

**NORTH EAST ELEVATION (FRONT):**  
(Scale - 1:100 @ A.3)



**NORTH WEST ELEVATION (SIDE):**  
(Scale - 1:100 @ A.3)

**Planning Specification:**

**Roof Coverings:**

Concrete interlocking tiles of a type and colour to match those used on the front extension at 50, Marling Crescent, on 25 x 50mm s.w treated roofing battens, on GlideVale VP400 or other similar approved roofing membrane.

**Rooflight:**

Velux or other similar approved double glazed rooflight together with the appropriate roof flashing piece - size 550 x 980mm.

**Eaves:**

Osma or other similar approved 4 1/2" rainwater system to be installed strictly in accordance with the manufacturers instructions. 18mm White PVCu fascia board and 12mm PVCu soffit board.

**External Wall:**

**Outer Leaf:** Two coats of cement sand render finished with two coats of masonry paint to match the colour of the existing rendering to the front elevation of 52, Marling Crescent.

**Cavity:** 100mm wide formed using approved stainless wall ties positioned at 750mm max c/c's horizontally and 450mm max c/c's vertically. The cavity to be fully filled with Dritherm 32 cavity insulation quilt strictly in accordance with the manufacturer's instructions.

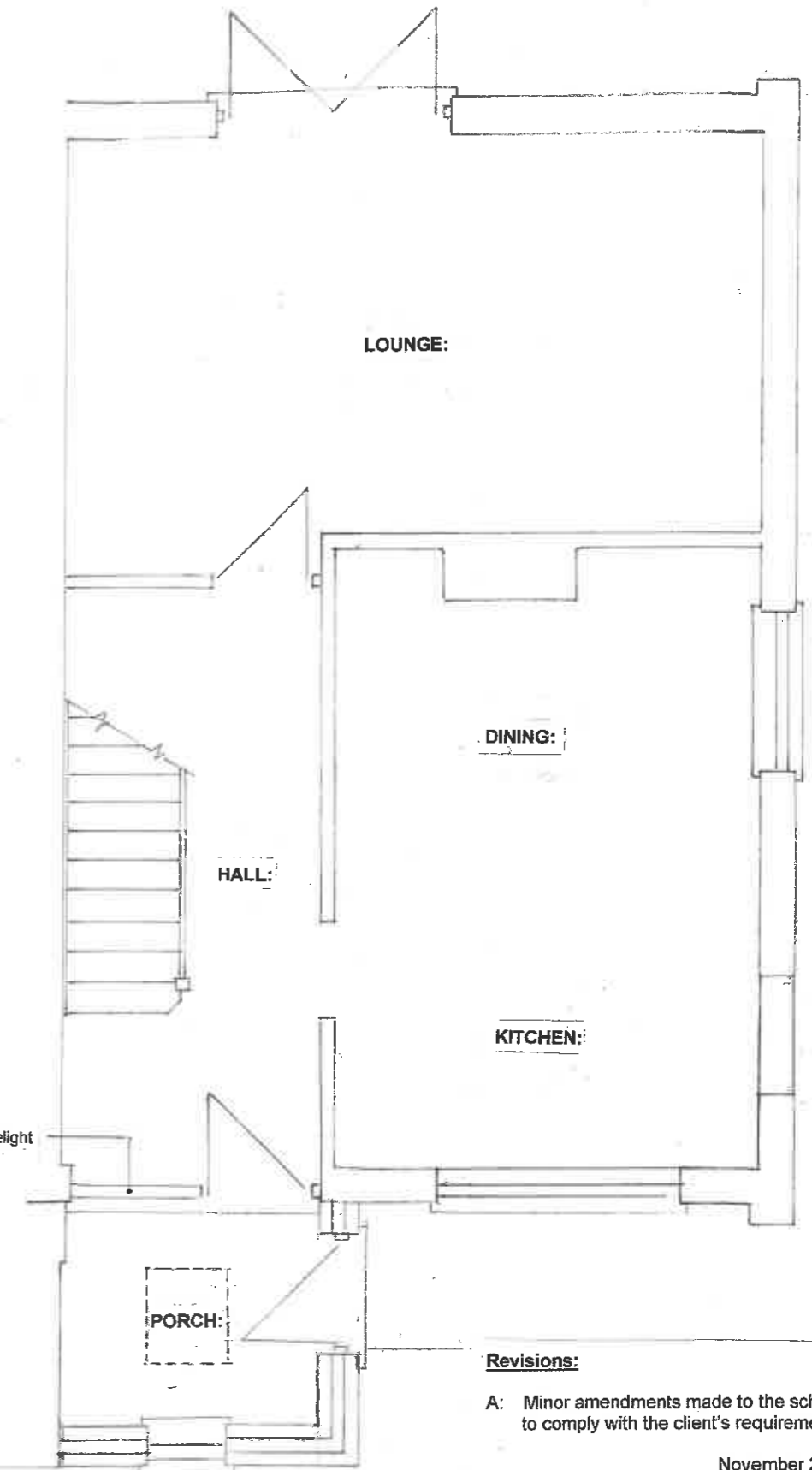
**Inner Leaf:** 100mm Celcon or other similar approved insulation blockwork, covered on the room side with two coats of lightweight plasterwork.

**Window:**

White PVCu double glazed window to be supplied by an approved manufacturer.

**Entrance Door:**

White PVCu double glazed door to be supplied by an approved Manufacturer.



Existing door and sidelight to remain in position.

**Revisions:**

A: Minor amendments made to the scheme to comply with the client's requirements.

November 2023:

**PROPOSED FLOOR PLAN:**  
(Scale - 1:50 @ A.3)

Entrance Porch. Proposed Elevations and Floor Plan.	Mrs. G. Gibbons.	52, Marling Crescent, Paganhill, Stroud, Glos, GL5 4LB	Scale - Metric: As Indicated
			Date: October 2023
			Drawing No: MGG/23/003 A