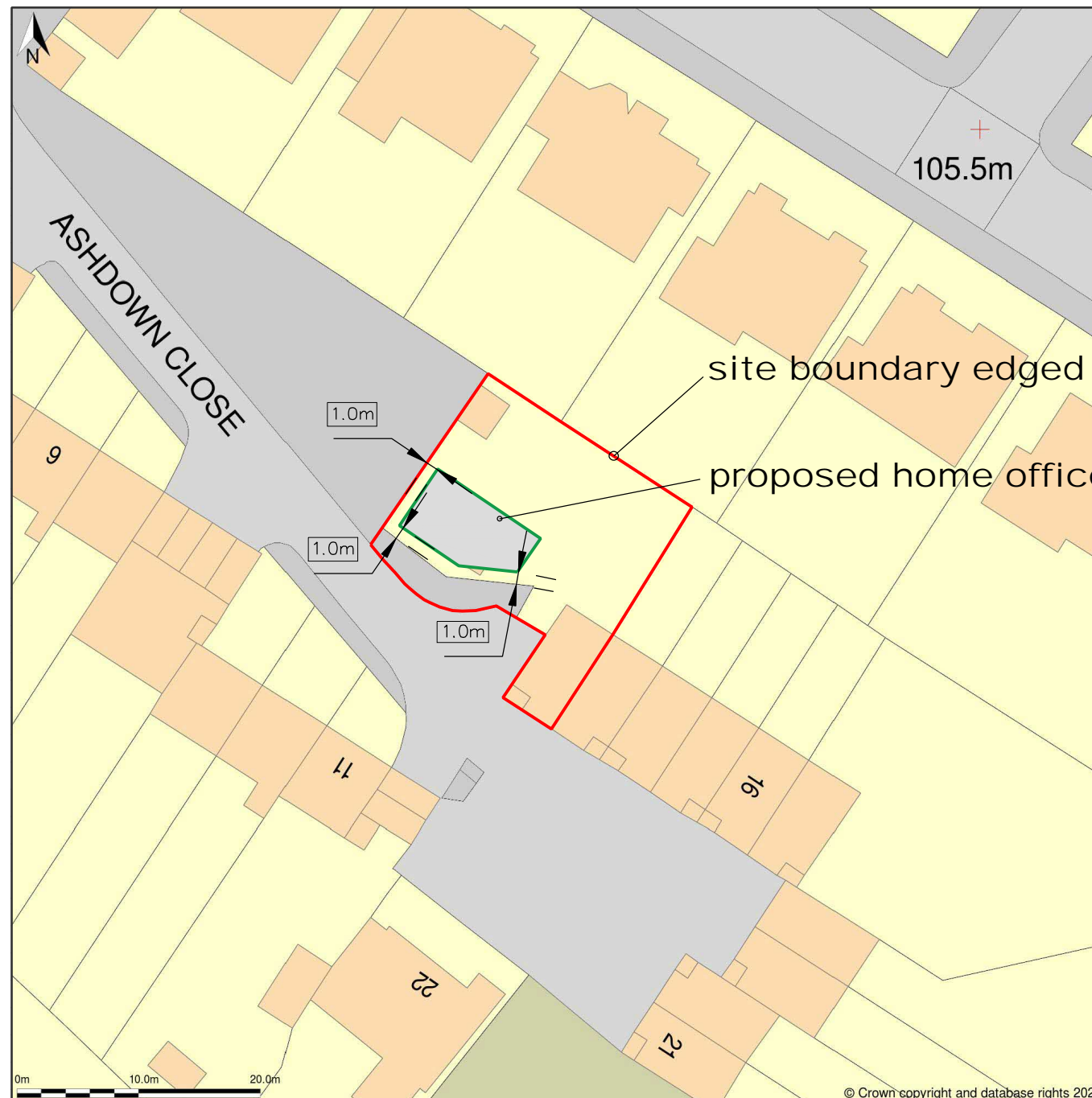


12, Ashdown Close, Royal Tunbridge Wells, Kent, TN4 8DU



site boundary edged in red  
proposed home office building

Notes:

- 1.Plans issued for planning purposes only & not to be used for construction
- 2.Internal layout is indicative only.
- 3.All measurements must be checked on site prior to commencement of works.
- 4.All measurements are in meters & are approximate
- 5.It is the homeowners responsibility to ensure the appropriate Local Authority permissions are in place prior to commencement of the build
- 6.It is the homeowners responsibility to check if Party Wall Agreement or build over agreement is required and to ensure that, these are in place prior to commencement of the build.
- 7.It is the homeowners responsibility to meet any HSE obligations under construction (design and Management) Regulations 2015(cdm2015)
- 8.The external facing materials shall match those used on the existing building as near as possible unless otherwise stated.

A	RED LINE AROUND OFFICE	MJK	14/11/23
REV:	DESCRIPTION:	BY:	DATE:
STATUS: DRAWING FOR PLANNING ONLY			



Martin Kenward Design  
Wild Wood  
Station Road, Northiam  
www.martinkenwarddesign.com

CLIENT: Mr S. Casey  
12 Ashdown Close,  
Tunbridge wells,  
Kent,  
TN48DU

TITLE: PROPOSED BLOCK PLAN			
SCALE AT A3: 1:500 @ A3	DATE: 20/09/2023	DRAWN: M.J.K	CHECKED:
PROJECT NO: PL2212	DRAWING NO: /04	REVISION: A	

Site Plan (also called a Block Plan) shows area bounded by: 557593.07, 139652.58 557683.07, 139742.58 (at a scale of 1:500), OSGridRef: TQ57633969. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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