Any structural work where mentioned on this drawing is subject to a qualified structural and civil engineer calculations before building work commences. Where walls are to be removed, contractor must check the location of walls above to confirm requirements before allocating costs.  
 4. All boundaries are assumed. To be confirmed on site before building work commences.  
 5. All dimensions must be checked on site before construction, and discrepancies shall be reported to ASC Design Services before work commences.  
 6. Only Local Authority Planning Departments may scale dimensions from the drawings.  
 7. If any discrepancies are found in the drawings these are to be brought to the attention of ASC Design.