

40 Beckwith Road, London

vine
architecture
studio

Design Access Statement (Full Planning Application)

A proposed single storey, ground floor side extension, a second floor rear dormer extension and building exterior refurbishment;
Change of use from C4 (Houses in multiple occupation) to
C3 (Single household dwelling house)

Issue date
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Project ref
VINE121

Document ref
VINE121/DAS

For and on behalf of
David & Carrie Lowe

Site address
40 Beckwith Road, London, SE24 9LG

1	Introduction & Summary	03
1.1	Introduction	04
1.2	Summary - Extension 1	04
1.3	Summary - Extension 2	04
1.4	Summary - Change of Use Class	04
2	Context	05
2.1	Site Location & Building / Area Character	06
2.2	Planning Policy	06
2.3	Planning Precedents	07
3	Design proposal	08
3.1	Design and Layout	09
3.2	Access	10
3.3	Design Details	10
3.4	Proportions and Massing	10
3.5	Daylight & Sunlight	11
3.6	Materiality and Openings	12
3.7	Overlooking	12
3.8	Amenity	12
3.9	Onsite Renewables	13
3.10	Change of Use Class	14
4	Appendices	15
4.1	Appendix 1 - Site Photographs	16
4.2	Appendix 2 - Neighbouring Extension	20
4.3	Appendix 3 - Permitted Precedents	22

1 Introduction & Summary

1.1 Introduction

This Design and Access Statement has been prepared by Vine Architecture Studio on behalf of our client, David and Carrie Lowe. This document supplements our Full Planning Application made to the London Borough of Southwark.

This application is for the erection of a single storey ground floor side extension with internal alterations to provide an enlarged, open plan living space. At roof level we propose a dormer extension to accommodate an enlarged bedroom and family bathroom. We are also proposing to refurbish the exterior of the existing house to match its original appearance. In addition, the application includes the change of existing use class from C4 (Houses in multiple occupation) to C3 (Single household dwelling house).

1.2 Summary - Ground Floor Side Extension

- There are a number of similar side extensions in height and depth that have been permitted in the terrace and surrounding area, including the adjacent neighbours at No. 42 Beckwith Road.
- The extension has been designed to create a more generous kitchen, living and dining space that is conducive to family living and appropriate for these houses.
- The height of the proposed ground floor side extension has been designed so that it aligns with the roof level of the No. 42's side extension.
- Our design looks to retain the character of the existing house. The side extension is designed to be subtle so it doesn't override the uniqueness of the rear bay window. The roof extension is also proposed to be set back significantly away from the rear of the outrigger. We feel our proposals work with the house while also complementing the rear elevation as a whole.
- The primary material is brick which is sympathetic to the terrace and is designed with some subtle contemporary features to integrate successfully with the original house and surrounding buildings.
- The garden remains longer than 10m and larger than 50sqm.
- The depth of the extension is less than a number of other permitted extensions in the area.

1.3 Summary - Rear Roof Extension

- There are a number of permitted dormer roof extensions along the street. These are numbers 9, 13, 17, 26, 32, 33, 38, 47, 53, 56, 58, 60, 61, 62, 63 and 65 Beckwith Road. Our proposal would therefore be in keeping with the existing roofscape and other extensions.
- The dormer extension has been designed to be set back 350mm from the eaves of the existing roof and 5m from the rear wall of the outrigger to be integral and respectful to the existing house.
- The dormer extensions have been designed as so not to be higher than the highest point of the existing roof.
- The height of our proposed rear dormer extension is lower than the neighbouring dormer extension at 38 Beckwith Road.
- There are currently no roof extensions or alterations to the property as existing.
- The proposed vertical timber cladding has been permitted in other permitted precedents in the area - namely 60 Beckwith Road and 39 and 41 Elmwood Road.
- We originally proposed a longer dormer extension along the existing outrigger to accommodate another bedroom / study (to match other permitted extensions in the area - eg 60 Beckwith Road). However, through consultation with the neighbours at number 42 Beckwith Road, we have reduced this so the rear extent of our proposed extension is shorter aligning with the existing internal wall of the bathroom.
- Our proposed roof extension is 32 cubic meters of additional space. This is 8 cubic meters smaller than what would have been permitted under permitted development rights (40 cubic meters for terraced houses).

1.4 Summary - Change of Use Class

- It appears that the existing house is currently designed, fitted and adapted as a house in multiple occupation (C4). We propose to change it to a Single Household Dwelling (C3). This change would usually be considered permitted development. However, given that we are combining a change of use with an extension we felt it was prudent to submit a Full Planning Application instead of a householder application or two certificate of lawful development certificates.

2 Context

2.1 Site Location & Building / Area Character

No. 40 Beckwith Road is situated half way along the street at the junction with Wyneham road. The site is situated in the 'North Dulwich Triangle' and is approximately 350m from North Dulwich train station. The building is not listed, within a conservation area or within the Dulwich Estate.

The length of Beckwith Road is characterised consistently by generously proportioned 3-storey Victorian terraced houses. The houses are constructed in London stock red brick, with large two storey bay windows, front gables and facade ornamentation. There is some slight variation to the houses along the terrace in their ornamentation, detail and application around the entrance porches. The dwellings along the street are set back from the pavement allowing for a front garden to each house.

There are a significant number of houses in the terrace and street with a variety of extensions including single storey extensions as well as second floor dormer roof extensions.

2.2 Planning Policy

As the architects, we have endeavoured to design a side and roof extension that are of high quality, complementary to the original building and that responds to the relevant planning policies. To inform our design for the side and roof extensions, we have referred to the 2015 Technical Update to the Residential Design Standards and the Supplementary Planning Document for Southwark (October 2011) as well as permitted precedents in the area.

The SPD provides an informed guide for extensions to existing houses. It includes specific guidance on side extensions and roof extensions in order to complement the existing properties' character, appearance and quality. Our proposal addresses the following policies as extracted from sub-chapter 3.4 in the SPD - extensions to existing residential dwellings (see overleaf):



View of Beckwith Road street elevation



Aerial site view

— 40 Beckwith Road

Outdoor Amenity Space

- Any extension should not reduce the outdoor amenity space associated with the dwelling to less than half of its original size and the remaining amenity space must be at least the minimum standards set out in sections 2.6, 3.1, 3.2, 3.3 and 3.4 (minimum of 50sqm and gardens of 10m in length)

Design & Appearance

- Harmonise with the scale and architectural style of the original building
- Harmonise with the character of the area, including respecting the historic pattern of the surrounding area
- Be successfully integrated with their surroundings. The extension should read as if it were part of the original dwelling. Where a different approach is taken, the design and composition should be successful.
- Not unacceptably affect the amenity of neighbouring properties. This includes privacy, outlook, daylight and sunlight
- Not be of a size or scale that would visually dominate neighbouring properties
- Be subordinate to the original building. The extension should play a “supporting role” to the original dwelling in terms of location, form and scale
- Not compromise any rooms in the existing house. No habitable room should become completely internal without a window
- Use materials that match those in the original house and the surrounding areas

Side Extensions

- Be subsidiary to the main building
- If the side extension is proposed to be more than single storey, the upper floor should be set back from the side building line
- Have roofs that match those of existing buildings in terms of roof shapes and pitches
- Avoid the infilling of gaps between properties, where this is an important townscape feature

Roof Extensions

Roof Extensions should not be permitted in the following circumstances:

- Where additional floors in any form would harm the architectural integrity of a building or the unity of a group
- Where roof extensions cut through ridge or hip lines
- On buildings which are the same height or significantly higher than their neighbours, especially those which have been extended in the past
- On buildings and in terraces which are completed compositions or which have existing mansards or roof storeys
- Where the varied skyline of a terrace or group of buildings is of interest and should be maintained
- Where the building has roofline features which were designed to be seen against the sky
- Where it would unbalance the proportions of the building
- Where there is an unbroken run of butterfly roofs
- Where the roofline is exposed to long views from public spaces and a roof extension in any form would have a detrimental impact on that view
- Where important historic roof forms would be lost
- No roof extensions above the height of the ridge of the main roof

2.3 Planning Precedents

We have considered the SPD design guidelines along with reviewing the surrounding permitted precedent, proportions and nature of the houses. Based on this we feel our proposals are respectful and subordinate to the original building.

For precedents of houses with extensions including single storey extensions as well as second floor dormer roof extensions please see our appendices at the end of the DAS.

3 Design Proposal

3.1 Design and Layout

The proposal is centred on the principle of creating a design which both compliments and enhances the existing house and neighbouring terraces whilst providing an enlarged high quality space for a young family to grow into in the Borough.

Existing House

The existing house is near derelict with a barely functioning kitchen or bathroom. It is in need of a complete refurbishment throughout with structural, thermal and waterproofing upgrades.

Sustainability

Our proposals include measures to both reduce heat loss / energy consumption from the house with thermal upgrades to the walls, roof, windows and doors. We are also proposing renewable energy generation on site through the introduction of photovoltaic panels and an Air Source Heat Pump.

Ground Floor Extension

Our proposed side extension aims to provide additional space similar to other extensions in the area. The distinction between the new and the old is articulated subtly through materiality and detailing. Rather than mimicking the Victorian style in a pastiche sense, our proposal seeks to sensitively express the new extension with considered contemporary features that reference the existing house design. This is evident in the facade design as linear bricks are used to maintain the same masonry materiality. In addition, the idea of the coping takes reference from the existing pre-cast lintels above the bay windows.

Internally, our proposal aims to provide a new focus on accessible open plan living and connection to the garden. By keeping the front and middle rooms as connectible living rooms and opening up the space to the rear, it gives legibility to the ground floor layout and provides much needed family space with ancillary storage and cloakroom.

The layout makes use of a centralised utility space and WC with free flowing circulation around to the original sitting room at the front of the



Proposed rear axonometric

house which has been kept as is with original proportions.

Roof Extension

The rear roof extension is designed to compliment and be subordinate to the original house. The massing, proportions and materiality are in keeping with much of the extensions in the area. Introducing a dormer on the outrigger creates a more generous space for a family bathroom in the middle of the house. The roof extension on the main roof improves the size of one of the existing bedrooms creating a uniform head height thereby creating two equally sized children's bedrooms as opposed to the existing configuration where one bedroom is substantially larger than the other.

3.2 Access

Access to the property remains unchanged.

3.3 Design Details

We propose to introduce minimal clean detailing to the proposed doors, windows and cladding to the proposed extensions. We would look to minimise exposed fixings through careful design and fabrication. We are also proposing to replace the existing windows with slimline double-glazed timber framed windows to match existing style maintaining the existing aesthetic whilst improving the building's environmental performance.

3.4 Proportions & Massing

Ground Floor Extension

The design responds to the desire for a more rational and functional layout. The houses in the street have comparatively large proportions for Victorian terraced houses and any extensions we feel should be designed in accordance with this context and the context of the terrace.

We have aligned the roof of our proposed side extension with that of the existing neighbouring side extension (No. 42 Beckwith Road) to form a



Proposed rear elevation

continuous datum. In addition, the extent of the proposed side extension lays flush with the existing rear wall of the existing house. The height of the proposed side extension therefore is 3.6m from the terrace level. This is in line with No. 42 Beckwith Road's side extension:

- No. 42 Beckwith Road
Side extension depth - 7.95m (length of side return)
Side extension width - 1.54m from the end wall (width of side return)
Rear extension height - 3.60m from terrace level

Roof Extension

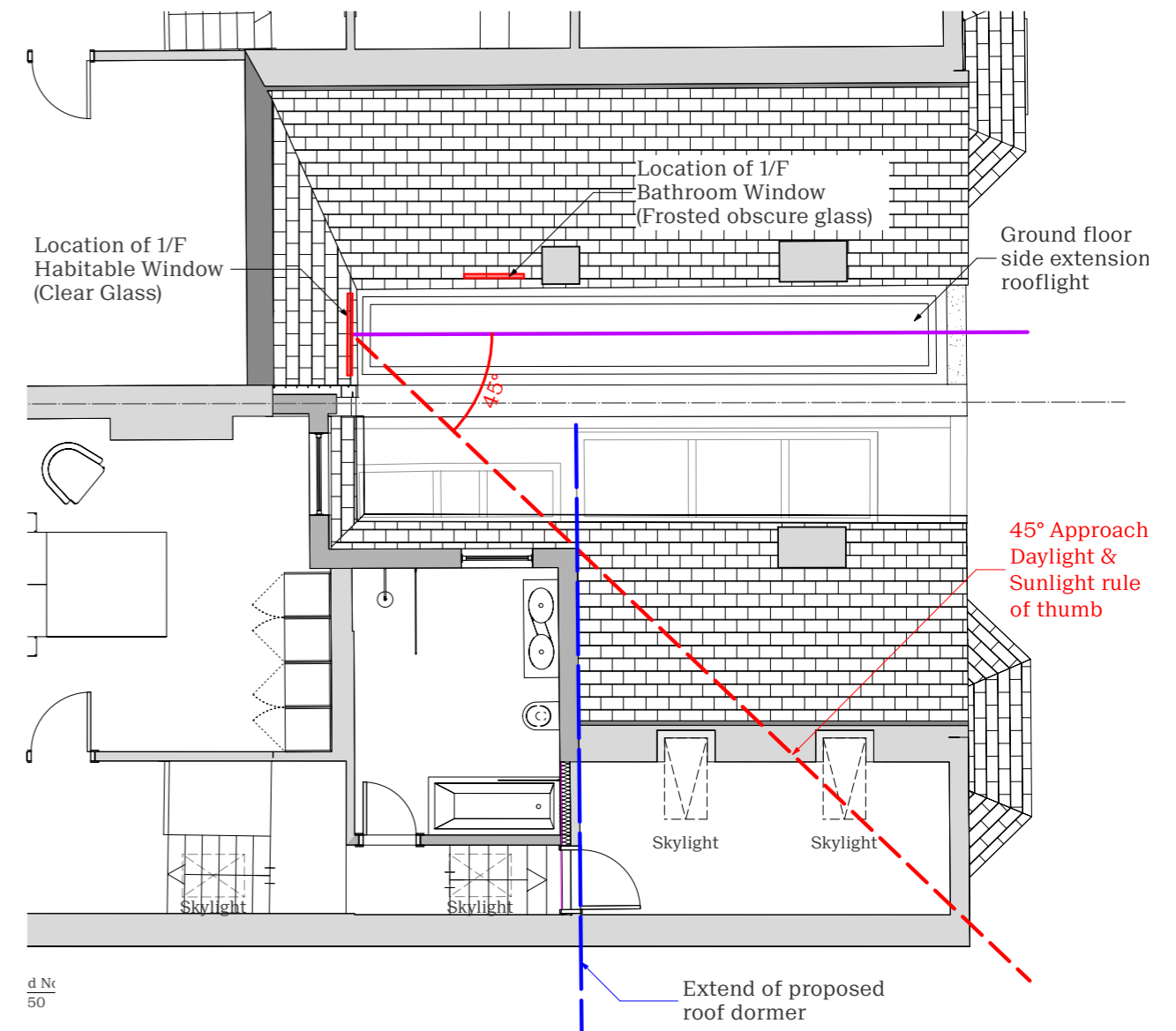
The roof extension is designed within the scale of other permitted roof extensions and also is smaller than what would be permitted under permitted development (Class B).

We propose to raise the small section of party wall at the roof level with 42 Beckwith Road. This is a sensible option to allow no 42 to enclose upon it in the future should they want to extend to avoid a small unmaintainable gap. This matches exactly what has recently been approved with nearby extensions such as at No. 60 and also approved elsewhere in the area. The massing is designed to be sympathetic to the original house as it does not exceed the existing roof height and is set back from the edge of the outrigger.

3.5 Daylight and Sunlight

45 Degree Rule of Thumb

We have assessed the impact of our proposals on the neighbouring house at 42 Beckwith Road as the house with a common side return. In this regard, and although there is precedent for a longer dormer, on a conservative basis we have worked on the 45 degree principle from the windows serving habitable rooms. Please see the adjacent diagram / plan showing how our proposed massing at second floor level does not intersect the 45 degree angle in plan from the centre of the neighbouring first floor window at 42 Beckwith Road.



Proposed second floor plan & No.42 second floor plan - 45 degree principle

3.6 Materiality and Openings

Ground Floor Extension

The proposed materiality for the ground floor side extension is handmade brick to give a solidity to the facade and to integrate with the context of the existing house. The existing patio door and windows on the ground floor are replaced with double-glazed ones to match existing style. A triple-glazed door opening to a small external alcove provides another connection to the garden, providing natural light and natural ventilation to the internal spaces. Additionally we are proposing linear skylights that would run along the length of the extension, bringing further natural light to the side and rear of the floorplan lighting the kitchen.

Roof Extension

For the rear dormer roof extension, darkened natural timber cladding is proposed which is in keeping with other permitted precedents in the area - namely 60 Beckwith Road and 39 and 41 Elmwood Road. The proposed windows are of a similar proportion to the windows of the original house and vertically aligned with the existing windows below where possible.

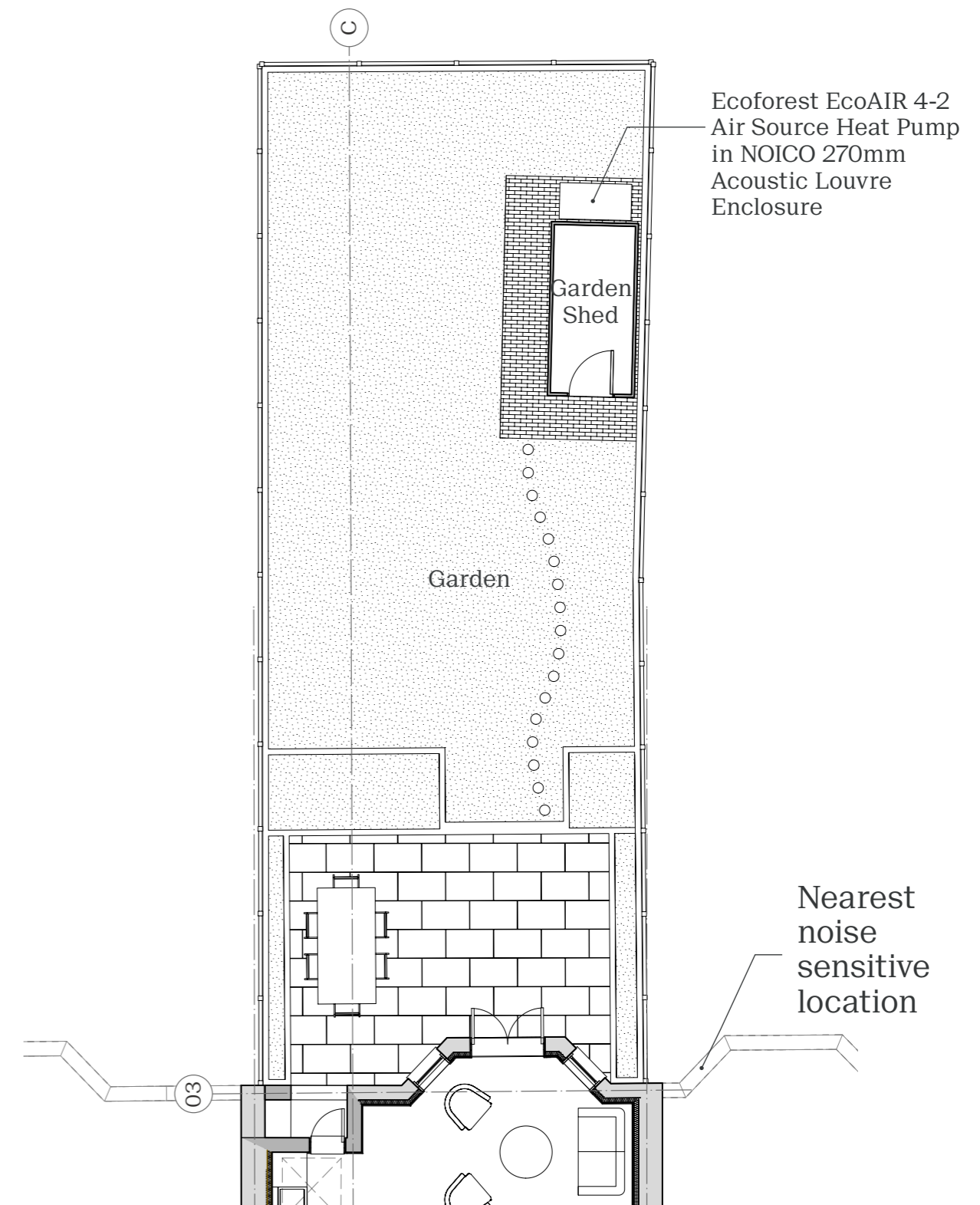
We note examples of nearby permitted roof extensions which use expansive glazing in the same location (refer to permitted precedents pages 18). We do not put these forward as examples, but to instead demonstrate how our proposal is more sympathetic than others permitted nearby.

3.7 Overlooking

The window in the family bathroom on 2nd floor directly facing the neighbour's house (No. 42) is proposed to have obscured glazing. This is as per the opposing obscured glazing in the facing windows on the 1st floor of No. 42 Beckwith Road.

3.8 Amenity

With the proposed rear extension the garden remains over 10m long and over 50sqm in size.



Proposed site plan

3.9 Onsite Renewables

We are proposing to go completely gas-free and utilise on-site renewable electricity and heat generation as much as possible. An Air Source Heat Pump will be installed to the property to reduce the overall carbon emission and improve energy efficient by replacing the existing gas boiler system. We propose to specify Ecoforest EcoAIR 4-2 for the ASHP.

Our proposal for photovoltaic panels on the roof will provide a significant amount of electricity for both the Air Source Heat Pump the and general usage of the building.

Regarding the noise consideration of the ASHP, we refer to the Microgeneration Certification Scheme Planning Standards (MCS020)'s noise limit requirement for permitted development. It stipulates that the noise levels for an ASHP must stay at or below 42 db(A) from a metre distance away from the closet habitable room. We also refer to the London Borough of Southwark Technical Guidance for Noise (Amended November 2019) which states the following:

'In order for planning permission to be recommended it is required that the assessment Rating sound level does not exceed the typical minimum LA90 (15 minute) background sound level at any time. Furthermore in order to prevent gradually creeping background levels over time it is required that the un-rated 'Specific' sound level does not exceed 10dB below the typical minimum LA90 (15 minute) background sound level at any time. The 'Specific', 'Rating' and 'Background' sound levels shall be calculated fully in accordance with the methodology of BS 4142:2014+A1:2019.'

Addressing these requirements, we propose to place the Air Source Heat Pump behind the garden shed and approximately 15m away from the nearest noise sensitive location (ie. rear bay window of 38 Beckwith Road). The unit is also completely enclosed in NOICO 270mm Acoustic Louvre to reduce the noise level.

We refer to 10 Beckwith Road as a permitted precedent for the Air Source Heat Pump. Please see 4.3 Permitted Precedents in the Appendices. This precedent demonstrates that the proposed configuration is compliant from a significantly closer distance. We therefore feel that a acoustic report seems unnecessary in this situation.



Ecoforest EcoAIR 4-2



Inspiration of NOICO 270mm Acoustic Louvre Enclosure

3.10 Change of Use

The existing house appears to be designed, fitted and adapted as a house in multiple occupation (HMO), with 6 bedrooms spatially configured to be occupied by more than one single household. On our site visit we noticed the following design features. These can be referred to the photographs in the Appendices (4.1):

- There are four separately metered electricity supplies in the property, with one for each floor and one labelled as landlords supply
- There are emergency lights installed in the hallways and landings, which turn on when the power supply is cut
- There are a number of push button light switches installed in the hallways and landings, which turn lights off after a period of time.
- The property has been fitted with a multi-zone fire alarm system. A number of 'break glass' fire alarms points are installed in the hallways and landings
- Each bedroom door is currently fitted with individual dock lock. In the ground floor front reception room there is a key box containing all the bedroom keys for the individual occupants

In addition, on the Southwark Council HMO Licences Register we found a HMO license registered for the property (APPId 852813). We also noticed that the property has been sub-divided into multiple addresses of separated flats on the Southwark Council planning website.

We therefore concluded, that although originally built as a single family house, the existing condition of the property is not designed to be for a single household family. As such, our proposal involves the reconfiguration and refurbishment of the existing layout to provide a suitable living space for a Single Household Dwelling. Given that there is a change of use class from the current HMO (C4) to Single Household Dwelling (C3), paired with the extensions, we felt it would be a requirement to submit a Full Planning application and in any event that there was no reason the application could not be assessed via this route.

4 Appendices

4.1 Site Photographs







Emergency lighting and fire alarms in the 1st floor and 2nd floor hallways and landings

Key locks fitted on individual bedroom doors

Multiple electricity meters

Key box containing individual keys for each bedrooms in the property



Push button light switches in the 1st floor and 2nd floor hallways and landings

Multi-zone fire alarm system and 'break glass' fire alarms points



HMO Licences Summary

APPIID	Licence Type	Licence Holder Name	Licence Holder Address	Licence Holder Post Code	Manager Name	M
853276	Additional Licence	Arubala Maini	165 Bishopsteignton, Shoeburyness, Southend-On-Sea	SS3 9BQ	Unknown	
853277	Additional Licence	Arubala Maini	165 Bishopsteignton, Shoeburyness, Southend-On-Sea	SS3 9BQ	Unknown	
853262	Selective Licence	Gemma Heaton	Unit 4 Berkeley Business Park, Wainwright Road, Worcester	WR4 9FA	Gemma Heaton	Unit 4 Berkeley Business Park,
853260	Additional Licence	Gemma Heaton	Unit 4 Berkeley Business Park, Wainwright Road, Worcester	WR4 9FA	Gemma Heaton	Apex House, Unit 4 Berkeley B
853176	Selective Licence	Richard Bartley	24 Kingfisher Way, Marchwood, Southampton	SO40 4XS	James Balley	24 Kingfisher Way, Marchwood,
853214	Additional Licence	Ian Walton	86, Denmark Hill, London	SE5 8AA	Unknown	
853160	Additional Licence	Richard Graham	Bentley, Violet Way, Loudwater, Rickmansworth	WD3 4JP	Unknown	
853229	Additional Licence	Shweta Srivastava	1 Ridgeway Gardens, Highgate, London	N6 5XR	Sarah Marston	4 Copper Row, London,
853221	Additional Licence	Gemini Patel	47 Winchester Road, Harrow, Middx	ha3 9pd	Unknown	
853203	Additional Licence	Ivan Saiban	3 Dairford Close, Bromley, Kent	BR1 5QS	Samantha Blackley	97 Lordship Lane, London,
852185	Additional Licence	Yates Properties Limited	205 Walworth Road, London,	SE17 1RL		
852142	Additional Licence	Yates Estate Limited	205 Walworth Road, London,	SE17 1RL		
853213	Selective Licence	Tara Watson	5 Woolstitch Park, Clifton Road, Netherseal	DE12 8BT	Gordon & Co Estate Agents Gordon & Co	Basement And Ground Floor, 2
852879	Additional Licence	Lucy Hodge	50, Aylesbury End, Beaconsfield	HP9 1LW	Unknown	
853109	Additional Licence	Warner Peterman	63-65 Heme Hill, London,	SE24 9NE	Karen Antonicu	63-65 Heme Hill, London,
851706	Additional Licence	Anthony Michael Geoghegan	205 Walworth Road, London	SE17 1RL	Unknown	
853135	Selective Licence	Maggie Richardson	1 Oates Close, Shortlands, Bromley	BR2 0WA	Acorn LTD Acorn LTD	Acorn 1, Sherman Road, Brom
852878	Additional Licence	steve cowan	Flat 42, Gabriel House, 10 Odessa Street, London,	SE16 7HQ	Unknown	
852845	Additional Licence	Maritza Valencia Gonzalez	Flat 3, Chatham House Lettsom, Moneil Road, London,	SE5 8PN	Jaime Sierra Alvarez	Flat 3, Chatham House Lettsom
852846	Additional Licence	Kim Monaghan	18 Range Road, Eastchurch, Sheerness	ME12 4DU	Unknown	
852830	Additional Licence	YOUYING HE	50 Old Lodge Lane, Purley, Purley	CR8 4DF	Gordon And CO	4 Walworth Road, London,
852823	Additional Licence	Josephine Mucahy	4c London Road, London Road, Southwark	SE1 6JZ	Anna Jurkiewicz	Sheraton Law, 1-3 Old Town, L
853098	Additional Licence	Olivier Gubert	58, Mill Vale, Bromley	BR2 0EW	Michello Stawinska	Kfh House, 5 Compton Road, V
853094	Additional Licence	BARBARA KRAMARZ	Flat 2, Columbus Court, 153 Rotherhithe Street, London,	SE16 5QN	Unknown	
853090	Additional Licence	Dr Rama Singh	2 Bisengwassod Road, Carmarthen, Llanguunor	SA31 2LF	Julian Smith	3a Victoria House, South Lamb
852814	Additional Licence	Magdalene Rosairo	45 Herley Road, Ipswich, Ipswich	IP1 3SJ	Leaders Limited Leaders Limited	9-13 The Facade, London, Lon
852827	Selective Licence	Amit Shah	19 Ruskin Parade, Green Lane, Edgware	HA8 8BT	Helen Douglas	Basement Front Ground Floor F
853099	Selective Licence	Samuel Akinul	119 Henderson Drive, Henderson Drive, Darford	DA1 6LD	Unknown	
852861	Additional Licence	Sabeer Gharbia	28Hillside, Kingsbury, London	NW9 0NF	Andrew Ballam-Davies	76-78 Mortimer Street, London,
852813	Additional Licence	Itsa petrou	40 Beckwith Road, London,	SE24 9LG	Unknown	
851632	Additional Licence	Yates Properties Limited	205 Walworth Road, London,	SE17 1RL		
851629	Additional Licence	Mr Wayne Alan Kidman	The Backhorse Public House, 254 Tabard Street, London	SE1 4UN		
852816	Additional Licence	Amir Sharon	Jolly Gardeners, 187 Rotherhithe New Road, London,	SE16 2BE	Alex Feraru	Jolly Gardeners, 187 Rotherhit
851511	Additional Licence	Anthony Michael Geoghegan	205 Walworth Road,	SE17 1RL		
851504	Additional Licence	Yates Properties Ltd	205 Walworth Road, London,	SE17 1RL		
852825	Additional Licence	Charles Hotham	92 Balham Grove, Balham, London	SW12 8BE	Charlotte Rawlings	44-46 Borough High Street, Bor
853107	Additional Licence	Timothy Bugbird	Flat 247, Empire Square West, Empire Square, London,	SE1 4NL	Kristina-Ellen Winch	Acorn Property Management, 1
852869	Additional Licence	William Jeffrey	31 Queens Parade, Devonport, Auckland 0624, New Zealand	0624	Shane Garvey	181 Queens Road, London, Lo
852866	Additional Licence	John Smith	24 Wiverton Road, Sydenham, London	SE26 5HY	Lewis Gordon	2 Barry Parade, Barry Road, Lo
852882	Additional Licence	Satish Mittal	17, Kaywood Close, Slough	SL7 5SR	Unknown	
852863	Additional Licence	James Edmonds	2 Barry Parade, Barry Road, London,	SE22 0JA	Lewis Gordon	2 Barry Parade, Barry Road, Lo
852868	Selective Licence	John Smith	24 Wiverton Road, Sydenham, London	SE26 5HY	Lewis Gordon	2 Barry Parade, Barry Road, Lo

Find out if you need planning permission

Enter the postcode of the property

For example, SE1 2QH

Postcode

Select an address

- 40, BECKWITH ROAD, LONDON
- GROUND FLOOR FLAT, 40, BECKWITH ROAD, LONDON
- SECOND FLOOR FRONT, 40, BECKWITH ROAD, LONDON

Registered HMO license on Southwark Council HMO Licences Register & Multiple flat addresses of 40 Beckwith Road on the Southwark Council planning website

4.2 Neighbouring Extension

No. 38 Beckwith Road

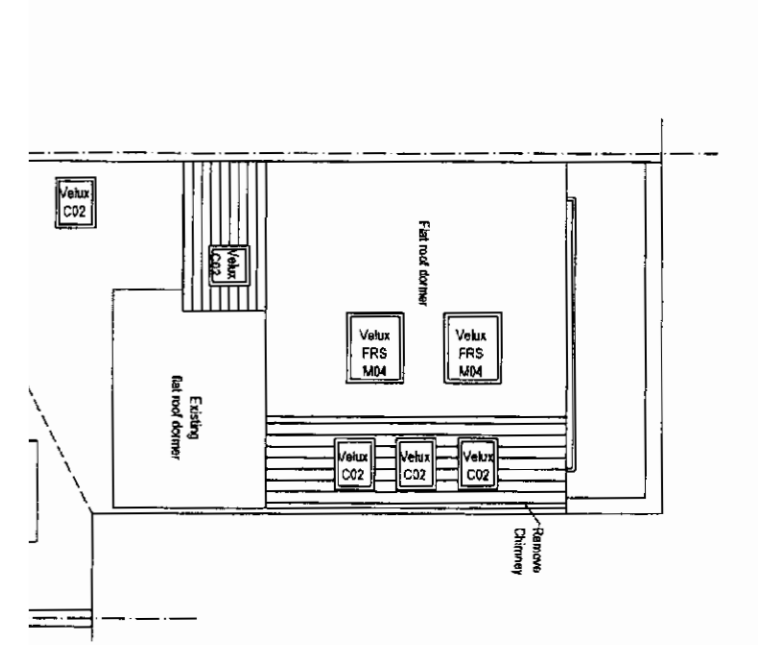
- District council: Southwark
- Planning Application Reference: 11/AP/1957
- Application Permitted: 06.09.2011

Certificate of Lawfulness (proposed) for a loft conversion with a rear addition dormer extension and a single roof light to the front roof slope permitted.

The proposal led to a rear roof extension higher than the top of the rear party wall. We feel our proposal is more discrete and in keeping than what was permitted for this property.



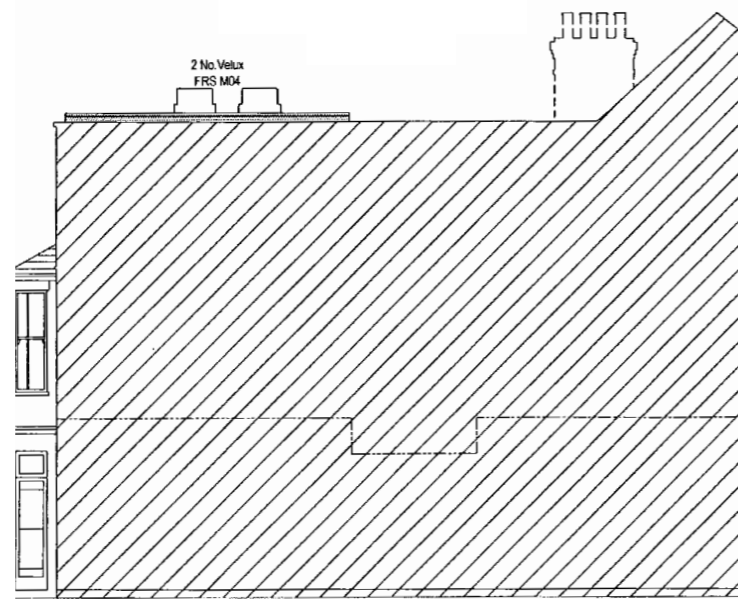
No. 38 Beckwith Road Aerial View



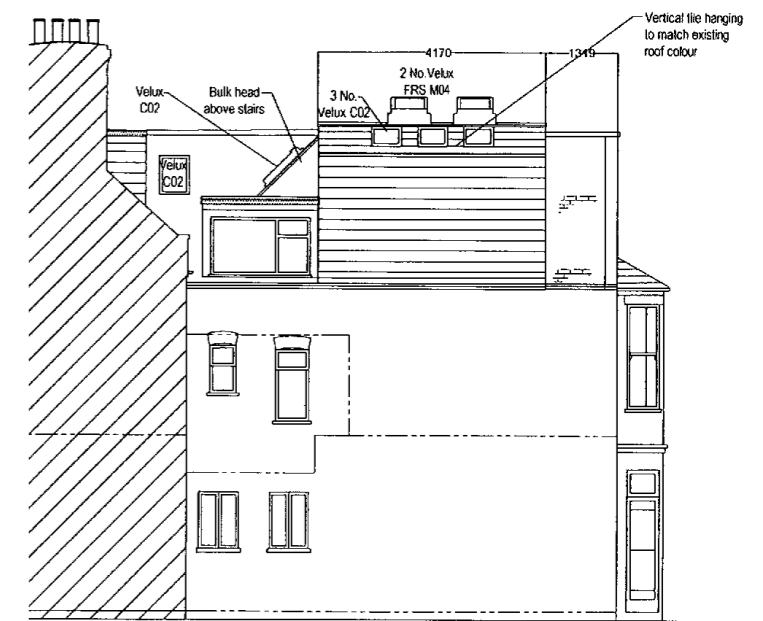
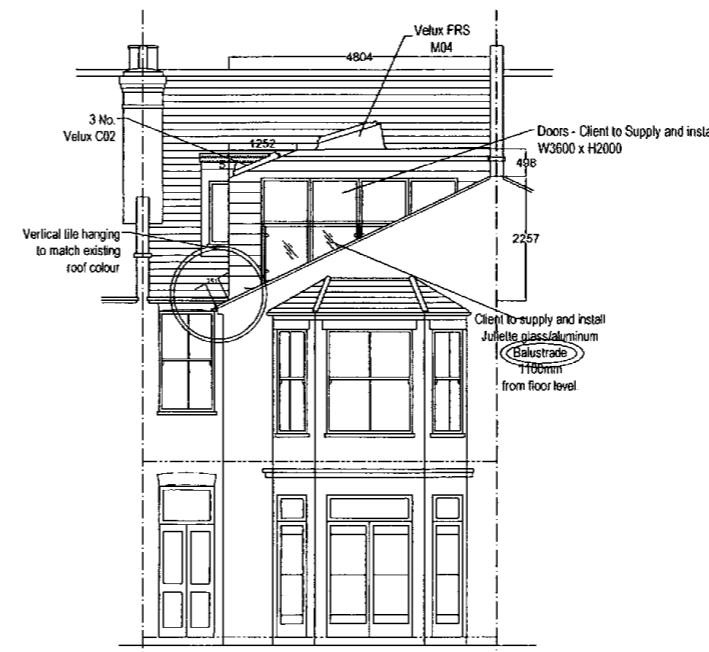
No. 38 Beckwith Road Planning Roof Plan



Extent of No. 38 Beckwith Road's roof extension



No. 38 Beckwith Road Planning Elevations (Not to scale)



4.3 Neighbouring Extension

No. 42 Beckwith Road

- District council: Southwark
- Planning Application Reference: 08/AP/0308
- Application Permitted: 20.03.2008

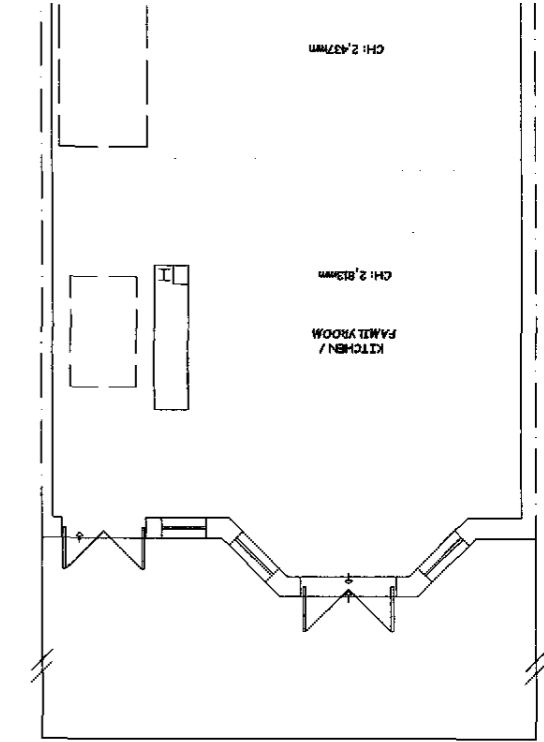
Erection of a single-storey ground floor side extension to the rear wing of dwellinghouse permitted to provide additional residential accommodation.

The side extension fills in the original gap of the side return and lays flush with the end rear wall of the building. It also formed a new segment of party wall shared with No. 40 Beckwith Road. The height of the new party wall is 3.600m and the flat roof is concealed behind its 300mm parapet.

This extension, along with No. 60 Beckwith Road, are the closest and also some of the most relevant in terms of permitted precedent respectively for the side and the dormer extensions.



No. 42 Beckwith Road Aerial View



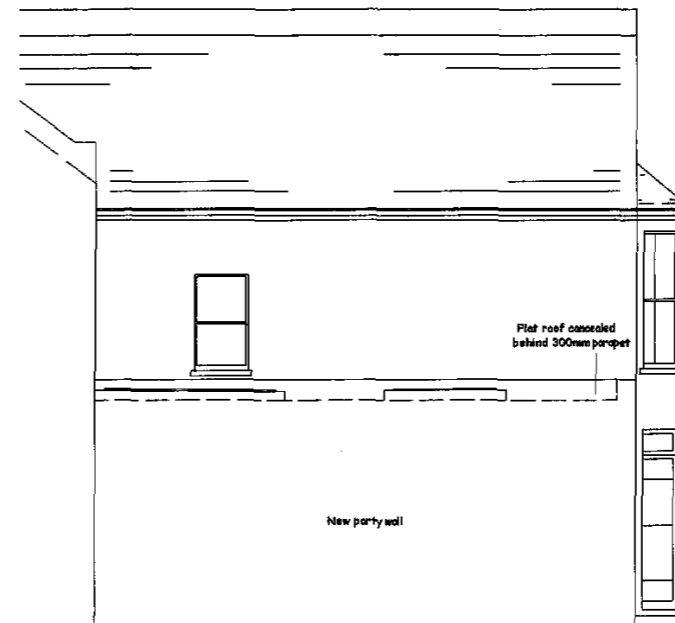
No. 42 Beckwith Road Planning GF Plan



Rear view of No. 42 Beckwith Road



Roof of No. 42 Beckwith Road's side extension



No. 42 Beckwith Road Planning Elevations (Not to scale)



1539

4.4 Permitted Precedents

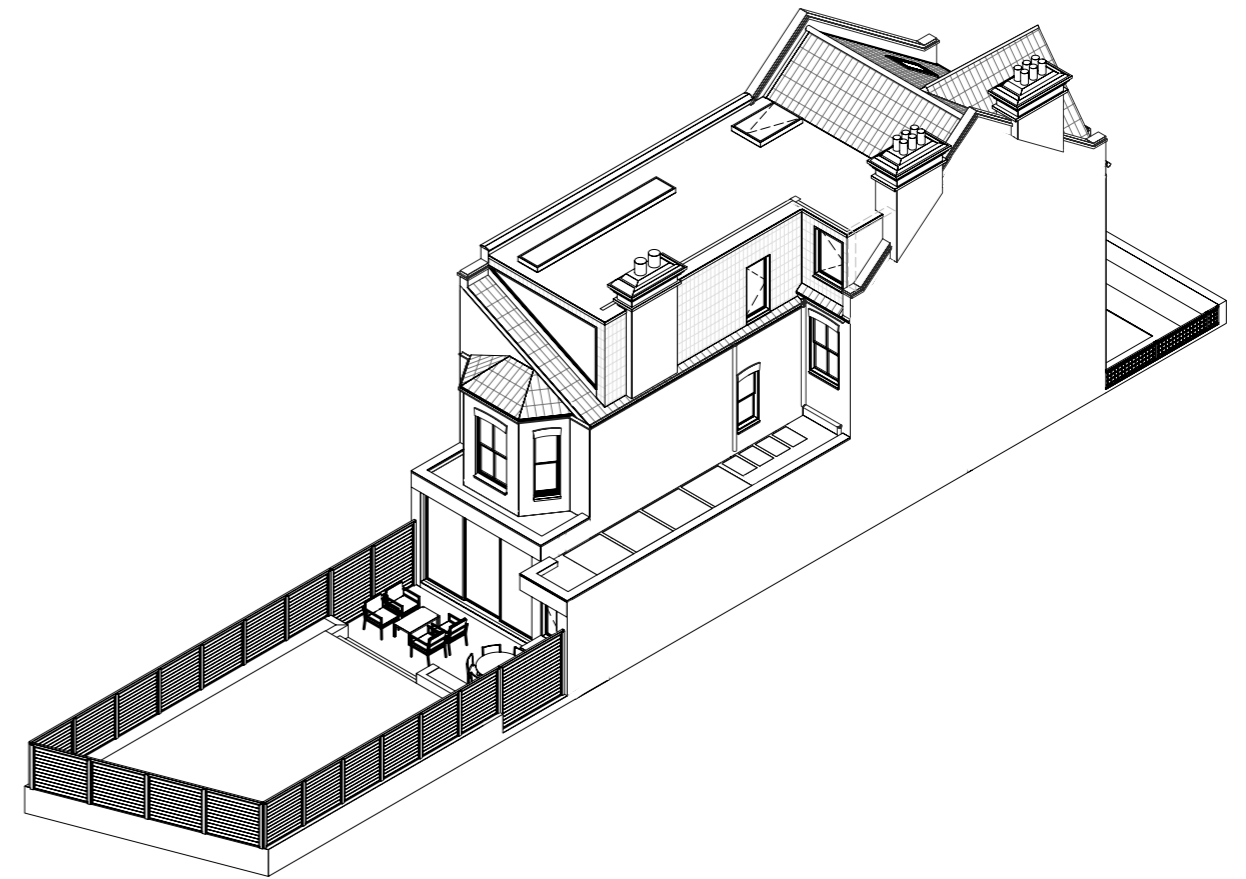
No. 60 Beckwith Road

- District council: Southwark
- Planning Application Reference: 21/AP/0208
- Application Permitted: 21.05.2021

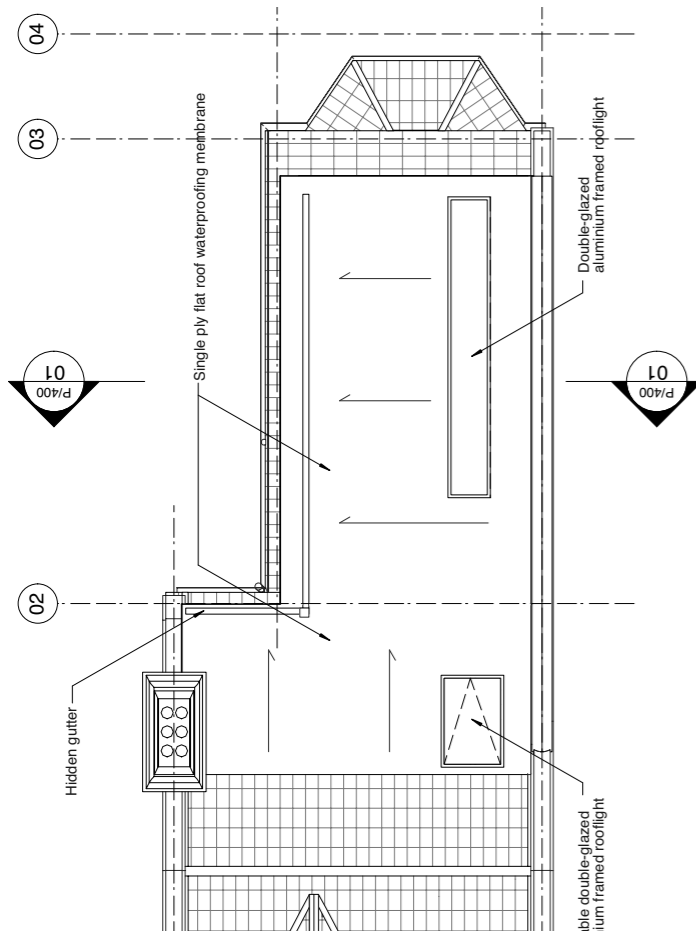
Erection of a single storey, ground floor rear-side extension and a second floor rear dormer extension permitted.

We have previously submitted a Householder Application for No. 60 Beckwith Road and were granted planning permission. The L-shape dormer in that proposal is a longer massing and with almost identical materiality to what we have proposed for this application. The left extension is clad in timber similar to our proposals for 40 Beckwith Road.

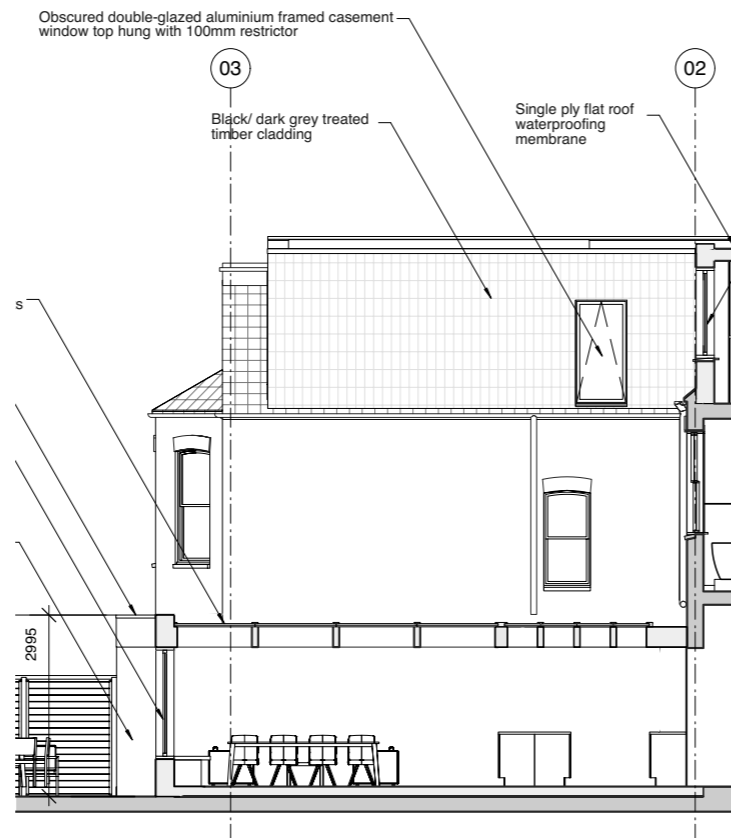
This extension, along with No. 42 Beckwith Road, are the closest and also some of the most relevant in terms of permitted precedent respectively for the side and the dormer extensions.



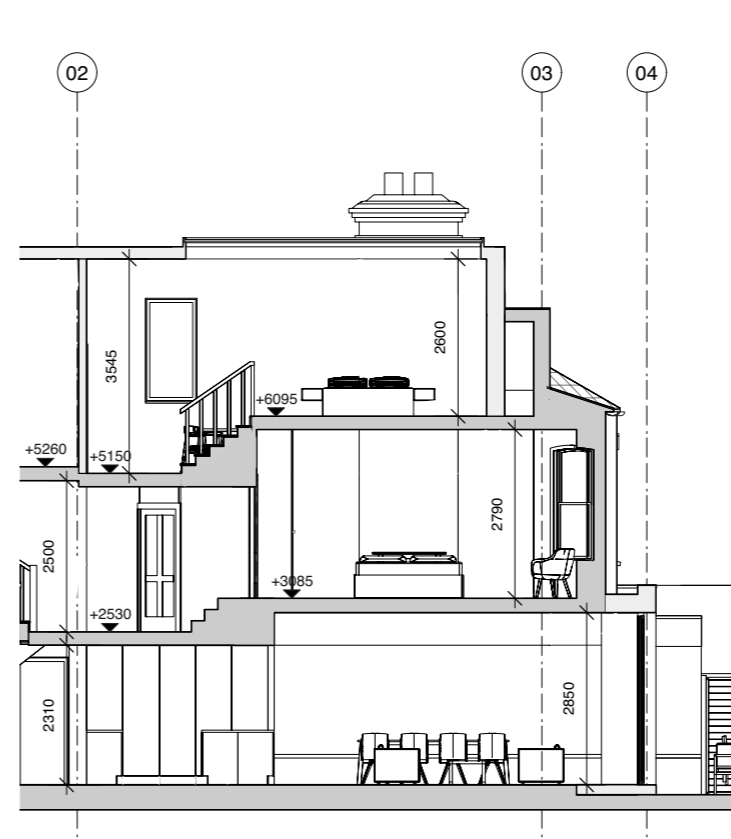
Isometric View of No. 60 Beckwith Road



No. 42 Beckwith Road Planning Roof Plan



No. 42 Beckwith Road Planning Sections & Elevations (Not to scale)



4.3 Permitted Precedents

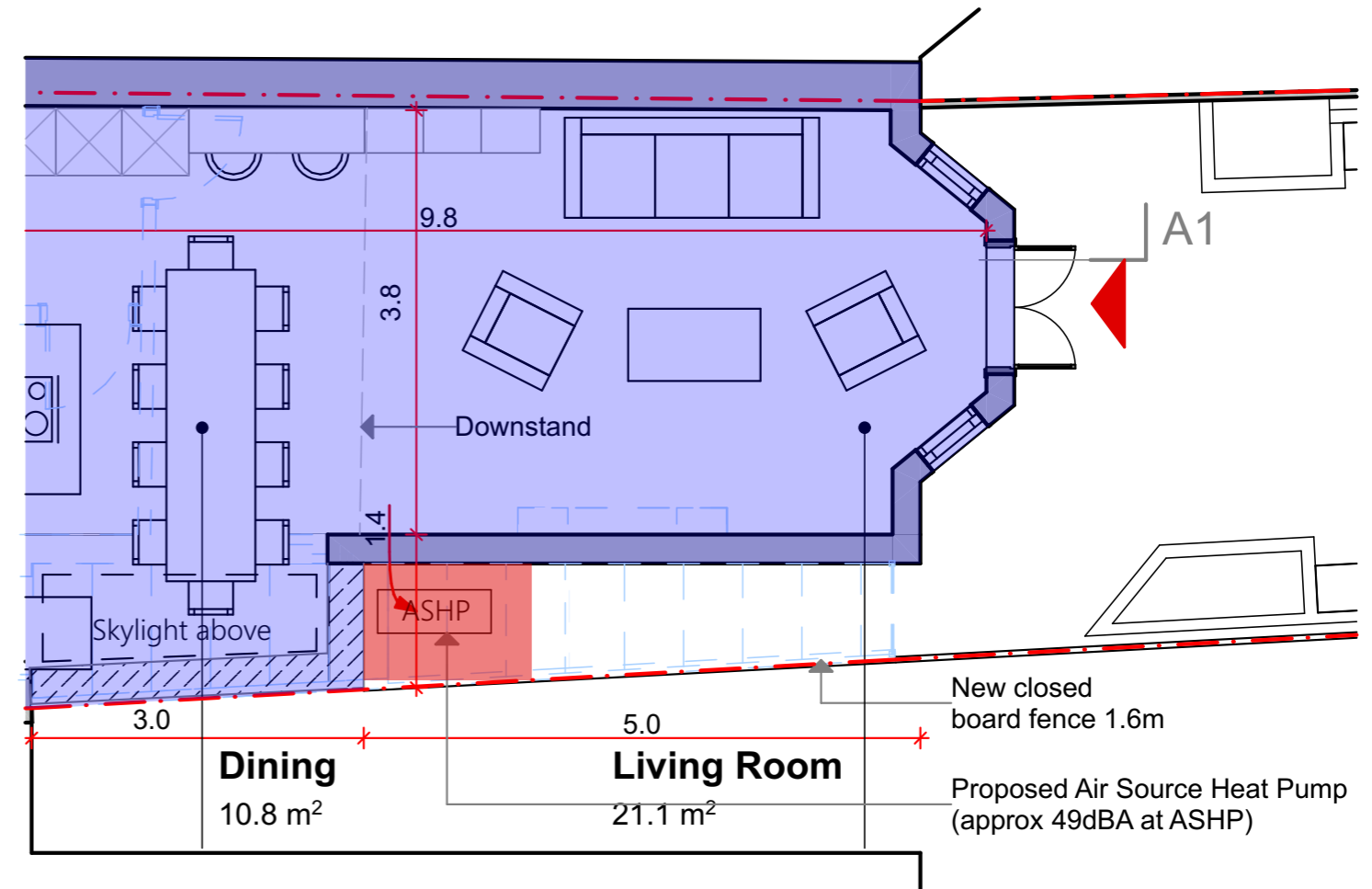
No. 10 Beckwith Road

- District council: Southwark
- Planning Application Reference: 23/AP/1248
- Application Permitted: 26.06.2023

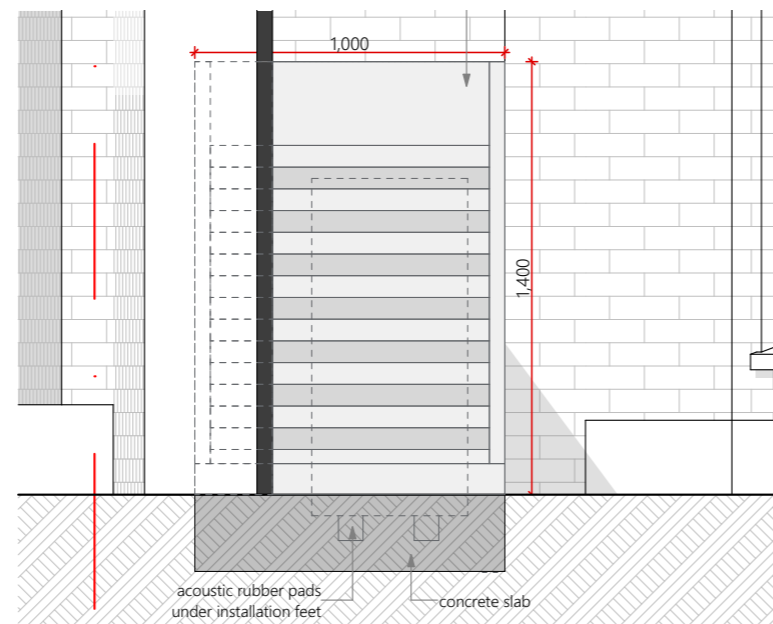
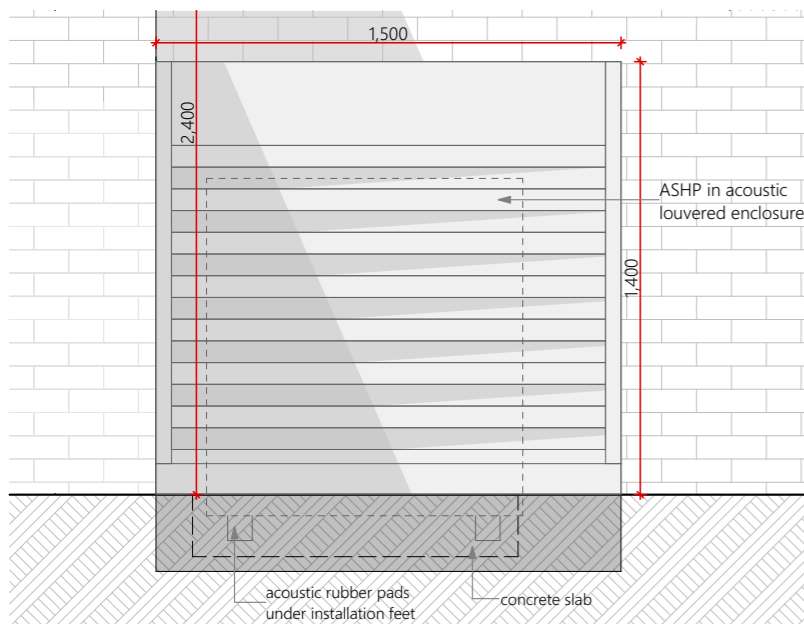
Construction of a ground floor side extension, the extension of the existing basement and the installation of an air source heat pump permitted.

The proposed Air Source Heat Pump is placed at the rear of the side extension within 1m of the closed board fence shared with 8 Beckwith Road. It is also proposed to be fully encased in acoustic louvered enclosure. Approval was granted with noise levels deemed within the acceptable limits and no detrimental visual impact on the neighbour's amenity. The ASHP at 8 Beckwith Road is 8m away from the nearest noise sensitive location (1st floor window at 8 Beckwith Road).

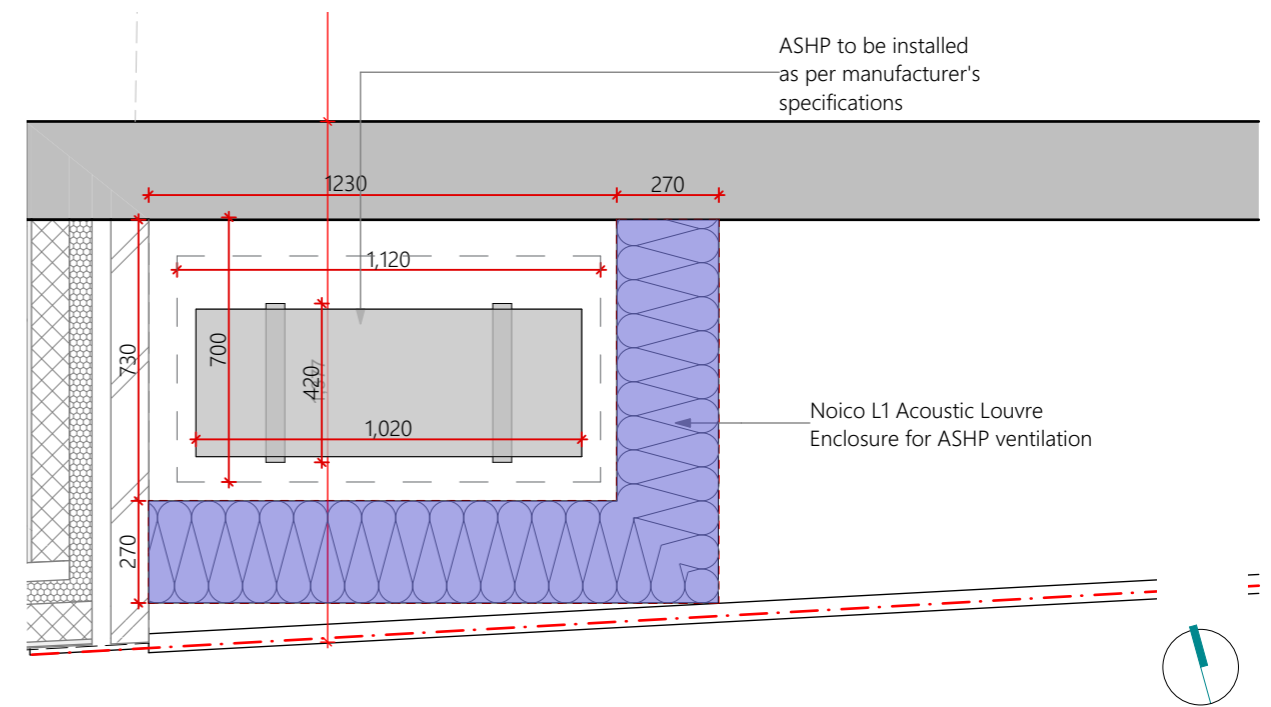
By virtue of being placed fully 15m away from nearest noise sensitive location (rear bay window of 38 Beckwith Road), and behind the garden shed, and with the ASHP having a similar output to that permitted at 10 Beckwith road and being encased in the same type of acoustic louvered enclosure specified at 10 Beckwith Road, we feel our proposal will very clearly meet the criterion for approval set by the permitted precedent (which took full account of the applicable rules) and does not require a noise assessment.”



Air Source Heat Pump Site Plan



Air Source Heat Pump Elevations



Air Source Heat Pump Plan

Document Revisions

Revision	Date	Descriptions	Edited by	Checked by
01.1	03.11.2023	Full Planning	AK	RPR

Project Details

Project Number	Vine 121
Project Name	40 Beckwith Road
Status	Planning
Date	03.11.2023
Client Name	David & Carrie Lowe
File Name	Vine 121 - 40 Beckwith Road - DAS