

TECHNICAL NOTE

Project: HOO FARM, MONKTON ROAD, MINSTER, CT12 4JB
Ref No: 5114-VR-P01
Purpose of Note: SURFACE WATER DRAINAGE VERIFICATION NOTE
Date: 10/11/2023

This technical note is provided to verify that the surface water drainage for the development at Hoo Farm, Monkton Road, Minster, Kent has been constructed in accordance with the drainage design and meets with the strategic aims of that design.

Surface Water Drainage Proposals

The surface water drainage strategy for the development was to utilise Type A permeable pavement and geocellular crate soakaway systems to discharge surface water at source.

The surface water drainage has been designed in accordance with the pollution mitigation indices procedure as per CIRIA C753. The new roof areas are designed to discharge via a Klargester Bypass Separator to SA1 and a downstream Defender to SA2. The new external areas are designed to discharge via permeable paving direct to ground.

Limitations

Considine were unable to visit site on every occasion that a key drainage feature was installed. Therefore, our account has been based on information provided to us by the Client and our informal site walkovers.

Verification of Key Surface Water Drainage Elements

Permeable Pavement

The Client has confirmed that the permeable pavement at the site was constructed as designed, a Type A permeable pavement.



Figure 1 – 4-20mm stone sub-base in the courtyard to the rear of Plots 24 & 25.



Figure 2 – Installation of the base layer in the courtyard to the rear of Plots 24 & 25.



Figure 3 – Installation of the bedding layer and permeable blockwork in the courtyard to the rear of Plots 24 & 25.

The previous figures identify examples of where the lined pavement / pipework is being installed and the associated permeable pavement materials.

In addition, example copies of material delivery notes have been appended to this technical note.

Geocellular Infiltration Structure

The Client has confirmed that the infiltration structures have been installed as per the proposed designs.



Figure 4 – Installation of attenuation crates (SA1)



Figure 5 – Installation of attenuation crates (SA2)

Pollution Treatment Devices

The Client has confirmed that pollution treatment devices have been installed on site as per the proposed design.

Variations of Key Surface Water Drainage Elements

The Client has confirmed that there have been no variations to the design as per the updated Drainage Strategy Appraisal dated 28/06/2023. This update amended the discharge of surface water at source where additional infiltration testing proved infiltration to be viable.

Commissioning Requirements

The Client should ensure that all pre-treatment features such as catchpits or sumps are cleared with all debris removed, prior to any commissioning or handover.

Ongoing Maintenance

The Client should ensure that either there is an appropriate management company or that every property owner is aware of the ongoing maintenance requirements of the system, which includes but is not exclusive to the following:

1. Regular maintenance of pre-treatment features such as catchpits or sumps.
2. Regular maintenance of the permeable pavement.
3. Regular maintenance of outfalls.

Summary

The surface water drainage network has been constructed as designed, and as such the system should operate and be maintained as designed.

Prepared By: Mike Frazer MEng (Hons) GMICE

Checked By: Jack Moss MEng (Hons) CEng MICE MCIWEM

Approved By: Jack Moss MEng (Hons) CEng MICE MCIWEM

APPENDIX 1 – DRAINAGE ASSET RECORD SHEET

IDENTIFICATION	Type of Structure or Feature	Geocellular Infiltration Structure	
	Location Name	Adjacent to Plots 1 & 2	
	Drawing Identifier	Soakaway Crates SA1	
MANAGEMENT / OWNERSHIP	Owner's Name / Company	Peter Smith	
	Address of Owner	PJJS Management Services Ltd Nirvana Broomfield Road Kingswood Maidstone Kent ME17 3NZ	
	Owners Contact Number	Mobile; 07855 746966 Landline; 01622 861533 Email; estates@pjjs.co.uk	
	Maintained By	PJJS Management Services Ltd	
	Adoption proposed	YES	NO
	Name of Adopting Authority	N/A	
	Estimated Date of Adoption	N/A	
ASSET DETAILS	National Grid Reference (NGR)	E:629734.546, N:164923.067	
	Cover Level	14.910 – 15.120	
	Invert Level	(Tank Base) 12.050	
	Max Volume	102.4m ³ (Gross), 97.3m ³ (Effective)	
	Height	0.8m (Effective)	
	Diameter/Width	8m	
	Length	16m	
	Depth	2.06m (Depth of cover)	
	Designed Flow Rate	N/A	
	Any Additional Uses	Infiltration and Attenuation	

IDENTIFICATION	Type of Structure or Feature	Geocellular Infiltration Structure	
	Location Name	Adjacent to Plot 17	
	Drawing Identifier	Soakaway Crates SA2	
MANAGEMENT / OWNERSHIP	Owner's Name / Company	Peter Smith	
	Address of Owner	PJJS Management Services Ltd Nirvana Broomfield Road Kingswood Maidstone Kent ME17 3NZ	
	Owners Contact Number	Mobile; 07855 746966 Landline; 01622 861533 Email; estates@pjjs.co.uk	
	Maintained By	PJJS Management Services Ltd	
	Adoption proposed	YES	NO
	Name of Adopting Authority	N/A	
	Estimated Date of Adoption	N/A	
	ASSET DETAILS	National Grid Reference (NGR)	E:629785.230, N:164902.660
Cover Level		15.130 – 15.290	
Invert Level		(Tank Base) 11.225	
Max Volume		19.2m ³ (Gross), 18.2m ³ (Effective)	
Height		1.6m (Effective)	
Diameter/Width		2m	
Length		6m	
Depth		2.30m (Depth of cover)	
Designed Flow Rate		N/A	
Any Additional Uses		Infiltration and Attenuation	

IDENTIFICATION	Type of Structure or Feature	Klargester NSBE010 – Petrol Interceptor	
	Location Name	Adjacent Plot 16	
	Drawing Identifier	SWT-21C	
MANAGEMENT / OWNERSHIP	Owner's Name / Company	Peter Smith	
	Address of Owner	PJJS Management Services Ltd Nirvana Broomfield Road Kingswood Maidstone Kent ME17 3NZ	
	Owners Contact Number	Mobile; 07855 746966 Landline; 01622 861533 Email; estates@pjjs.co.uk	
	Maintained By	PJJS Management Services Ltd	
	Adoption proposed	YES	NO
	Name of Adopting Authority	N/A	
	Estimated Date of Adoption	N/A	
	ASSET DETAILS	National Grid Reference (NGR)	E:629724.857, N:164919.671
Cover Level		14.600	
Invert Level		Inlet: 12.750, Outlet: 12.650	
Max Volume		Silt – 1m ³ , Oil – 0.15m ³	
Height			
Diameter/Width		1.220m Diameter	
Length		2.072m	
Depth		3.3m from ground level to base of unit	
Designed Flow Rate		10 l/s	
Any Additional Uses		Treatment for TSS, Metals and Hydro-Carbons	

IDENTIFICATION	Type of Structure or Feature	Hydro-International Downstream Defender (DDC-10-620-C-225)	
	Location Name	Adjacent Plot 17	
	Drawing Identifier	SWT-S36	
MANAGEMENT / OWNERSHIP	Owner's Name / Company	Peter Smith	
	Address of Owner	PJJS Management Services Ltd Nirvana Broomfield Road Kingswood Maidstone Kent ME17 3NZ	
	Owners Contact Number	Mobile; 07855 746966 Landline; 01622 861533 Email; estates@pjjs.co.uk	
	Maintained By	PJJS Management Services Ltd	
	Adoption proposed	YES	NO
	Name of Adopting Authority	N/A	
	Estimated Date of Adoption	N/A	
	ASSET DETAILS	National Grid Reference (NGR)	E:629784.945, N:164898.580
Cover Level		15.130	
Invert Level		Inlet: 12.600, Outlet: 12.600	
Max Volume		Silt – 0.31m ³ , Oil – 0.256m ³	
Height			
Diameter/Width		1.0m Diameter	
Length		2.39m	
Depth		4.22m from ground level to base of unit	
Designed Flow Rate		21 l/s	
Any Additional Uses		Treatment for TSS, Metals and Hydro-Carbons	

APPENDIX 2 – AS-BUILT SURFACE WATER DRAINAGE LAYOUTS

CDM 2015 RESIDUAL RISKS

- It is assumed that a competent Principal Contractor with the relevant skills, knowledge and experience of construction of this type of work and location will be appointed, and will be aware of the typical hazards. Refer to broader non-typical risks on Considine Construction Notes, Drawing No. 5114-CON-00-XX-DR-C-1400.
- Overhead utilities on site
- Working farm - Live traffic movements

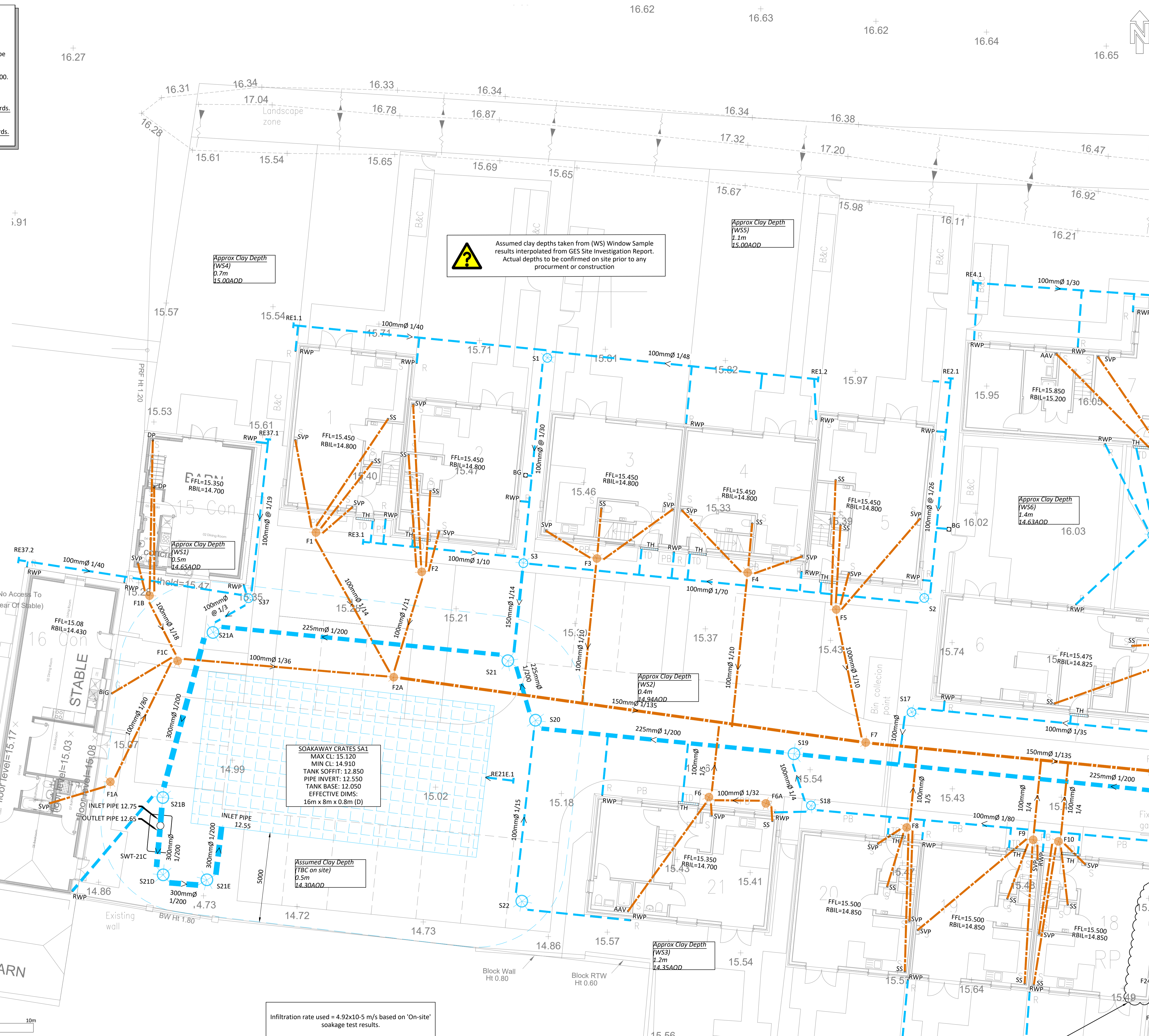
The above residual risks are for non-standard hazards. It is assumed that a competent contractor familiar with the construction of this type of work will be appointed who will be aware of the standard hazards.

KEY

- Proposed Private Surface Water Pipe Ø and gradient as stated
- Proposed Private Foul Water Pipe Ø and gradient as stated
- Existing Public Combined Water Pipe Ø and gradient as stated
- Proposed Private Surface Water PPIC size as stated in MH schedule
- Proposed Private Foul Water PPIC size as stated in MH schedule
- Rodding Eye
- Proposed ACO Channel Drain
- Proposed Threshold Drain
- Proposed Non Return Valve Refer to Details for Specification
- Proposed Catchpit
- Proposed Rainwater Pipe
- Proposed Stub Stack
- Proposed Soil Vent Pipe
- Proposed Hydro-Brake
- Proposed Road Gully
- Proposed Air Admittance Valve
- Proposed Rest Bend Invert Level
- Proposed Drain Point, details to be confirmed by Architect prior to construction.
- Proposed Geo-Cellular Soakaway Refer to details for specification
- Further Significant Information Required



SCALE 1:100



Warning: Assumed clay depths taken from (WS) Window Sample results interpolated from GES Site Investigation Report. Actual depths to be confirmed on site prior to any procurement or construction.

Approx Clay Depth (WS4)
0.7m
15.00AOD

Approx Clay Depth (WS5)
1.1m
15.00AOD

Approx Clay Depth (WS1)
0.5m
14.65AOD

Approx Clay Depth (WS2)
0.4m
14.94AOD

Approx Clay Depth (WS6)
1.4m
14.63AOD

SOAKAWAY CRATES SA1
MAX CL: 15.120
MIN CL: 14.910
TANK SOFFIT: 12.850
PIPE INVERT: 12.550
TANK BASE: 12.050
EFFECTIVE DIMS:
16m x 8m x 0.8m (D)

Assumed Clay Depth (TBC on site)
0.5m
14.30AOD

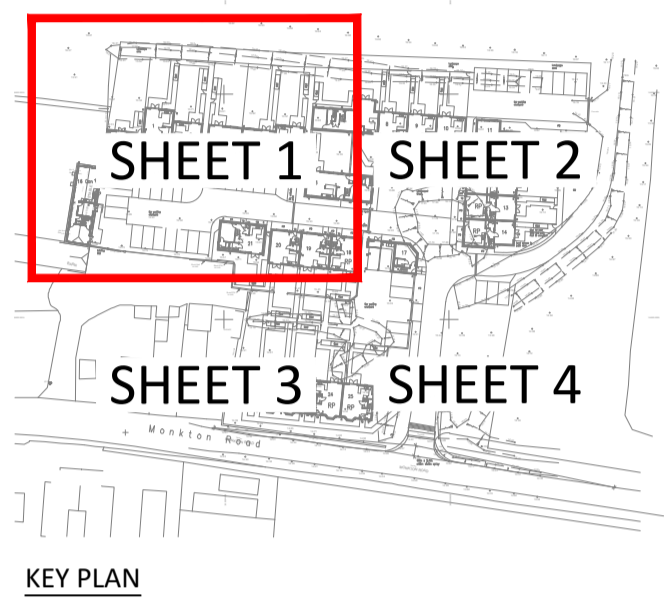
Approx Clay Depth (WS3)
1.2m
14.35AOD

Infiltration rate used = 4.92x10⁻⁵ m/s based on 'On-site' soakage test results.

DO NOT SCALE THIS DRAWING. ALL SETTING OUT TO ARCHITECT'S DETAILS AND DRAWINGS

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWING ISSUES AND THE SPECIFICATION.

- Notes:**
- All building materials, components and workmanship to comply with the appropriate public health acts, building regulations, british standards and codes of practice and the appropriate manufacturer's recommendations.
 - For all specialist work see relevant drawings.
 - Any discrepancies, errors or omissions to be reported to the project co-ordinator for further instructions before commencement of works.
 - The Engineer is not responsible for dimensions, except where shown on his drawings. All setting out information, dimensions, etc, shall be calculated from the Architect's drawings.



AS-BUILT RECORDS BASED ON INFORMATION PROVIDED BY CLIENT.

Rev	Amendment	SI	MIF	EM	Date
AB1	As-Built Record				10.11.23
CO4	Revision to suit remainder of drawings.				25.08.23
CO3	Surface water drainage revised to infiltrate.				22.06.23
CO2	Plot 18 FFL updated at client request. Drainage revised to suit. Aco drains removed at patio areas. Storage Tank size revised.				17.03.23
CO1	Plots 15 & 16 added. Topo updated. Drainage revised to suit. Issued for construction.				27.02.23
PO1	Preliminary Issue.				23.11.22
Rev		SI	MIF	EM	Date

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Client:
RODDY NEW HOMES CONSTRUCTION LTD

Project:
HOO FARM MONKTON ROAD, MINSTER CT12 4JB

Drawing Title:
DRAINAGE LAYOUT SHEET 1 OF 4

considine ref	drawn by	date	drawing scales	original paper size
5114	AM	OCT 22	1:100@A1, 1:200@A3	A1

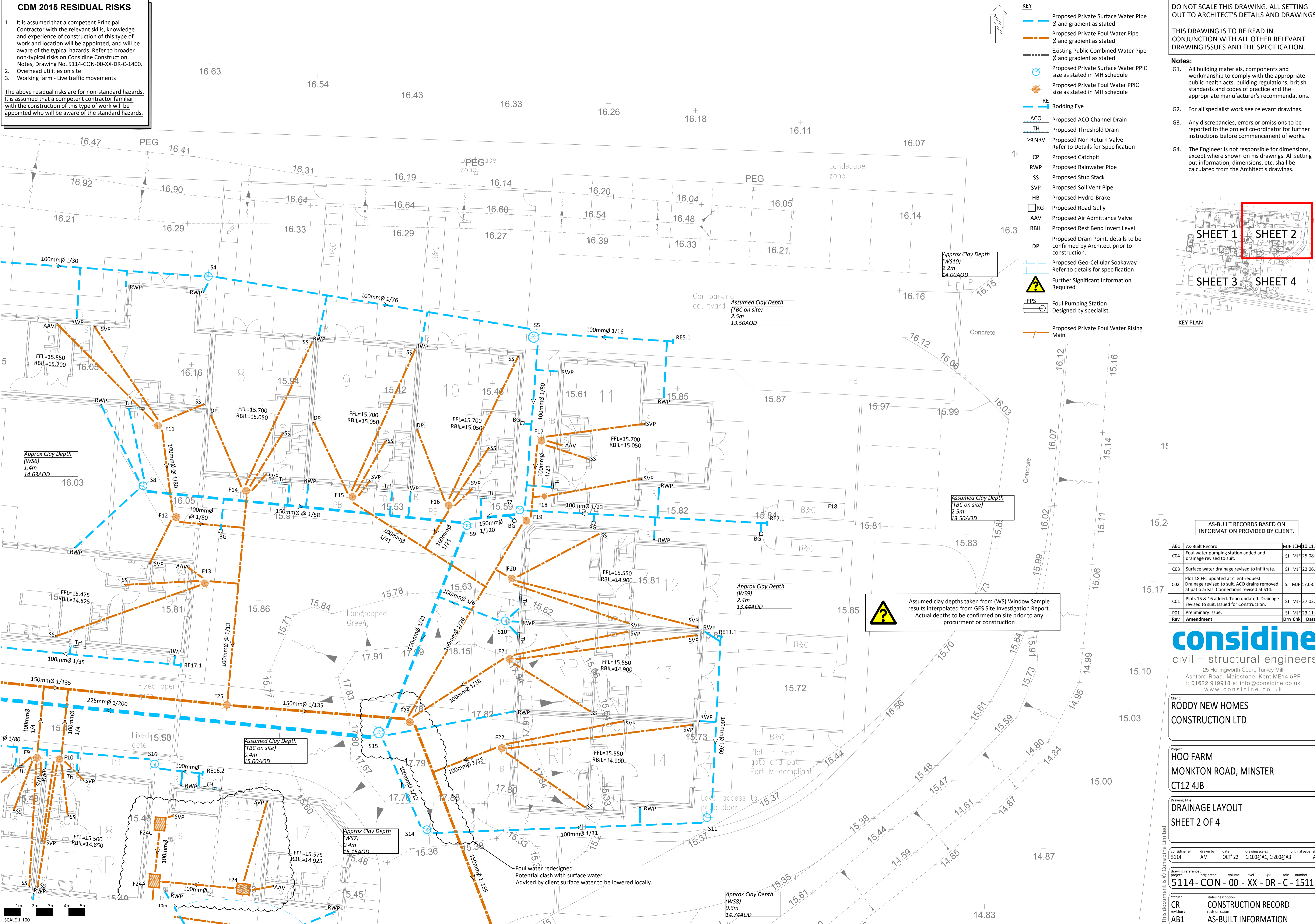
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5114-CON-00-XX-DR-C-1510						

status	status description
CR	CONSTRUCTION RECORD
AB1	AS-BUILT INFORMATION

CDM 2015 RESIDUAL RISKS

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- Overhead utilities on site
- Working farm - Live traffic movements

The above residual risks are for non-standard hazards. It is assumed that a competent contractor familiar with the construction of this type of work will be appointed who will be aware of the standard hazards.

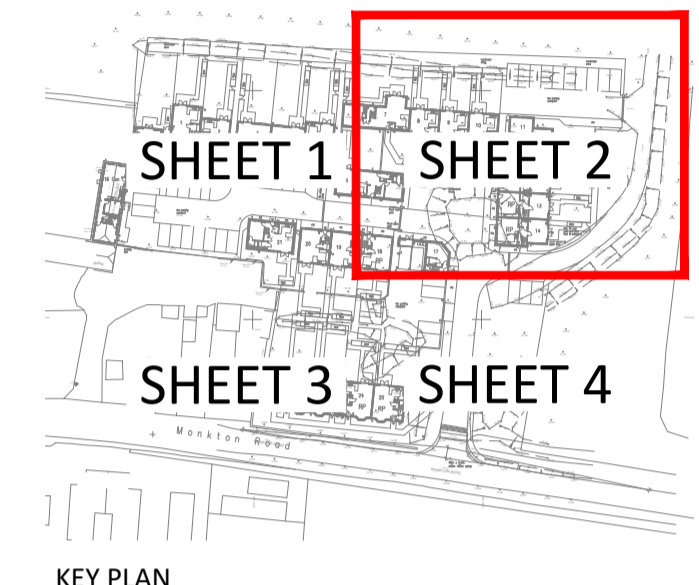


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 - Proposed Private Surface Water PPIC size as stated in MH schedule
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 - Proposed Non Return Valve Refer to Details for Specification
 - Proposed Catchpit
 - Proposed Rainwater Pipe
 - Proposed Stub Stack
 - Proposed Soil Vent Pipe
 - Proposed Hydro-Brake
 - Proposed Road Gully
 - Proposed Air Admittance Valve
 - Proposed Rest Bend Invert Level
 - Proposed Drain Point, details to be confirmed by Architect prior to construction.
 - Proposed Geo-Cellular Soakaway Refer to details for specification
 - Further Significant Information Required
 - FPS Foul Pumping Station Designed by specialist.
 - Proposed Private Foul Water Rising Main

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AS-BUILT RECORDS BASED ON INFORMATION PROVIDED BY CLIENT.

AB1	As-Built Record	MJF/JEM	10.11.23
C04	Foul water pumping station added and drainage revised to suit.	SJ	MJF 25.08.23
C03	Surface water drainage revised to infiltrate.	SJ	MJF 22.06.23
C02	Plot 18 FFL updated at client request. Drainage revised to suit. ACO drains removed at patio areas. Connections revised at S14.	SJ	MJF 17.03.23
C01	Plots 15 & 16 added. Topo updated. Drainage revised to suit. Issued for construction.	SJ	MJF 27.02.23
PO1	Preliminary Issue.	SJ	MJF 23.11.22
Rev	Amendment	Drn	Chk Date

Warning: Assumed clay depths taken from (WS) Window Sample results interpolated from GES Site Investigation Report. Actual depths to be confirmed on site prior to any procurement or construction

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Client:
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Project:
HOO FARM MONKTON ROAD, MINSTER CT12 4JB

Drawing Title:
DRAINAGE LAYOUT SHEET 2 OF 4

considine ref	drawn by	date	drawing scales	original paper size
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drawing reference:	originator	volume	level	type	role	number
5114-CON-00-XX-DR-C-1511						

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status: **CONSTRUCTION RECORD**
revision: **AS-BUILT INFORMATION**

SCALE 1-100

CDM 2015 RESIDUAL RISKS

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- Proposed Rest Bend Invert Level
- Proposed Drain Point, details to be confirmed by Architect prior to construction.
- Proposed Geo-Cellular Soakaway Refer to details for specification
- Further Significant Information Required
- Foul Pumping Station Designed by specialist.
- Proposed Private Foul Water Rising Main



Infiltration rate used = 4.92x10⁻⁵ m/s based on 'On-site' soakage test results.

Assumed clay depths taken from (WS) Window Sample results interpolated from GES Site Investigation Report. Actual depths to be confirmed on site prior to any procurement or construction

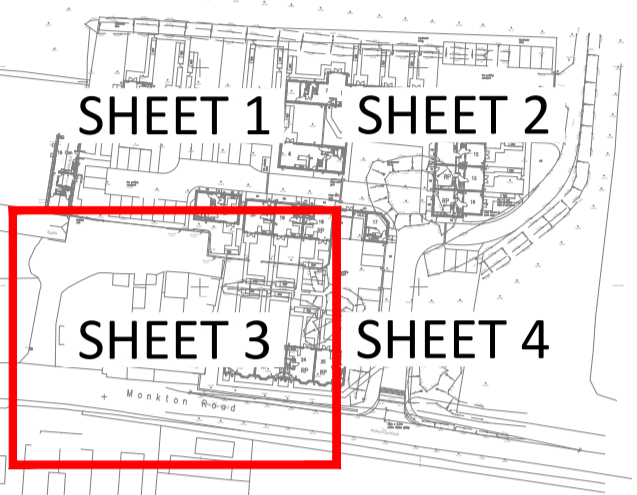
Existing Southern water sewer. MH Position, Invert level and pipe diameter TBC

Private foul sewer in the highway, S50 license required.

DO NOT SCALE THIS DRAWING. ALL SETTING OUT TO ARCHITECT'S DETAILS AND DRAWINGS

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KEY PLAN

AS-BUILT RECORDS BASED ON INFORMATION PROVIDED BY CLIENT.

Rev	Amendment	Drn	Chk	Date
F	AB1 As-Built Record	MJF	JEM	10.11.23
RB	C04 Foul water pumping station added and drainage revised to suit.	SJ	MJF	25.08.23
	C03 Surface water drainage revised to infiltrate.	SJ	MJF	22.06.23
	C02 ACO drains removed at patio areas.	SJ	MJF	17.03.23
	C01 Plots 15 & 16 added. Topo updated. Drainage revised to suit. Issued for Construction.	SJ	MJF	27.02.23
	PO1 Preliminary Issue.	SJ	MJF	23.11.22

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Client: **RODDY NEW HOMES CONSTRUCTION LTD**

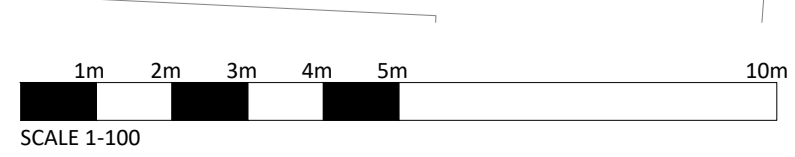
Project: **HOO FARM MONKTON ROAD, MINSTER CT12 4JB**

Drawing Title: **DRAINAGE LAYOUT SHEET 3 OF 4**

considine ref	drawn by	date	drawing scales	original paper size
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drawing reference	originator	volume	level	type	role	number
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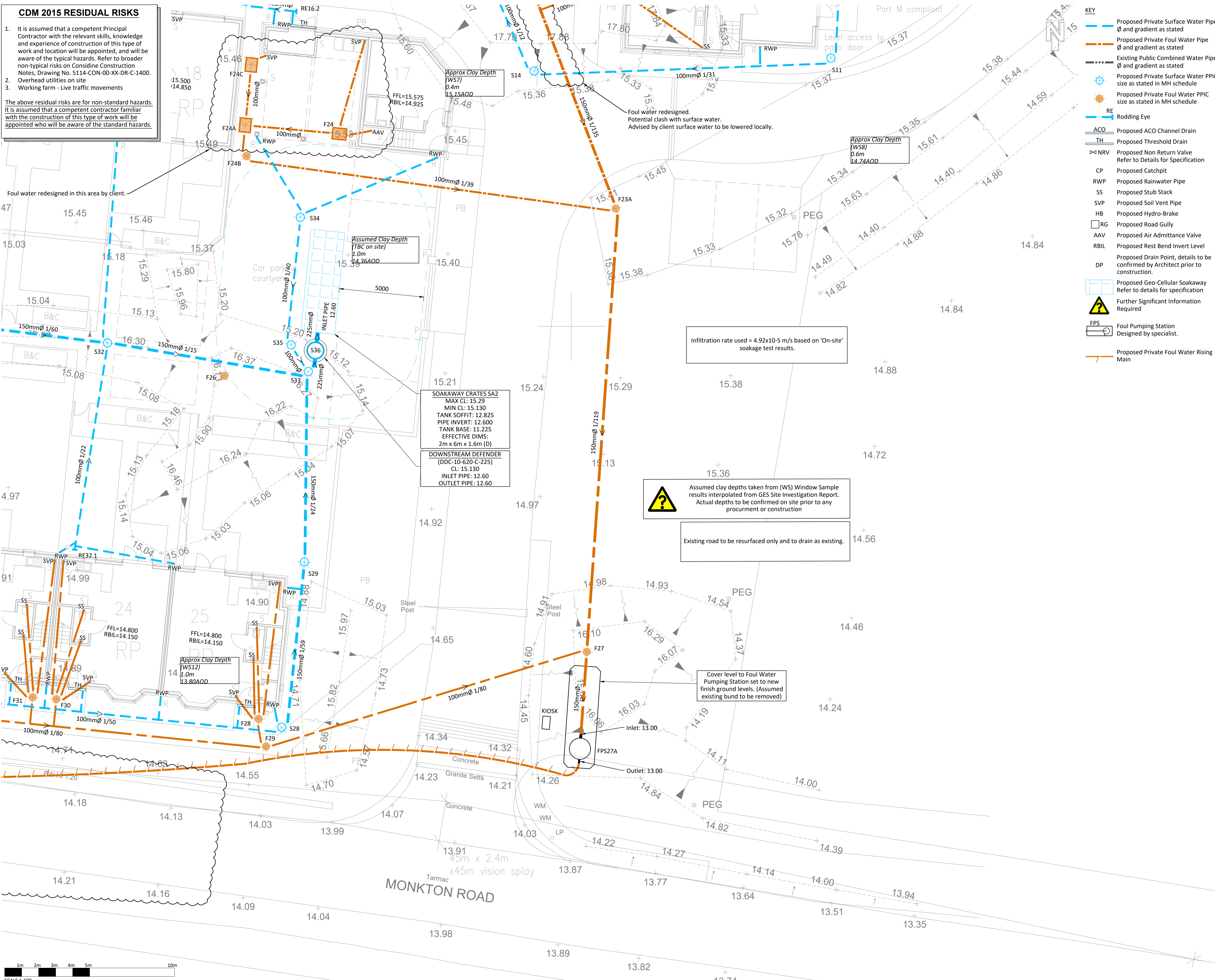
status	construction record
CR	CONSTRUCTION RECORD
revision	revision status
AB1	AS-BUILT INFORMATION



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- Working farm - Live traffic movements

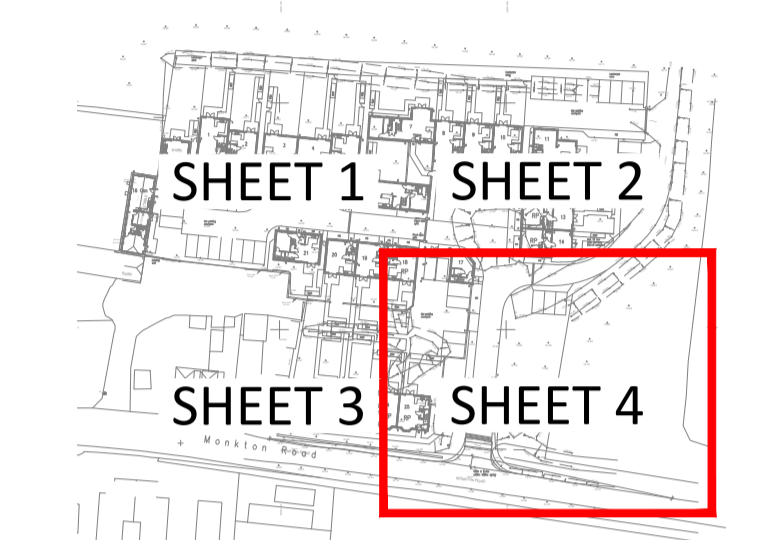
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 - Proposed Air Admittance Valve
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 - Proposed Drain Point, details to be confirmed by Architect prior to construction.
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 - Further Significant Information Required
 - FPS Foul Pumping Station Designed by specialist.
 - Proposed Private Foul Water Rising Main

? Assumed clay depths taken from (WS) Window Sample results interpolated from GES Site Investigation Report. Actual depths to be confirmed on site prior to any procurement or construction

Existing road to be resurfaced only and to drain as existing.

Cover level to Foul Water Pumping Station set to new finish ground levels. (Assumed existing bund to be removed)

AS-BUILT RECORDS BASED ON INFORMATION PROVIDED BY CLIENT.

Rev	Amendment	Drn	Chk	Date
AB1	As-Built Record			MJF/JEM/10.11.23
C04	Foul water pumping station added and foul drainage revised to suit.			SJ MJF/25.08.23
C03	Surface water drainage revised to infiltrate.			SJ MJF/22.06.23
C02	Filter drains removed in road. ACO drains at patios removed. Connections revised at S14.			SJ MJF/17.03.23
C01	Plots 15 & 16 added. Topo updated. Drainage revised to suit. Issued for construction.			SJ MJF/27.02.23
P01	Preliminary Issue.			SJ MJF/22.11.22

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Client:
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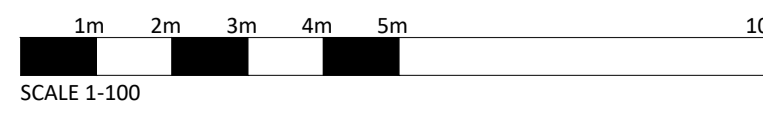
Project:
**HOO FARM
MONKTON ROAD, MINSTER
CT12 4JB**

Drawing Title:
**DRAINAGE LAYOUT
SHEET 4 OF 4**

considine ref	drawn by	date	drawing scales	original paper size
5114	AM	OCT 22	1:100@A1, 1:200@A3	A1

drawing reference	originator	volume	level	type	role	number
5114-CON-00-XX-DR-C-1513						

status	status description
CR	CONSTRUCTION RECORD
AB1	AS-BUILT INFORMATION



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APPENDIX 3 – Permeable Block Delivery Notes

ACHE
973854



AG
60 Creagh Road
Toome
Co. Antrim, BT41 3SE
www.ag.uk.com

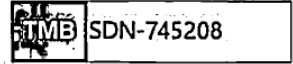
Office:
T: +44 (0)28 7965 0631
F: +44 (0)28 7965 1070

Despatch:
T: +44 (0)28 7965 1061
T: +44 (0)28 7965 1062
F: +44 (0)28 7965 0751
E: despatch-toome@ag.uk.com

1 of 1

Delivery Note

Ticket Number:



VAT Reg No: GB 314 3908 17

VAT Reg No: IE 47397730

Invoice/Deliver to: Travis Perkins/Keyline Trading Co LTD Chartwell Drive Wigston Leicestershire LE18 2FL	Delivery Instructions: TEL: Deliveries Between 06.30 & 14.30. All Vehicles Waiting Outside The Yard Must Be Silent. No Idling and No Unstrapping Until You Enter The Yard. Book In with Stephen Hughes 07501369288
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Delivery Date 04/10/2023	Lorry MT	Customer account PERK315	Sales order number SOR-649322	Purchase order 032056672
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Qty	Sales unit	Stock code	Description	Stk Qty	Stk unit
153.600	M2	PP8-SLA-X	XFlo Rectangular Permeable 200x100x80mm Slate	16.00	Bale



Received in good condition?
Signed: *Steve Cope*
Print Name: Steve Cope

The above goods are sold subject to our standard terms and conditions, and shall remain the property of Acheson & Glover Ltd until paid for in full.
Damages must be reported to the above address within two working days.

Acheson & Glover Limited | Registered in Northern Ireland No: NI004475 | Registered Office: 127 Crievehill Road, Fivemiletown, Co. Tyrone BT75 0SY.

ACHE
973851



AG
60 Creagh Road
Toome
Co. Antrim, BT41 3SE
www.ag.uk.com

Office:
T: +44 (0)28 7965 0631
F: +44 (0)28 7965 1070

Despatch:
T: +44 (0)28 7965 1061
T: +44 (0)28 7965 1062
F: +44 (0)28 7965 0751
E: despatch-toome@ag.uk.com

Ticket Number:

TMB

SDN-744998

1 of 1

Delivery Note

VAT Reg No: GB 314 3903 17

VAT Reg No: IE 47397730

Delivered
CT 12 450
Brennan

Invoice/Deliver to:
Travis Perkins/Keyline Trading Co LTD
Charwell Drive
Wigston
Leicestershire
LE18 2FL

Delivery Instructions:
TEL:
Deliveries Between 09.30 &
14.30. All Vehicles Waiting
Outside The Yard Must Be Silent.
No Idling and No Unstrapping
Until You Enter The Yard. Book
In with Stephen Hughes
07501260298

Delivery Date 02/10/2023	Lorry MT	Customer account PERK315	Sales order number SOR-649338	Purchase order 032056672
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Qty	Sales unit	Stock code	Description	Stk Qty	Stk unit
153.600	M2	PP8-CRI-X	XFlo Rectangular Permeable 200x100x20mm Creve Mix	16.00	Bals



SDN-744998

Received in good condition:

Signed:

Print Name:

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Damages must be reported to the above address within two working days.

ACHE
973852

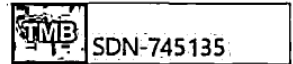


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F: +44 (0)28 7965 0751
E: despatch-toome@ag.uk.com

Ticket Number:



1 of 1

Delivery Note

VAT Reg No: GB 314 3908 17

VAT Reg No: IE 47397730

Invoice/Deliver to:

Travis Perkins/Keyline Trading Co LTD
Chartwell Drive
Wigston
Leicestershire
LE18 2FL

Delivery Instructions:

TEL:
Deliveries Between 06.30 &
14.30. All Vehicles Waiting
Outside The Yard Must Be Silent.
No Idling and No Unstrapping
Until You Enter The Yard. Book
In with Stephen Hughes
07501369288

Delivery Date
03/10/2023

Lorry
MT

Customer account
PERK315

Sales order number
SOR-649333

Purchase order
032056672

Qty	Sales unit	Stock code	Description	Stk Qty	Stk unit
153.600	M2	PP8-RED	X-Flo Rectangular 200x100x80mm Rustic Red	16.00	Bale



Received in good condition:

Signed:

Print Name:

[Signature]
J. J. M. M. M.

The above goods are sold subject to our standard terms and conditions, and shall remain the property of Acheson & Glover Ltd until paid for in full.
Damages must be reported to the above address within two working days.