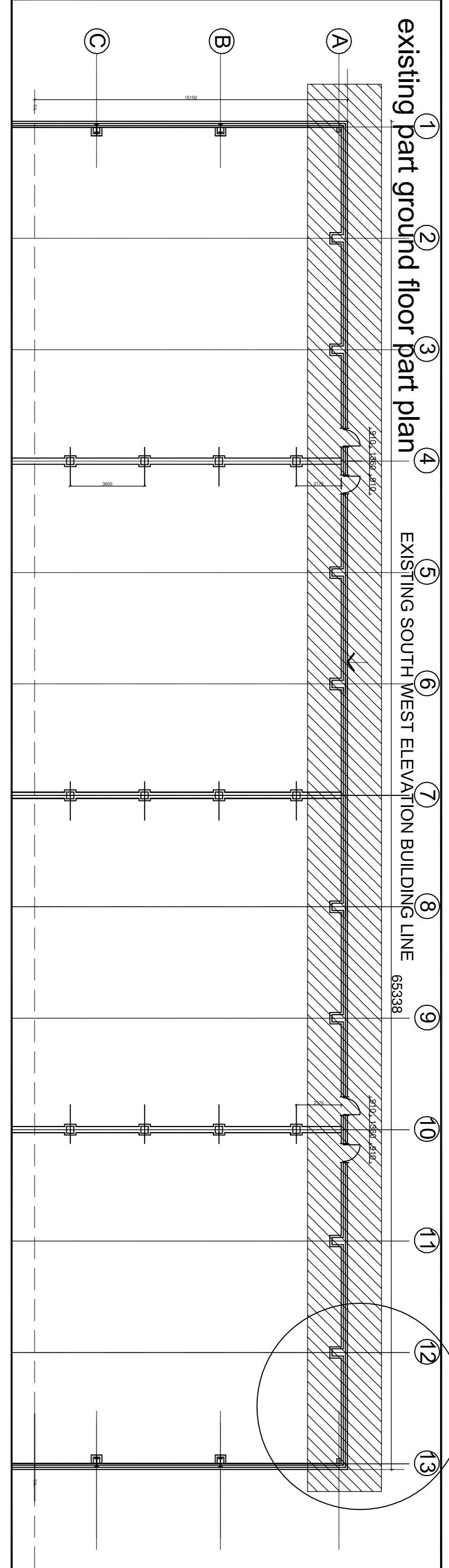


site orientation key

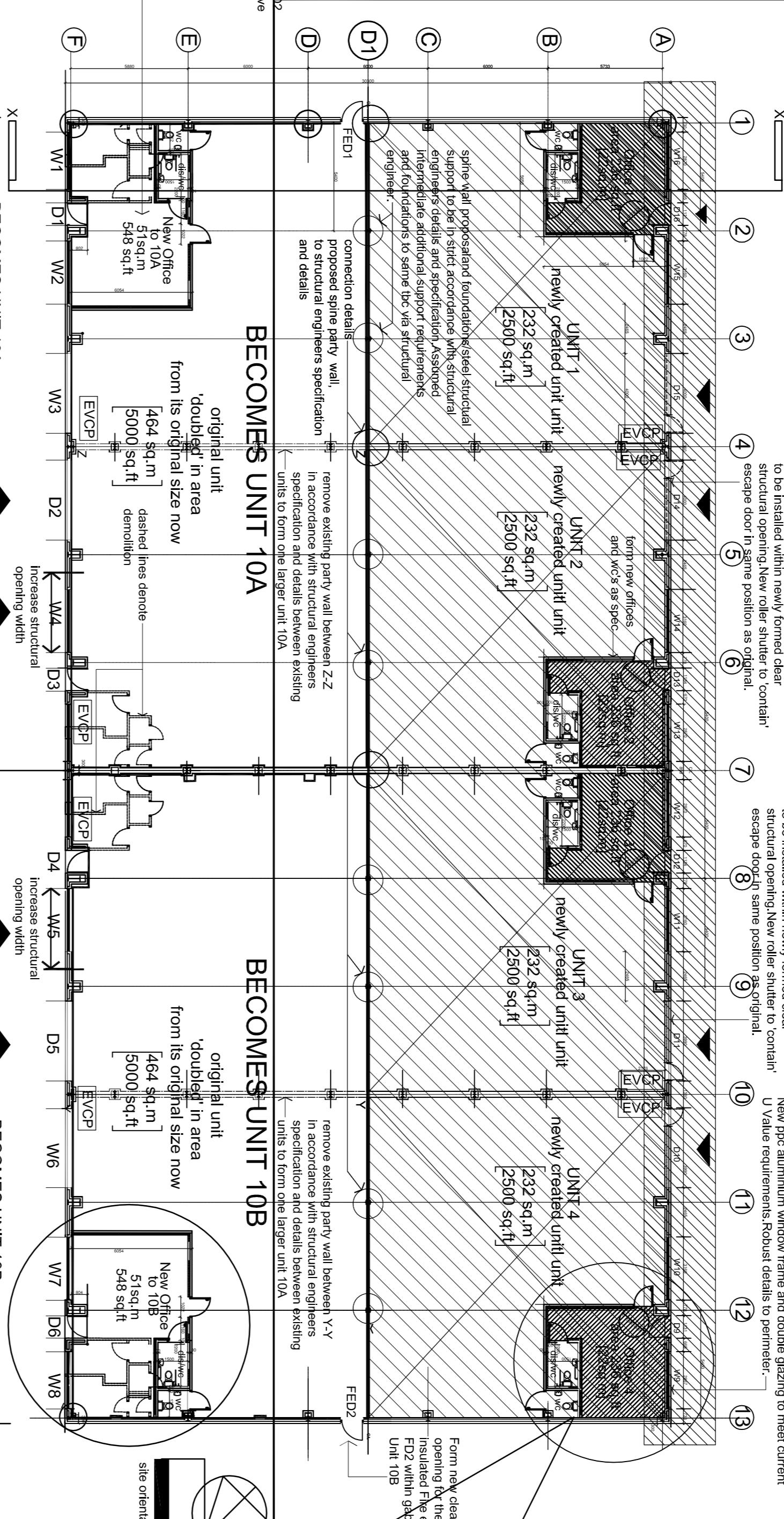


existing part ground floor part plan

EXISTING SOUTH WEST ELEVATION BUILDING LINE 65338

EXISTING SOUTH WEST ELEVATION BUILDING LINE 65338

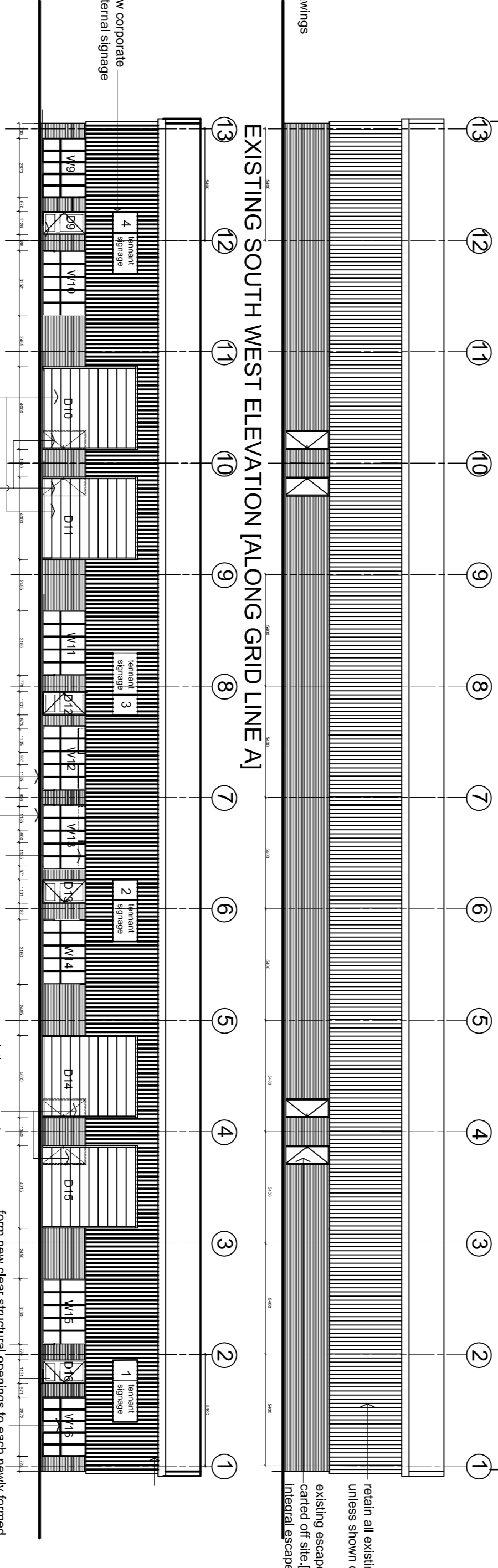
proposed ground floor plan



proposed ground floor plan

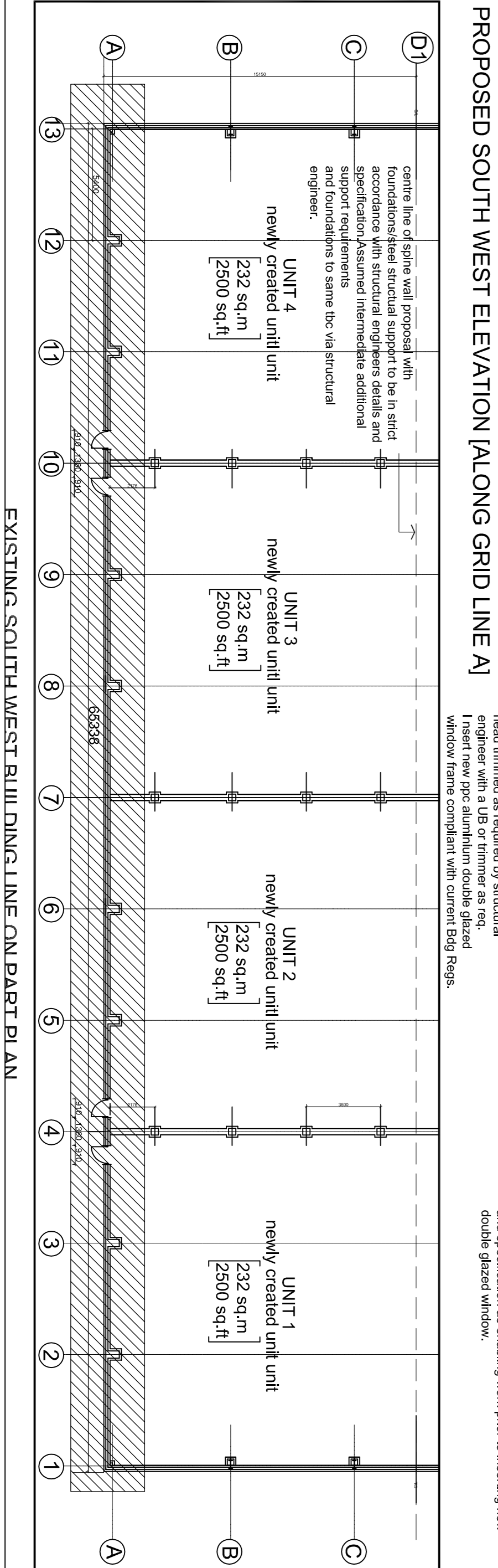
EXISTING SOUTH WEST ELEVATION ALONG GRID LINE A1

EXISTING SOUTH WEST ELEVATION ALONG GRID LINE A1



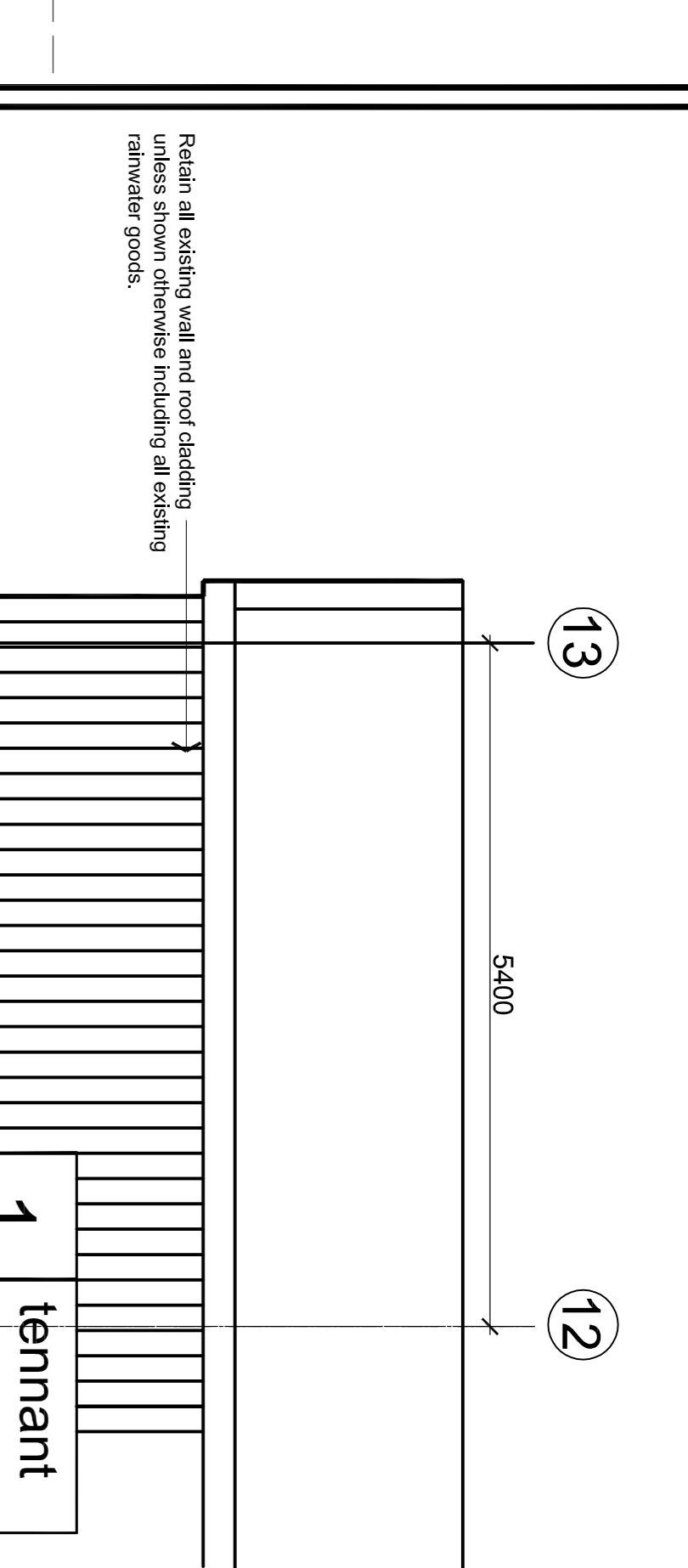
EXISTING SOUTH WEST ELEVATION ALONG GRID LINE A1

EXISTING SOUTH WEST ELEVATION ALONG GRID LINE A1

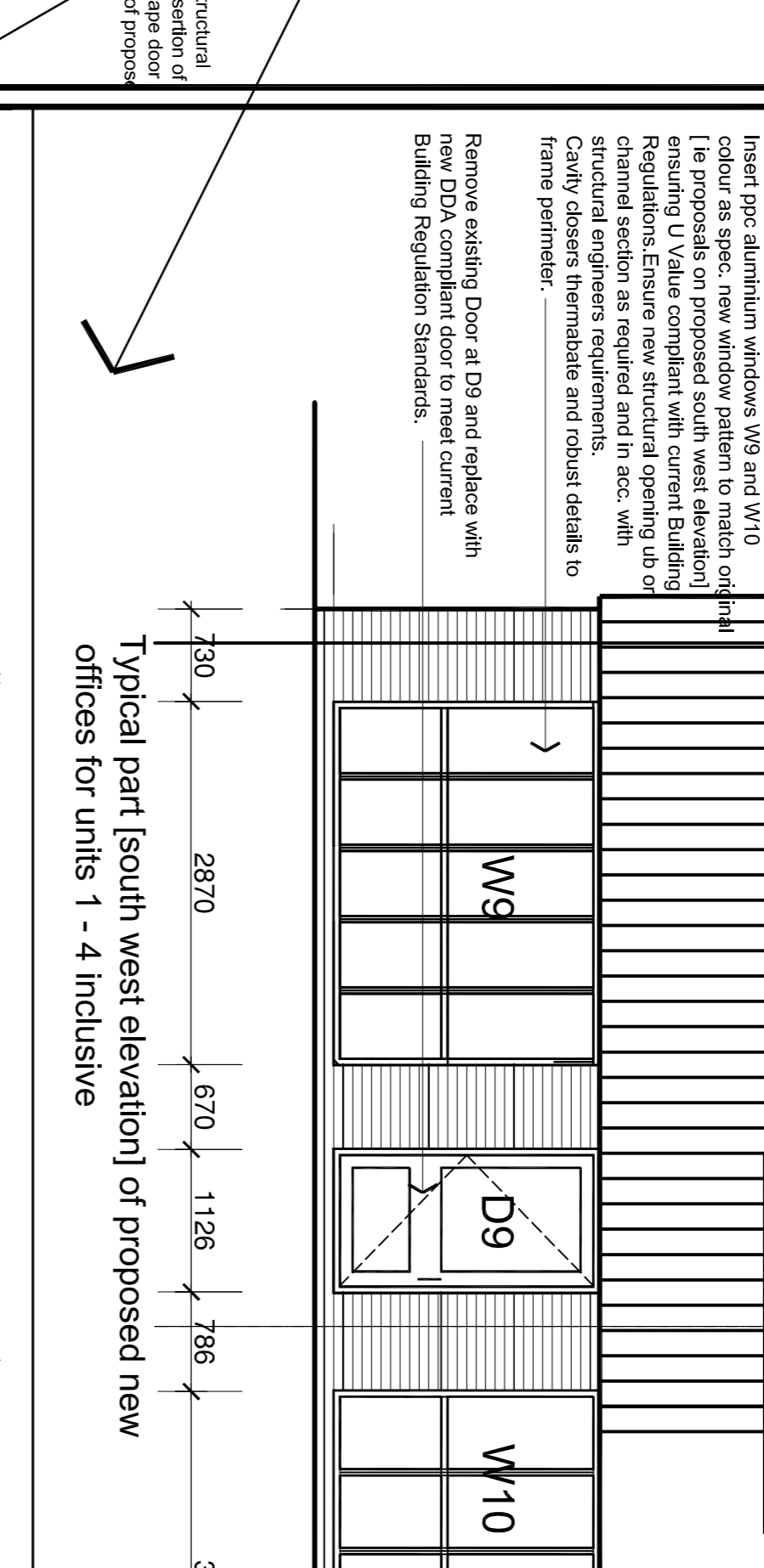


PROPOSED SOUTH WEST ELEVATION ALONG GRID LINE A1

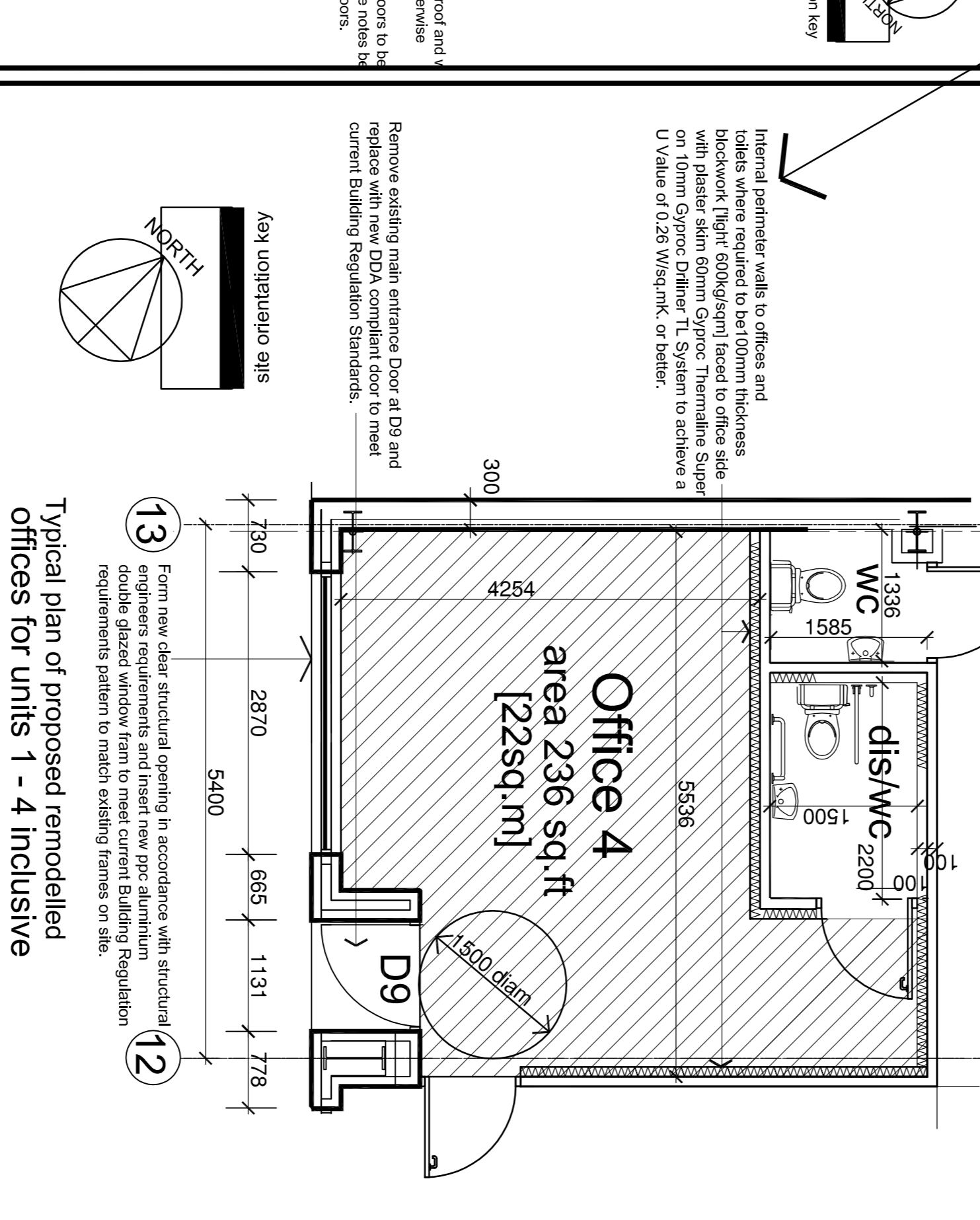
PROPOSED SOUTH WEST ELEVATION ALONG GRID LINE A1



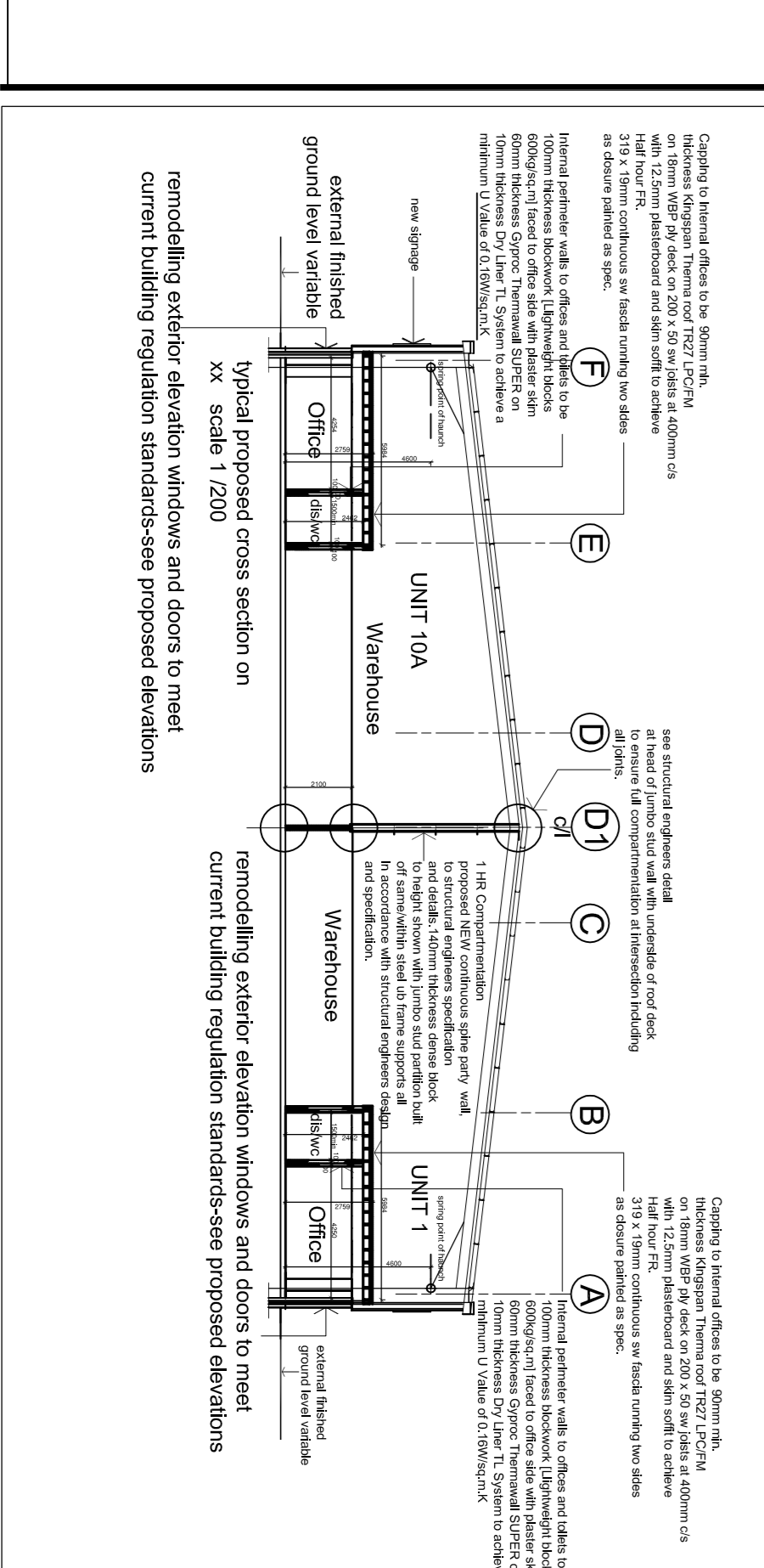
Typical part (south west elevation) of proposed new offices for units 1 - 4 inclusive



Typical plan of proposed remodelled offices for units 1 - 4 inclusive



Typical proposed cross section on grid line A1



Remodelling exterior elevation windows and doors to meet current building regulation standards-see proposed elevations

- NOTES**
- All the dimensions shall be verified by the contractor on site prior to work commencing.
 - Do not scale from this drawing.
 - Only work to better detailing.
 - Work to be done in accordance with the current Building Regulations and Part M of the Building Regulations.
 - The drawings shall be prepared by the contractor and shall be submitted to the architect for approval.
- MATERIAL/COLOR KEY**
- Steel structure - etc
 - Roof cladding - Kingspan KSI1000R/W Insulated Roof Panel (LPCB Approved) or equal - Colour: etc
 - Vapors - etc
 - Rainwater pipes - etc
 - Kingspan KSI1000R/W Insulated Wall Panel (LPCB Approved)
 - Brickwork - etc
 - Landing doors - etc
 - Personnel doors - etc
 - Windows - etc
 - Glazing unit - etc
- CRITICAL DOOR DIMENSIONS**
- Internal Doors - Minimum effective clear width 800mm
 - External Doors - Minimum effective clear width 800mm
 - Fire Exit Doors - Minimum effective clear width 800mm
 - Fire Exit Doors - Minimum effective clear width 800mm
 - Fire Exit Doors - Minimum effective clear width 800mm
- NOTES**
- Carry barriers to be provided - maximum 20m centres and on the side of the road.
 - Expansion joints to be provided to brickwork/blockwork as indicated on the Structural Engineers drawings.
 - Wall ties to be provided as detailed on the Structural Engineers drawings.
- REQUIRED U VALUES**
- Warm Roof Construction-0.18 W/sq.m.K max.
 - External Wall Construction-0.27 W/sq.m.K max.
 - Ground Floor Construction-0.22 W/sq.m.K (Only applies where space above is heated ie. w.c.s and offices).
 - Ground Floor Construction-No U Value Requirement (Only applies where space above is unheated ie. to warehouse).
 - Windows/Rooflights-1.8W/sq.m.K max.
 - Personnel Doors-1.8W/sq.m.K max.
 - Vehicle Access and Similar Large Doors-1.5W/sq.m.K max.

BLOCK B SCHEDULE OF ACCOMMODATION

Unit	Area	Volume
Unit 1	232 sq.m	2500 sq.ft
Unit 2	232 sq.m	2500 sq.ft
Unit 3	232 sq.m	2500 sq.ft
Unit 4	232 sq.m	2500 sq.ft
Unit 10A	464 sq.m	5000 sq.ft
Unit 10B	464 sq.m	5000 sq.ft
Total	1856 sq.m	20,000 sq.ft

PLANNING APPLICATION

Issued For: Electric Vehicle Charging Points

20% ratio of points to parking provision

A 4.10.23 EVCP DE DE

Rev: Date Labels

Scale: 1:200 @A1

NORTHERN TRUST INVESTMENT / DEVELOPMENT / REGISTRATION

LONDON HOUSE, NORTHERN TRUST, 100, BROADWAY, LONDON, E.C.4, U.K.

TEL: 01753 728 555 FAX: 01753 728 556 EMAIL: ENQUIRY@NORTHERNTRUST.CO.UK

Project: Conselt, Durham

Drawing: Existing SW Elevation/ Proposed SW Elevation and plan Block B. [Site 'B']

DH8 6SZ

Drawn By: DE Date: 4.8.21 Drawing No: WI-187-0017 Rev: A

Checked By: DE Date: 4.8.21 Scale: 1/200 @A1

electronic path to this drawing-WJ-187