

2311 | Flat 34, Parkside, Knightsbridge, London, SW1X 7JP

DAS & Photographic Survey_PL02

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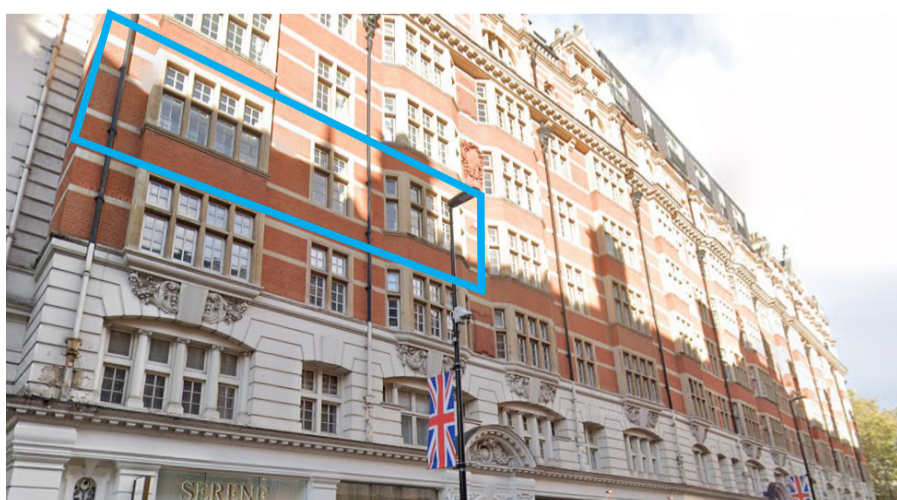
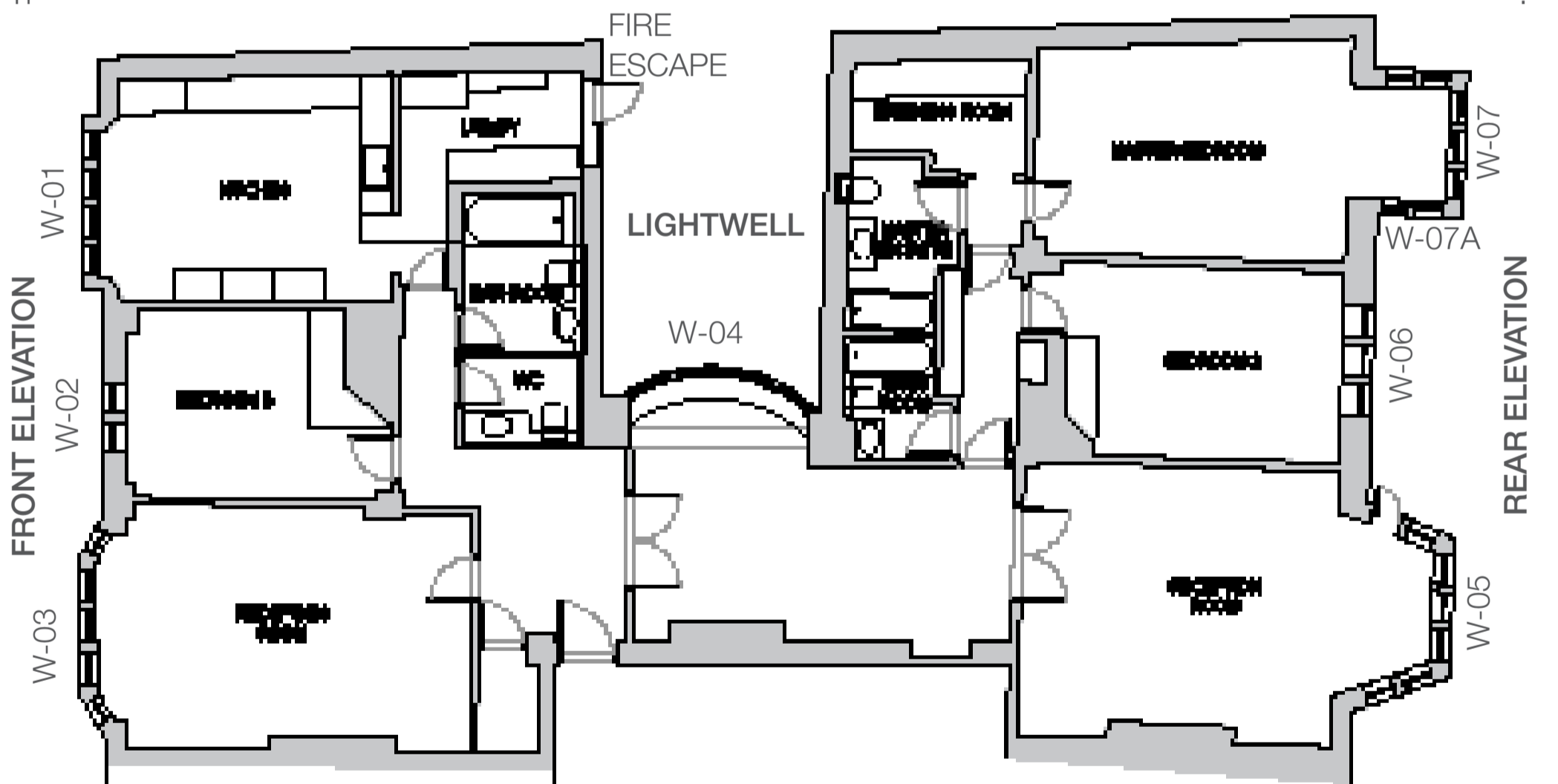
1.0 INTRODUCTION

This Design and Access Statement / Photographic Survey has been prepared by Cast Studio on behalf of the client to support the full planning application for the introduction of a single door for balcony access. This document should be read alongside the submitted drawing set. The proposals seek to provide an overall improvement to the quality of accommodation at the property for continued use as a single family dwelling. This document shows the key features of the site with internal and external photographs and images.

1.1 OVERVIEW

The proposal involves replacing an existing window with a slim double glazed timber door to match the existing configurations for balcony access.

The following floor plan illustrates the proposed changes to the flat's layout and structure.



FRONT ELEVATION



REAR ELEVATION

2.0 BACKGROUND INFORMATION

2.1 SITE LOCATION

Parkside is an unlisted mansion block within the City of Westminster, positioned on the north side of Knightsbridge, to the south of carriage drive overlooking Hyde Park. Flat 34 occupies the third floor and is double aspect. Unlisted, the building makes a positive contribution to the character and appearance of the Albert Gate conservation area.

2.2 PLANNING HISTORY

There have been several successful planning applications to the building to replace existing timber windows with slim double glazed windows to match existing, to lower cills and for minor alterations to the external elevations.

At least three other flats have had successful applications to convert an existing window into a single casement door, similar to this application.

3.0 DESIGN PROPOSAL

3.1 DESIGN AND MATERIALS

All materials will be designed to match existing and remain in keeping with the character of the conservation area. The proposed door will be white painted timber framed, with 12mm slim double glazing units to match the existing configuration of the windows.

The existing stone will be retained where possible, with the cill carefully cut and refinished to match the balcony door on the opposite bay. .

3.2 MASS, SCALE AND BULK

No changes are proposed to the massing of the property.

3.3 PEDESTRIAN AND VEHICULAR ACCESS

There is no public access to the property. Private access remains as existing.

3.4 LANDSCAPE AND TREES

No alterations to the landscape or trees is required by the proposal.

3.5 SUSTAINABILITY AND WASTE

The additions and alterations to Flat 34, Parkside are designed to be as sustainable as possible within the constraints of an existing building. Materials will have a low embodied energy and be sensitive to the existing fabric.

3.6 FLOOD RISK

The proposals do not affect the overall flood risk of the building or area. An appropriate cill will be installed at the base of the door to further reduce the risk of site specific flooding, though the balcony to which the door provides access is covered and not enclosed at floor level to the rear elevation.

4.0 REAR ELEVATION

4.1 W-05 - A fully projected bay window with a single door to provide access onto the rear balcony. Again, secondary glazing is applied over all glazing and externally the windows are framed with stone surrounds.



4.2 W-07 - Bay window consisting of four panes with glazing bars and frames externally with stone detailing. Internally, secondary glazing is being used to help improve thermal performance and reduce drafts from failing windows. The secondary glazing is installed in a flat line meaning that internally, the bay window is not read as originally intended.



W-07A - Existing window in the bay as indicated below to be replaced with single door to match opposite bay and provide additional balcony access point.

