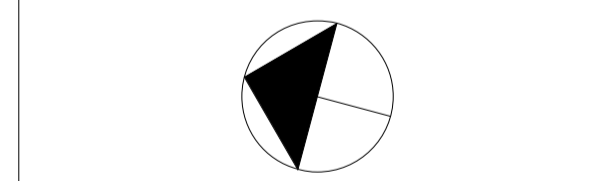


NOTE:
 Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION. The drawings should therefore not be used for any other purpose without the prior agreement of the architect, and subsequent checking / development by others.
 Dimensions and setting out - should be checked on site; see above.
 Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.
 Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.
 Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.
 Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.
 Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.
 Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:
 Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power



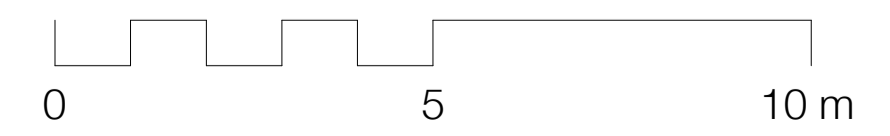
Revisions		
No.	Description	Date
O	Revised planning notations	180824
P	Amendments to bin store and access gate	181003
Q	Amended annotation	181004
R	Bin notations amended	181004
S	Draft Planning Issue	230623
T	Draft Planning Issue	140723
U	Planning Issue	290923

PROPOSED

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.
HÛT Architecture
 3rd Floor
 35-39 Old Street
 London EC1V 9JX
 T 020 7293 8682
 E info@hutarchitecture.com

Job: St Mary's Road
 Job No: H384
 Drawing: Proposed Site Plan

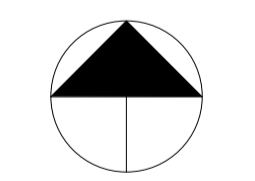
Scale: 1:100 @ A1, 1:200 @ A3
 Drawing No: P002
 Revision: U





NOTE:
 Architectural Information - the level of detail shown on the drawings is relative to the submission of a **PLANNING APPLICATION**.
 The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others.
 Dimensions and setting out - should be checked on site; see above.
 Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.
 Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.
 Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.
 Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.
 Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.
 Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:
 Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.



Revisions		
No.	Description	Date
B	Planning Issue	170508
C	Draft Access Works	170713
D	Draft Planning Issue	170915
E	Draft Planning Issue	171213
F	Planning Issue	171221
G	Planning Issue	180102
H	Draft Planning Issue	230623
I	Draft Planning Issue	140723
J	Planning Issue	290923

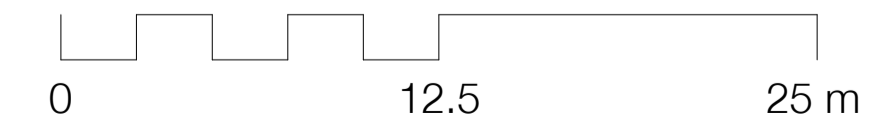
PROPOSED

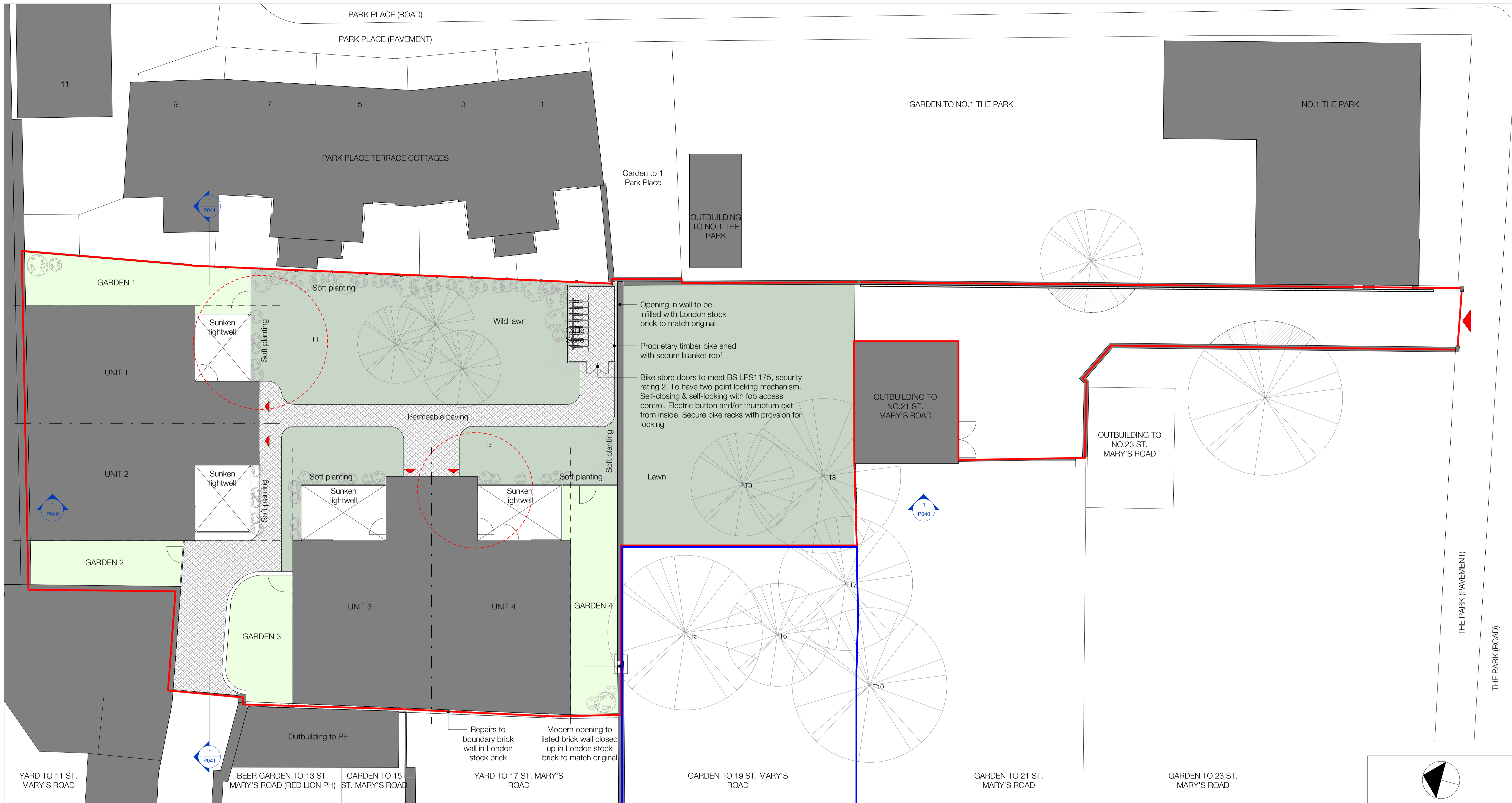
Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.
 HÛT Architecture
 3rd Floor
 35-39 Old Street
 London EC1V 9JX
 T 020 7299 8680
 E info@hutarchitecture.com

HÛT

Job: St Mary's Road
 Job No: H384
 Drawing: Proposed Block Plan

Scale:
 Drawing No: P003
 Revision: J





NOTE:
 Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION. The drawings should therefore not be used for any other purpose without the prior agreement of the architect, and subsequent checking / development by others.
 Dimensions and setting out - should be checked on site; see above.
 Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.
 Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.
 Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.
 Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.
 Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.
 Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:
 Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power

NOTE:
 Opening in wall to be infilled with London stock brick to match original
 Proprietary timber bike shed with sedum blanket roof
 Bike store doors to meet BS LPS1175, security rating 2. To have two point locking mechanism. Self-closing & self-locking with fob access control. Electric button and/or thumbturn exit from inside. Secure bike racks with provision for locking
 Repairs to boundary brick wall in London stock brick
 Modern opening to listed brick wall closed up in London stock brick to match original

NOTE:
 Opening in wall to be infilled with London stock brick to match original
 Proprietary timber bike shed with sedum blanket roof
 Bike store doors to meet BS LPS1175, security rating 2. To have two point locking mechanism. Self-closing & self-locking with fob access control. Electric button and/or thumbturn exit from inside. Secure bike racks with provision for locking

Revisions		
No.	Description	Date
L	Revised planning notations	180824
M	Amendments to bin store and access gate	181003
N	Amended annotation	181004
O	Bin notations amended	181004
P	Draft Planning Issue	230623
Q	Draft Planning Issue	140723
R	Planning Issue	290923

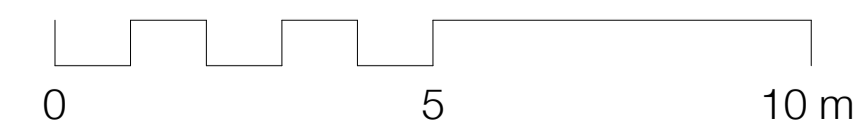
PROPOSED

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

HÛT
 HÛT Architecture
 3rd Floor
 35-39 Old Street
 London EC1V 9JK
 T 020 7299 8680
 E info@hutarchitecture.com

Job: St Mary's Road
 Job No: H384
 Drawing: Proposed Landscape Plan

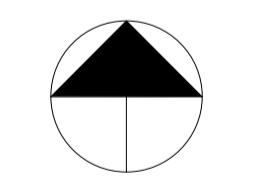
Scale: 1:100 @ A1, 1:200 @ A3
 Drawing No: P004
 Revision: R





NOTE:
 Architectural Information - the level of detail shown on the drawings is relative to the submission of a **PLANNING APPLICATION**. The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others.
 Dimensions and setting out - should be checked on site; see above.
 Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.
 Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.
 Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.
 Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.
 Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.
 Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:
 Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.



Revisions		
No.	Description	Date
A	Committee	18/07/16
B	Draft Planning Issue	23/08/23
C	Draft Planning Issue	14/07/23
D	Planning Issue	29/09/23

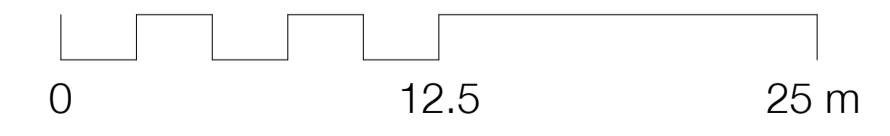
PROPOSED

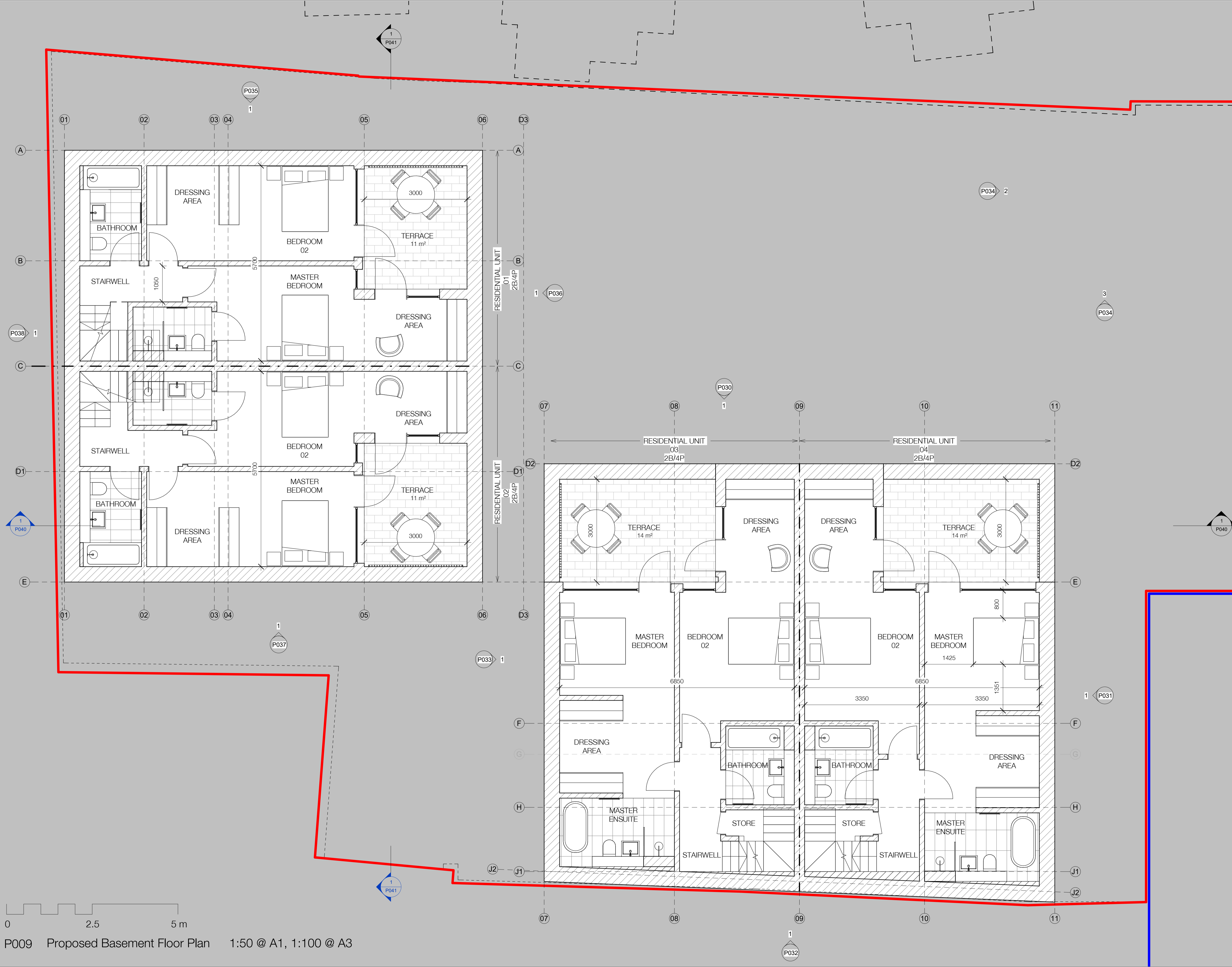
Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

HÛT Architecture
 3rd Floor
 35-39 Old Street
 London EC1V 9JX
 T 020 7293 8682
 E info@hutarchitecture.com

HÛT

Job: St Mary's Road
 Job No: H384
 Drawing: Proposed Block Plan - Land Ownership
 Scale:
 Drawing No: P005
 Revision: D





NOTE:
 Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION.
 The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others.
 Dimensions and setting out - should be checked on site; see above.
 Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.
 Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.
 Planning - the client / the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.
 Party Walls & Rights to Light - the client / the contractor will ensure that any notices and consents required are obtained before work commences.
 Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.
 Archaeological & Ecological - the client / the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:
 Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.

880 Proposed G.I.A Schedule

Unit	Level	G.I. A
G.I.A. Unit 01 - 2B/4P	P009 Proposed Basement	52 m²
G.I.A. Unit 01 - 2B/4P	P010 Proposed Ground	53 m²
G.I.A. Unit 02 - 2B/4P	P009 Proposed Basement	52 m²
G.I.A. Unit 02 - 2B/4P	P010 Proposed Ground	53 m²
G.I.A. Unit 03 - 2B/4P	P009 Proposed Basement	62 m²
G.I.A. Unit 03 - 2B/4P	P010 Proposed Ground	64 m²
G.I.A. Unit 04 - 2B/4P	P009 Proposed Basement	64 m²
G.I.A. Unit 04 - 2B/4P	P010 Proposed Ground	66 m²
Grand total: 8		465 m²

Revisions

No.	Description	Date
D	Draft Planning	170407
E	Planning Issue	170508
F	Draft Planning Issue	170915
G	Draft Planning Issue	171213
H	Planning Issue	171221
I	Planning Issue	180102
J	Draft Planning Issue	230623
K	Draft Planning Issue	140723
L	Planning Issue	290923

PROPOSED

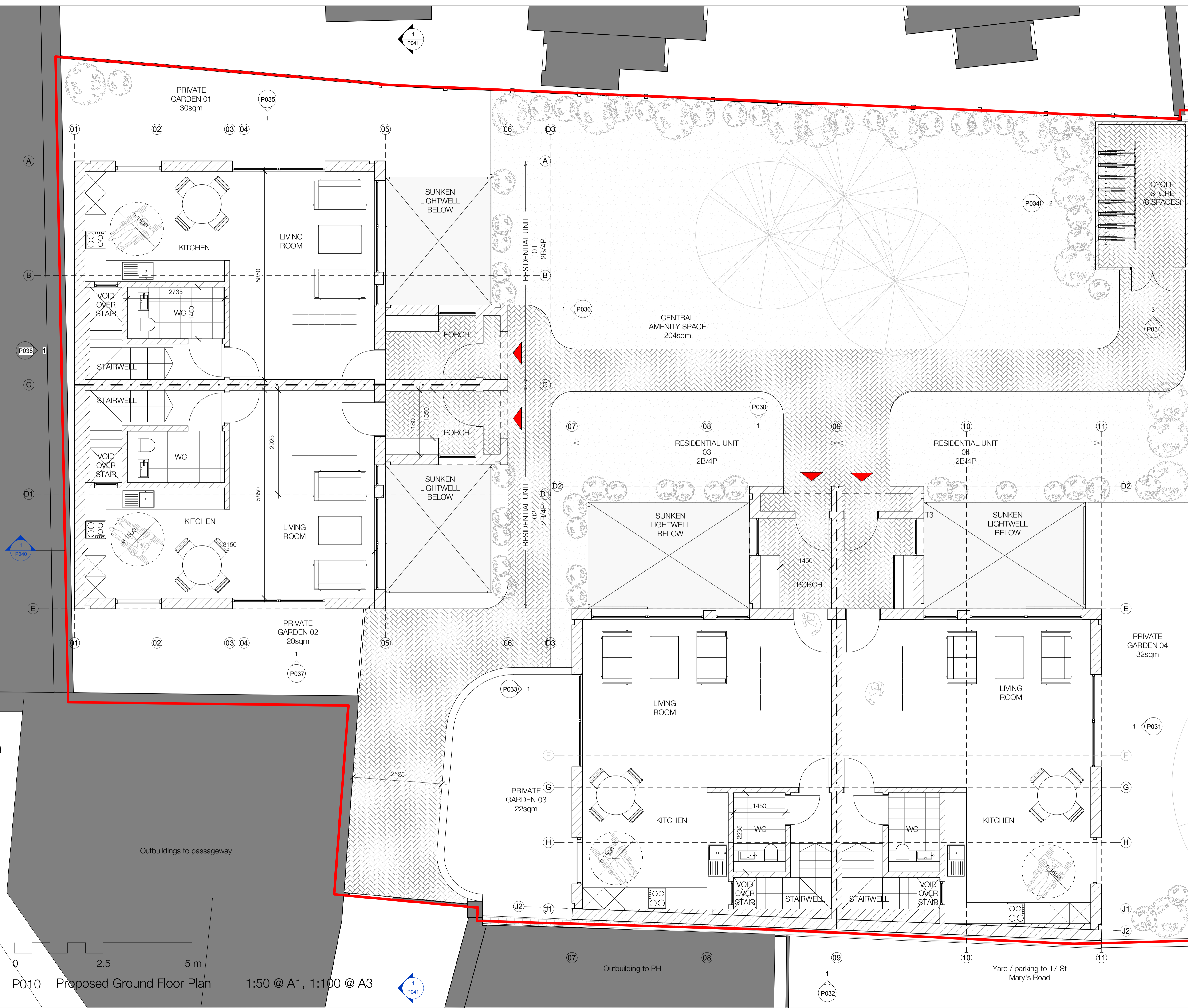
Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.
 HÛT Architecture
 3rd Floor
 35-39 Old Street
 London EC1V 9JX
 T 020 7299 8680
 E info@hutarchitecture.com

HÛT

Job: St Mary's Road
 Job No: H384
 Drawing: Proposed Basement
 Floor Plan
 Scale: 1:50 @ A1, 1:100 @ A3
 Drawing No: P009
 Revision: L

P009 Proposed Basement Floor Plan 1:50 @ A1, 1:100 @ A3

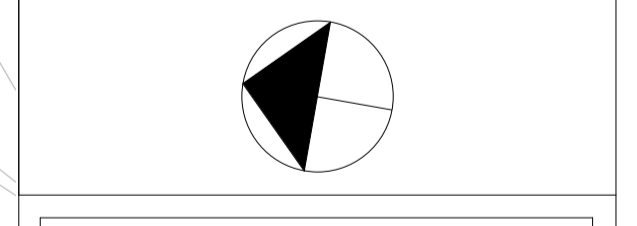




NOTE:
 Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION.
 The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others.
 Dimensions and setting out - should be checked on site; see above.
 Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.
 Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.
 Planning - the client / the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.
 Party Walls & Rights to Light - the client / the contractor will ensure that any notices and consents required are obtained before work commences.
 Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.
 Archaeological & Ecological - the client / the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:
 Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.

880 Proposed G.I.A Schedule		
Unit	Level	G.I. A
G.I.A. Unit 01 - 2B/4P	P009 Proposed Basement	52 m ²
G.I.A. Unit 01 - 2B/4P	P010 Proposed Ground	53 m ²
G.I.A. Unit 02 - 2B/4P	P009 Proposed Basement	52 m ²
G.I.A. Unit 02 - 2B/4P	P010 Proposed Ground	53 m ²
G.I.A. Unit 03 - 2B/4P	P009 Proposed Basement	62 m ²
G.I.A. Unit 03 - 2B/4P	P010 Proposed Ground	64 m ²
G.I.A. Unit 04 - 2B/4P	P009 Proposed Basement	64 m ²
G.I.A. Unit 04 - 2B/4P	P010 Proposed Ground	66 m ²
Grand total: 8		465 m ²



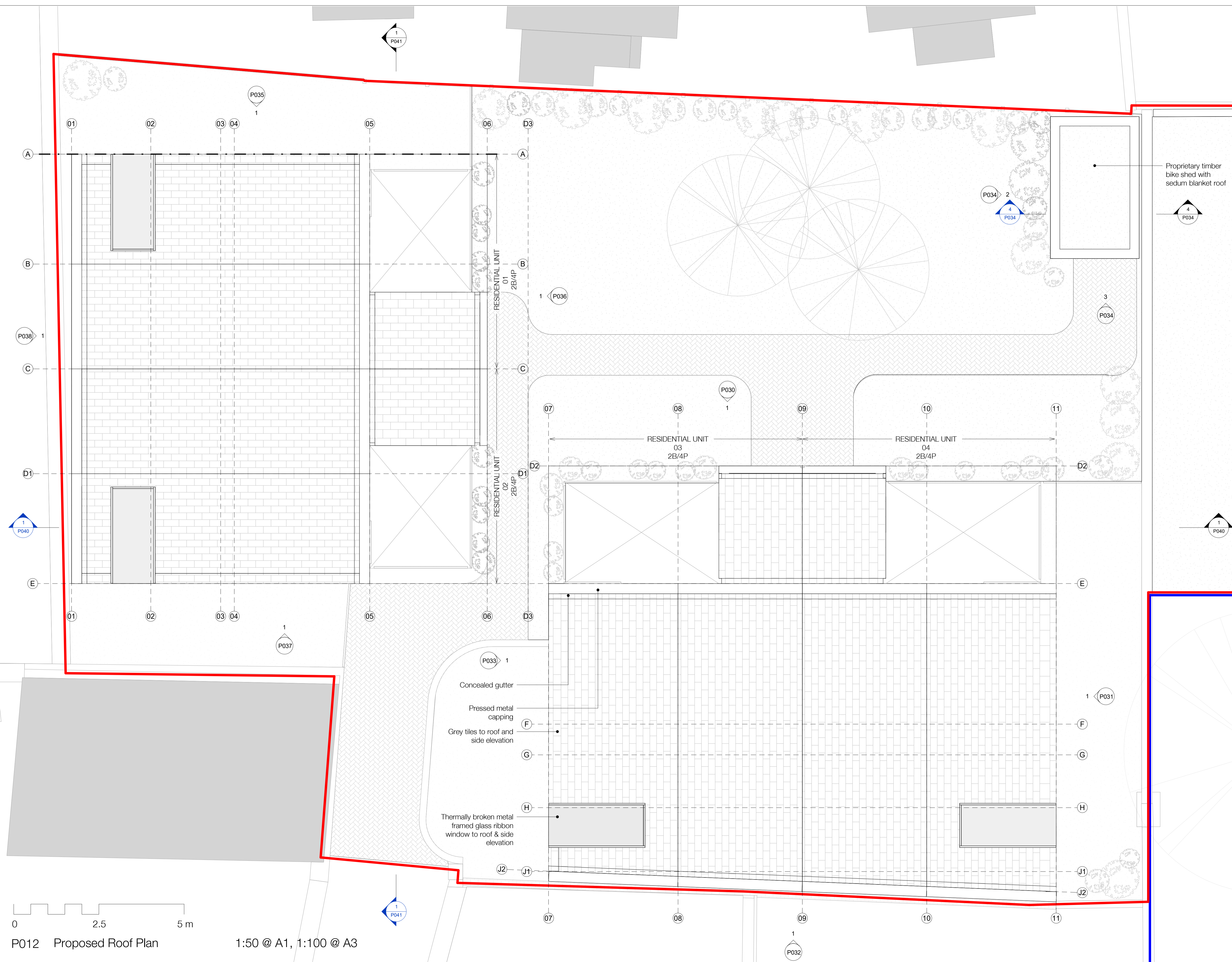
Revisions		
No.	Description	Date
E	Planning Issue	170508
F	Draft Planning Issue	170915
G	Draft Planning Issue	171213
H	Planning Issue	171221
I	Planning Issue	180102
J	Revised Planning Issue	180424
K	Draft Planning Issue	230623
L	Draft Planning Issue	140723
M	Planning Issue	290923

PROPOSED

Job: St Mary's Road
 Job No: H384
 Drawing: Proposed Ground Floor Plan
 Scale: 1:50 @ A1, 1:100 @ A3
 Drawing No: P010
 Revision: M

HÛT
 HÛT Architecture
 3rd Floor
 35-39 Old Street
 London EC1Y 9JK
 T 020 7299 8980
 E info@hutarchitecture.com

P010 Proposed Ground Floor Plan 1:50 @ A1, 1:100 @ A3



NOTE:
 Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION. The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others. Dimensions and setting out - should be checked on site; see above.

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.

Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.

Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:
 Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.

Revisions

No.	Description	Date
D	Draft Planning	170407
E	Planning Issue	170508
F	Draft Planning Issue	170915
G	Draft Planning Issue	171213
H	Planning Issue	171221
I	Planning Issue	180102
J	Draft Planning Issue	230623
K	Draft Planning Issue	140723
L	Planning Issue	290923

PROPOSED

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.
 HÛT Architecture
 3rd Floor
 35-39 Old Street
 London EC1V 9JX
 T 020 7299 8680
 E info@hutarchitecture.com

HÛT

Job: St Mary's Road
 Job No: H384
 Drawing: Proposed Roof Plan

Scale: 1:50 @ A1, 1:100 @ A3
 Drawing No: P012
 Revision: L

P012 Proposed Roof Plan 1:50 @ A1, 1:100 @ A3



NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION. The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others. Dimensions and setting out - should be checked on site; see above.

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.

Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.

Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:

Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.

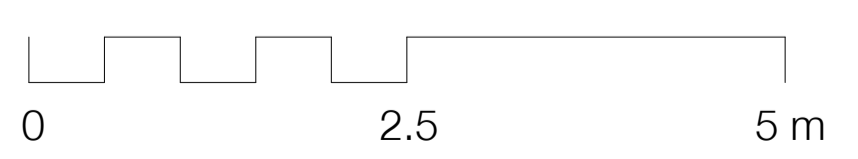
Revisions		
No.	Description	Date
D	Draft Planning	170407
E	Planning Issue	170508
F	Draft Planning Issue	171213
G	Planning Issue	171221
H	Amended annotations to existing stable and paving detail	180801
I	Draft Planning Issue	230623
J	Draft Planning Issue	140723
K	Planning Issue	290923

PROPOSED

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

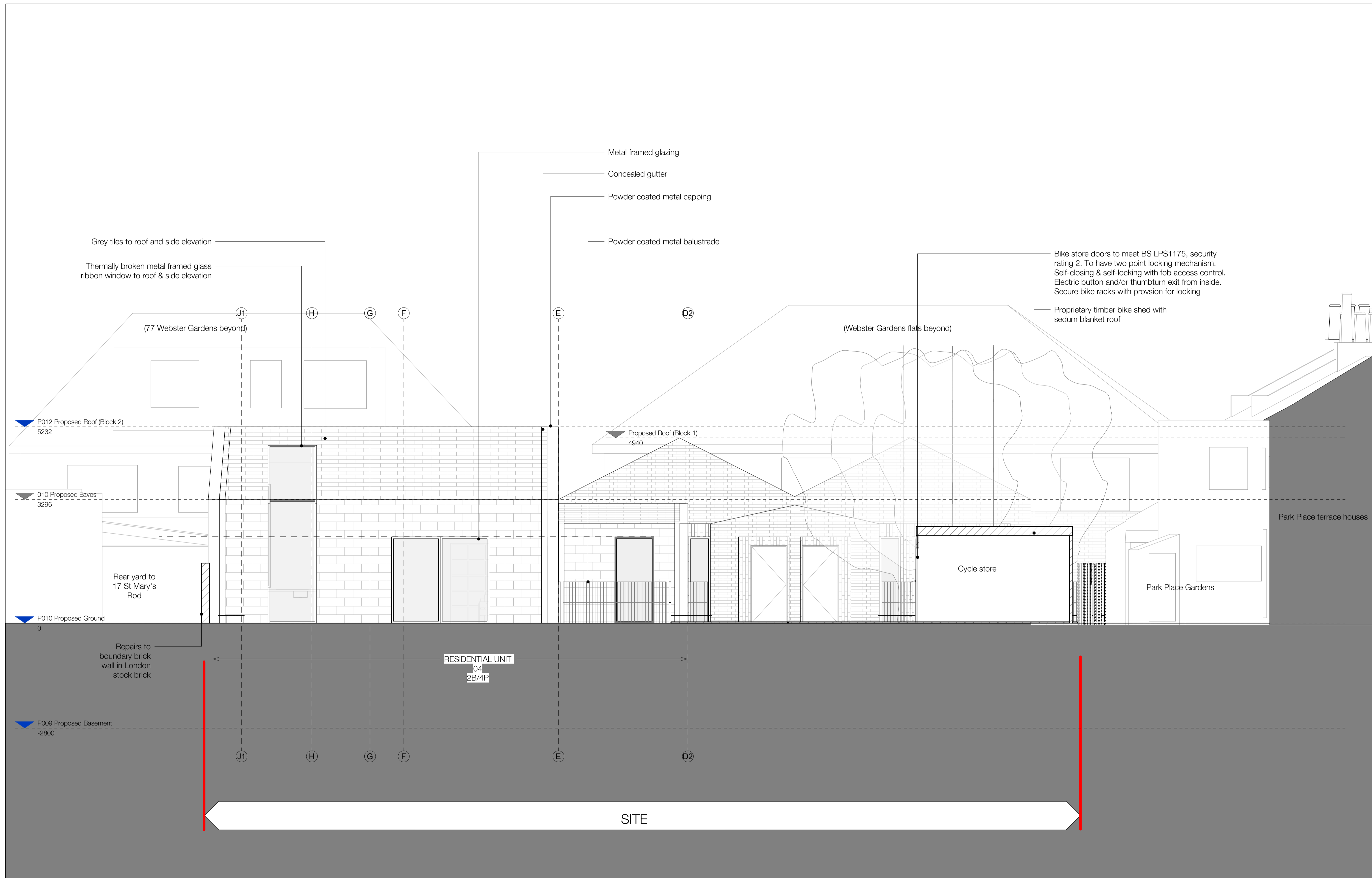
HÛT
 HÛT Architecture
 3rd Floor
 35-39 Old Street
 London EC1V 9JK
 T 020 7299 8680
 E info@hutarchitecture.com

Job: St Mary's Road
 Job No: H384
 Drawing: Proposed East Elevation (West Block)
 Scale: 1:50 @ A1, 1:100 @ A3
 Drawing No: P030
 Revision: K



P030 Proposed East Elevation (West Block) 1:50 @ A1, 1:100 @ A3

SITE



NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a **PLANNING APPLICATION**. The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others. Dimensions and setting out - should be checked on site; see above.

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.

Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.

Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:

Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.

Revisions		
No.	Description	Date
C	Draft Planning	170407
D	Planning Issue	170508
E	Draft Planning Issue	171213
F	Planning Issue	171221
G	Planning Issue	180102
H	Draft Planning Issue	230623
I	Draft Planning Issue	140723
J	Planning Issue	290923

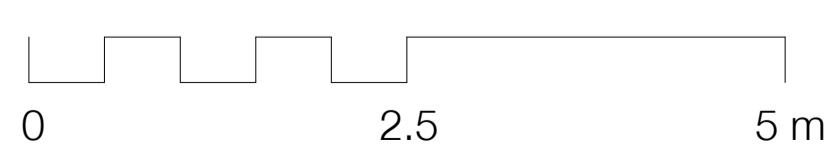
PROPOSED

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

HÛT Architecture
3rd Floor
35-39 Old Street
London EC1V 9JK
T 020 7299 8680
E info@hutarchitecture.com

HÛT

Job: St Mary's Road
Job No: H384
Drawing: Proposed South Elevation (West Block)
Scale: 1:50 @ A1, 1:100 @ A3
Drawing No: P031
Revision: J



P031 Proposed South Elevation (West Block) 1:50 @ A1, 1:100 @ A3

NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION. The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others. Dimensions and setting out - should be checked on site; see above.

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.

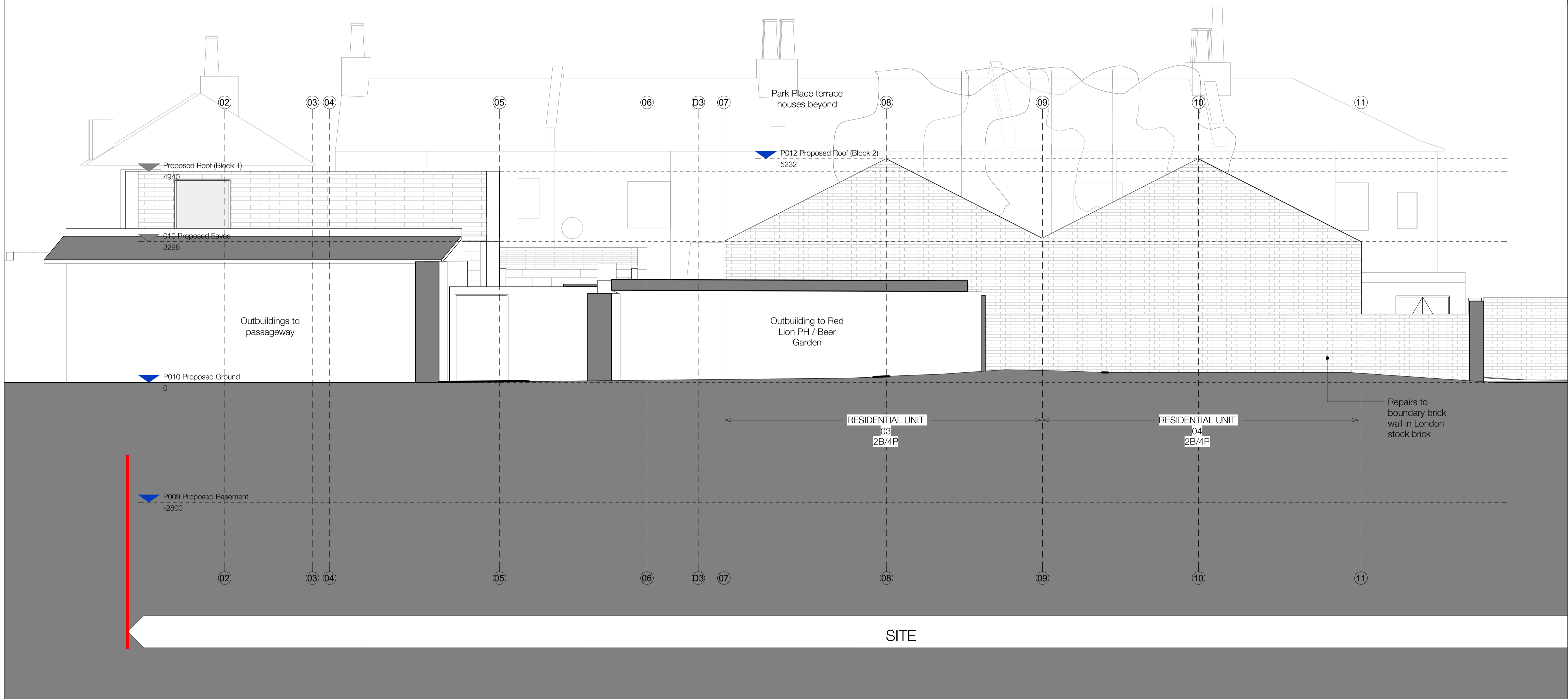
Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.

Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:
Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.



Revisions		
No.	Description	Date
C	Draft Planning	170407
D	Planning Issue	170508
E	Draft Planning Issue	171213
F	Planning Issue	171221
G	Amended annotations to existing stable and paving detail	180801
H	Draft Planning Issue	230623
I	Draft Planning Issue	140723
J	Planning Issue	290923

PROPOSED

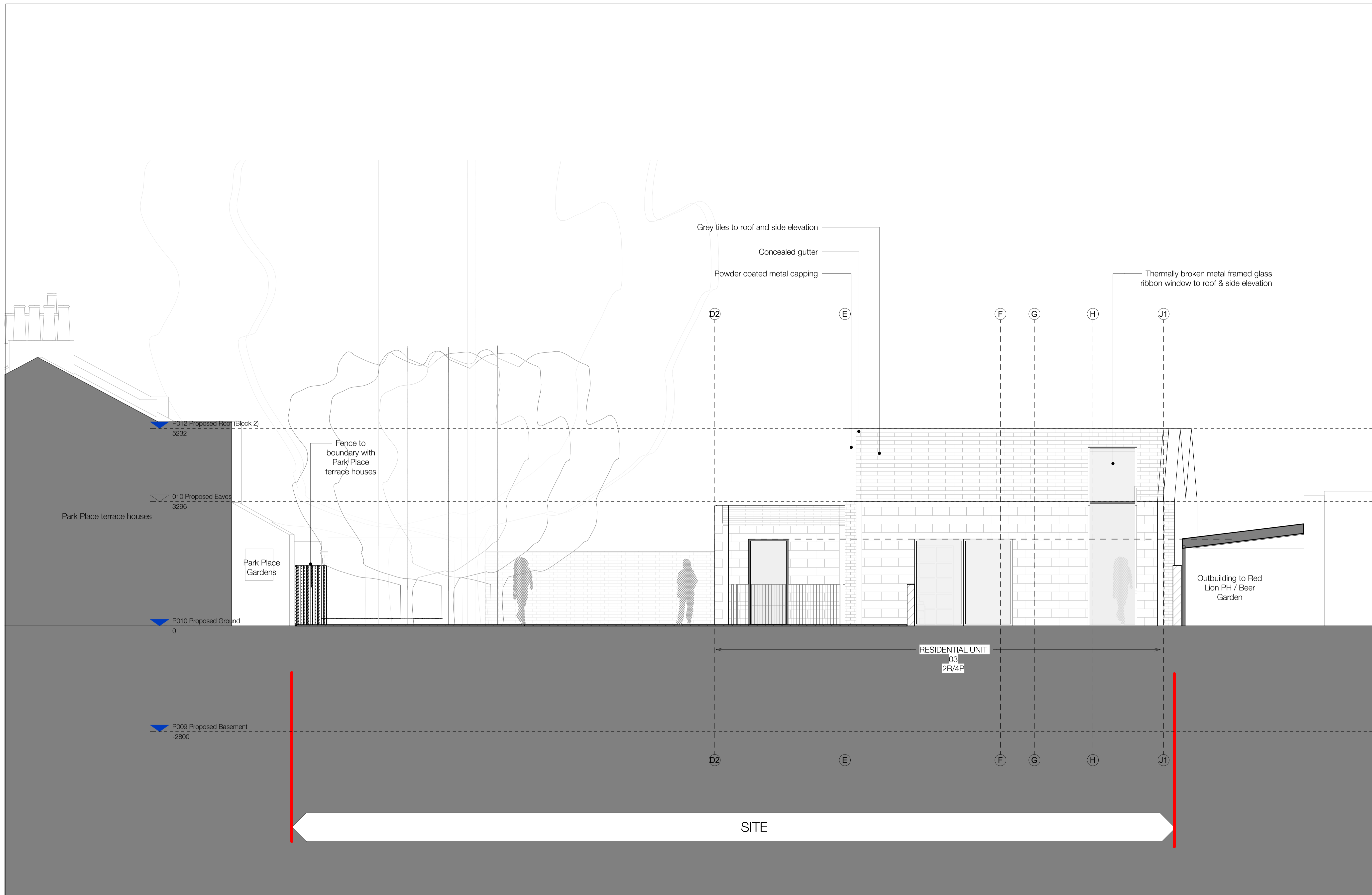
Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.
 HÛT Architecture
 3rd Floor
 35-39 Old Street
 London EC1V 9JK
 T 020 7299 8680
 E info@hutarchitecture.com



Job: St Mary's Road
 Job No: H384
 Drawing: Proposed West Elevation (West Block)
 Scale: 1:50 @ A1, 1:100 @ A3
 Drawing No: P032
 Revision: J



P032 Proposed West Elevation (West Block) 1:50 @ A1, 1:100 @ A3



NOTE:
 Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION. The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others. Dimensions and setting out - should be checked on site; see above.
 Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.
 Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.
 Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.
 Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.
 Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.
 Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:
 Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.

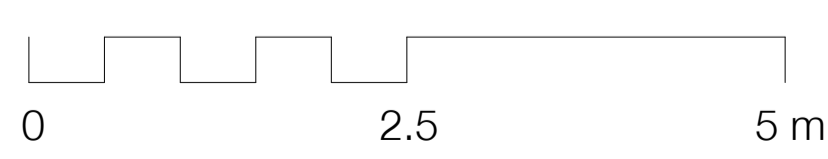
Revisions		
No.	Description	Date
C	Draft Planning	170407
D	Planning Issue	170508
E	Draft Planning Issue	171213
F	Planning Issue	171221
G	Amended annotations to existing stable and paving detail	180801
H	Draft Planning Issue	230623
I	Draft Planning Issue	140723
J	Planning Issue	290923

PROPOSED

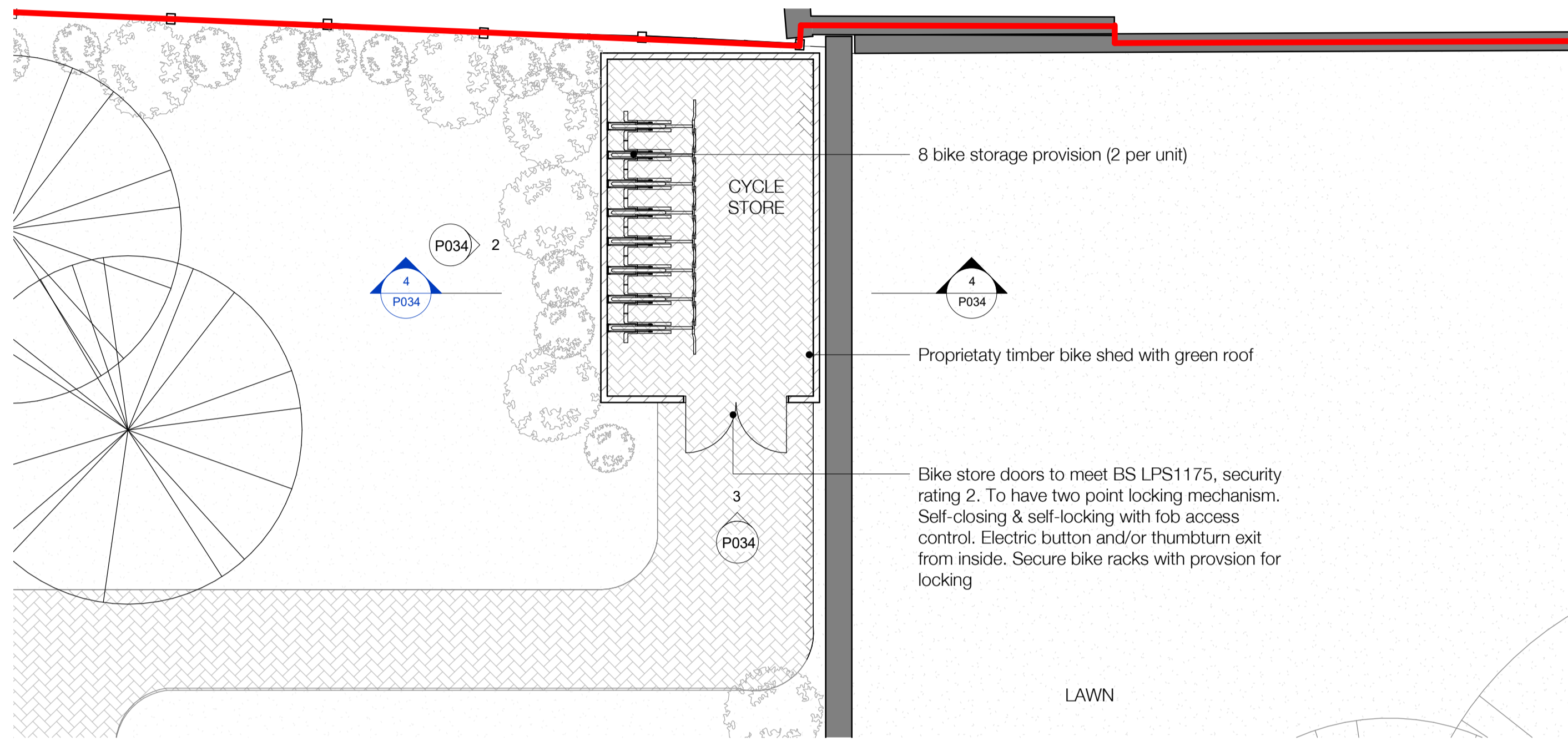
Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.
 HÛT Architecture
 3rd Floor
 35-39 Old Street
 London EC1V 9JK
 T 020 7299 8680
 E info@hutarchitecture.com

HÛT

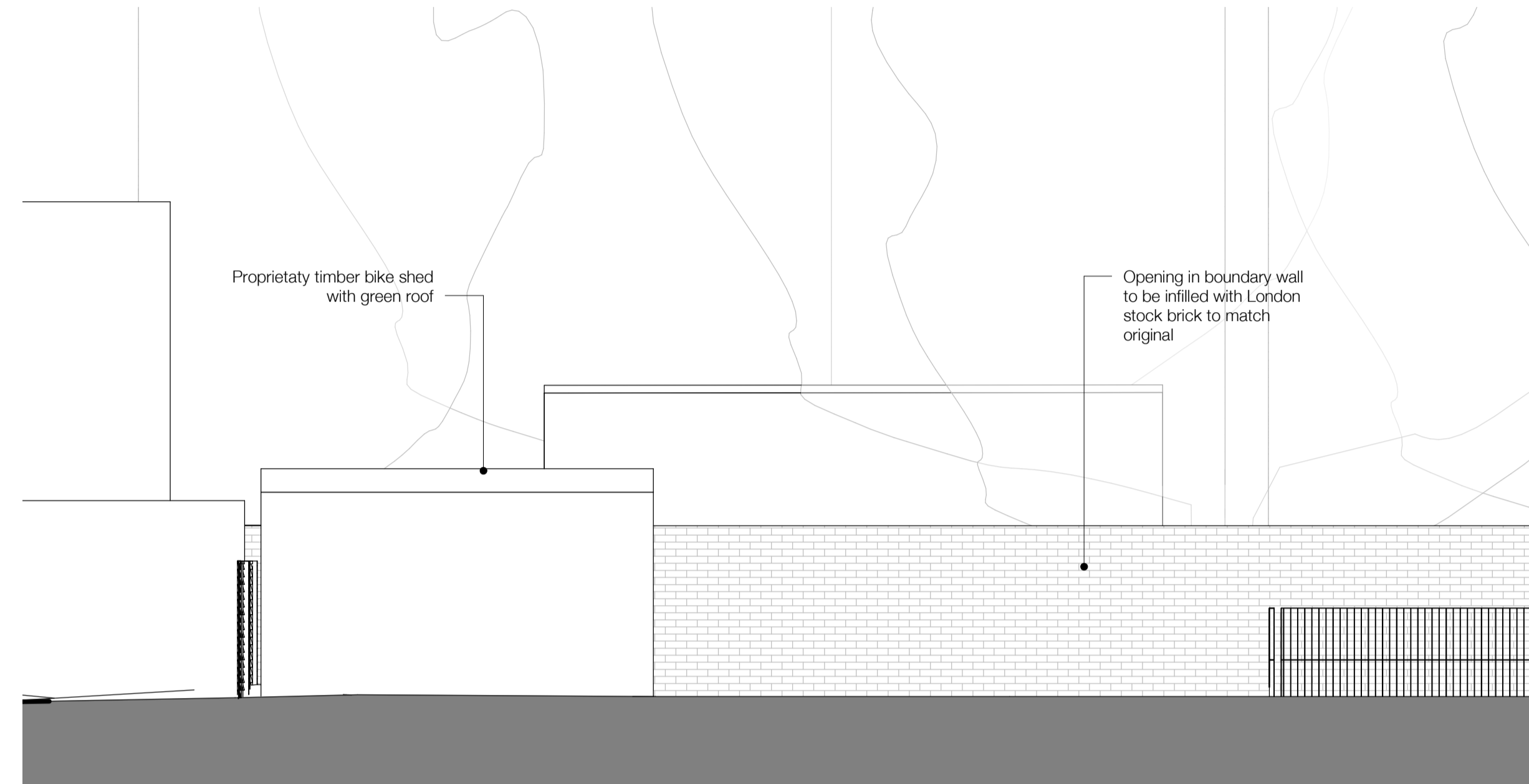
Job: St Mary's Road
 Job No: H384
 Drawing: Proposed North Elevation (West Block)
 Scale: 1:50 @ A1, 1:100 @ A3
 Drawing No: P033
 Revision: J



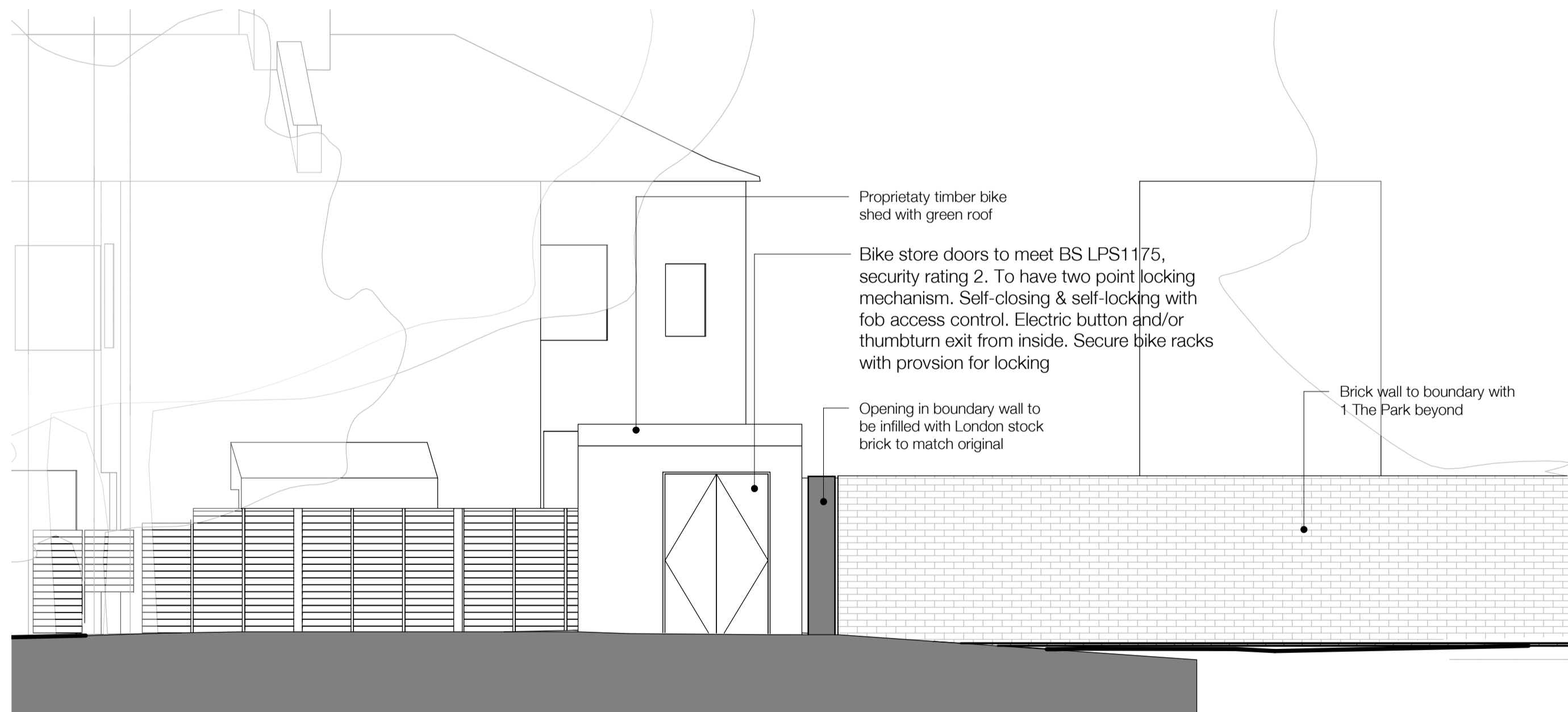
P033 Proposed North Elevation (West Block) 1:50 @ A1, 1:100 @ A3



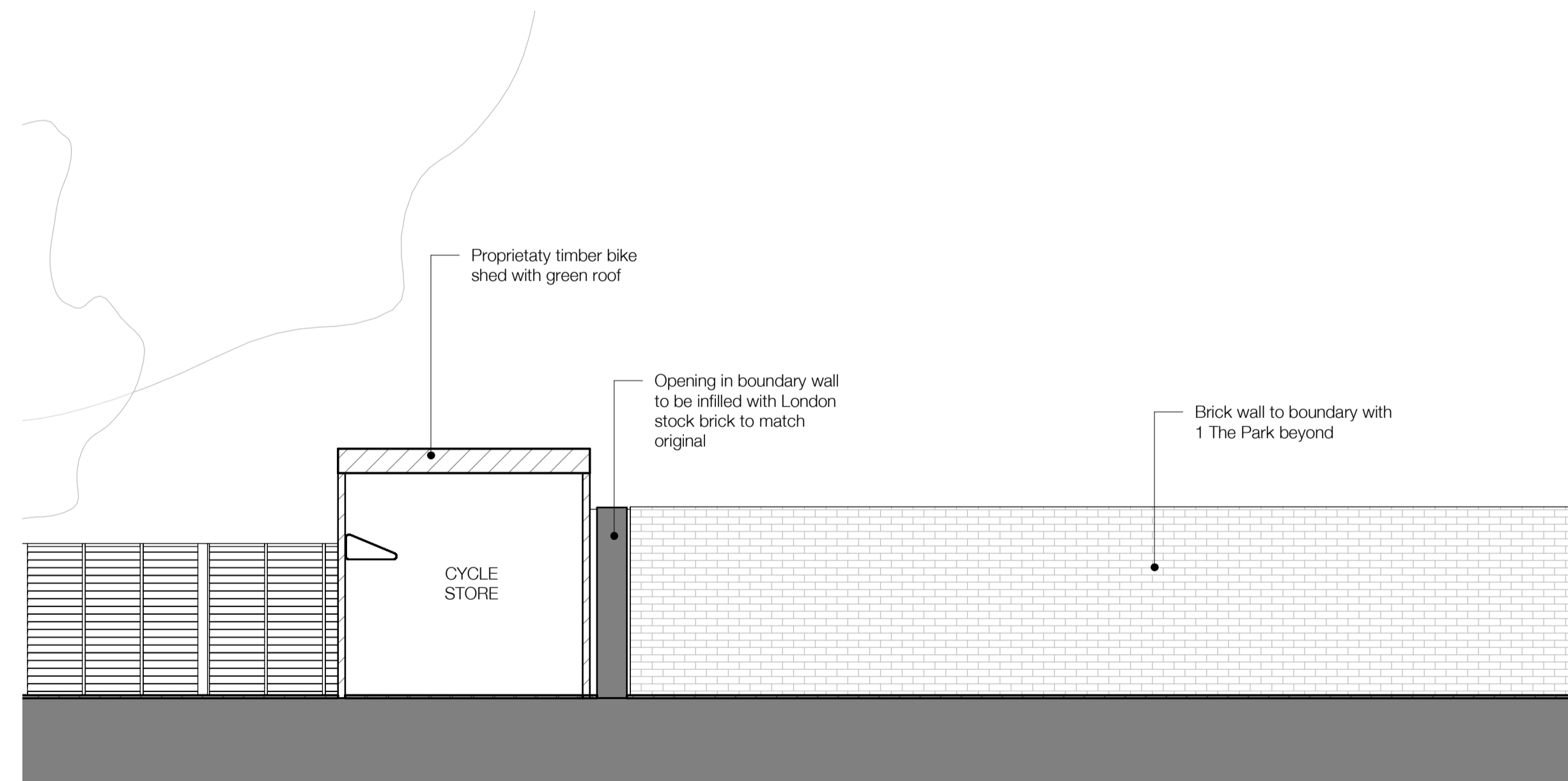
P034.01 Plan



P034.02 Side Elevation



P034.03 Front Elevation



P034.04 Section



P034 Proposed Bike Store

1:50 @ A1, 1:100 @ A3

NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION. The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others. Dimensions and setting out - should be checked on site; see above.

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.

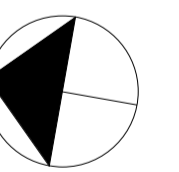
Planning - the client / the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

Party Walls & Rights to Light - the client / the contractor will ensure that any notices and consents required are obtained before work commences.

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.

Archaeological & Ecological - the client / the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE: Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.



Revisions		
No.	Description	Date
C	Revised planning notations	180824
H	Amendments to bin store and access gate	181003
I	Bin notations amended	181004
J	Draft Planning Issue	230623
K	Draft Planning Issue	140723
L	Draft Planning Issue	250723
M	Planning Issue	290923

PROPOSED

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.
 HÛT Architecture
 3rd Floor
 35-39 Old Street
 London EC1V 9JK
 T 020 7299 8682
 E info@hutarchitecture.com



Job: St Mary's Road
 Job No: H384
 Drawing: Proposed Bike Store

Scale: 1:50 @ A1, 1:100 @ A3
 Drawing No: P034
 Revision: M

NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION. The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others. Dimensions and setting out - should be checked on site; see above.

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.

Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

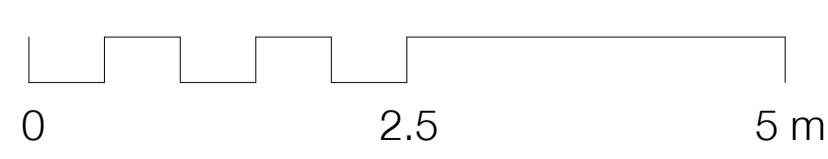
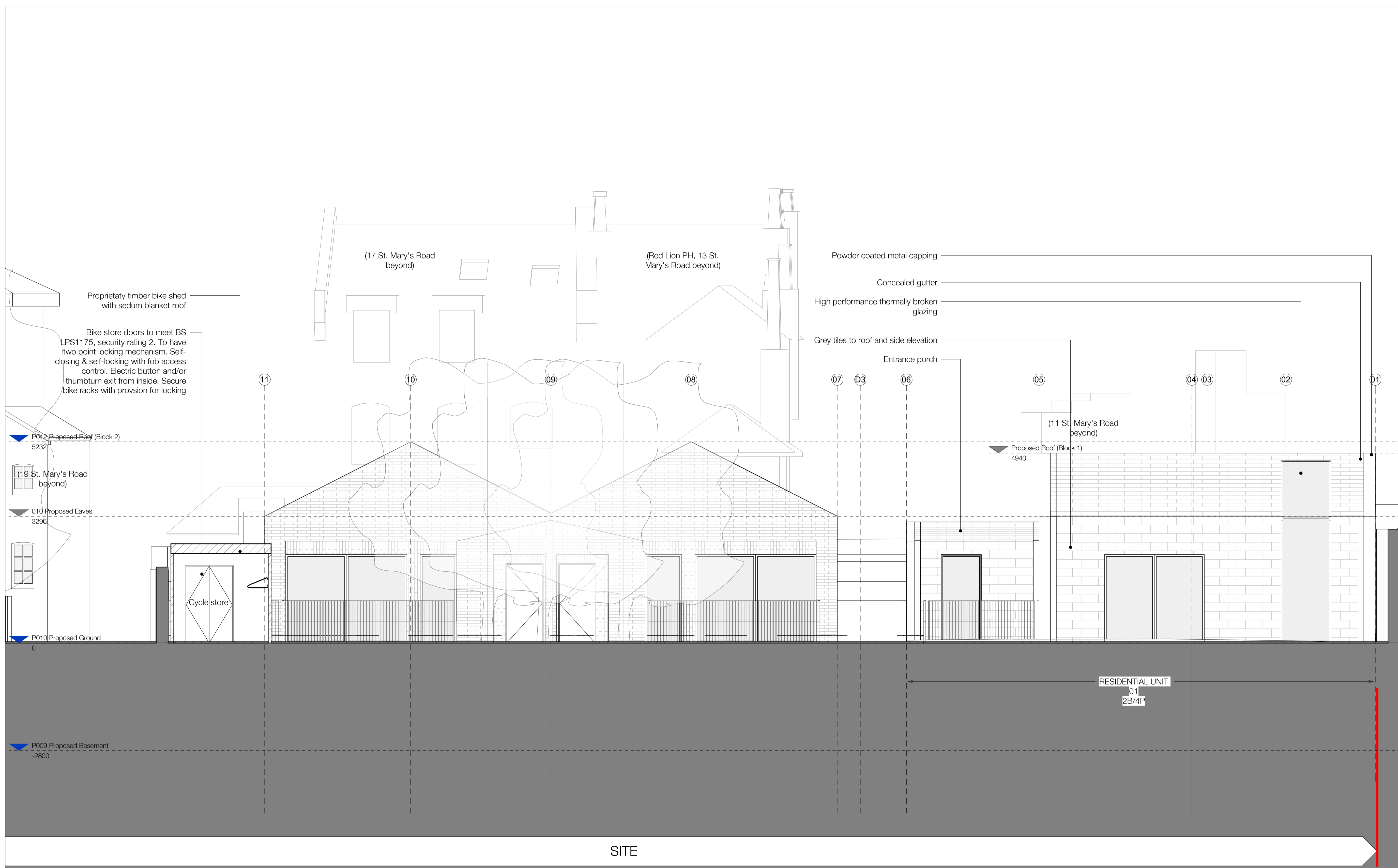
Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.

Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:

Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.



P035 Proposed East Elevation (North Block) 1:50 @ A1, 1:100 @ A3

Revisions		
No.	Description	Date
A	Draft Planning	170407
B	Planning Issue	170508
C	Draft Planning Issue	171213
D	Planning Issue	171221
E	Revised Planning Issue	180424
F	Draft Planning Issue	230623
G	Draft Planning Issue	140723
H	Planning Issue	290923

PROPOSED

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

HÛT
 HÛT Architecture
 3rd Floor
 35-39 Old Street
 London EC1V 9JK
 T 020 7299 8680
 E info@hutarchitecture.com

Job: St Mary's Road
 Job No: H384
 Drawing: Proposed East Elevation (North Block)
 Scale: 1:50 @ A1, 1:100 @ A3
 Drawing No: P035
 Revision: H

NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a **PLANNING APPLICATION**. The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others.

Dimensions and setting out - should be checked on site; see above

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations

Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions

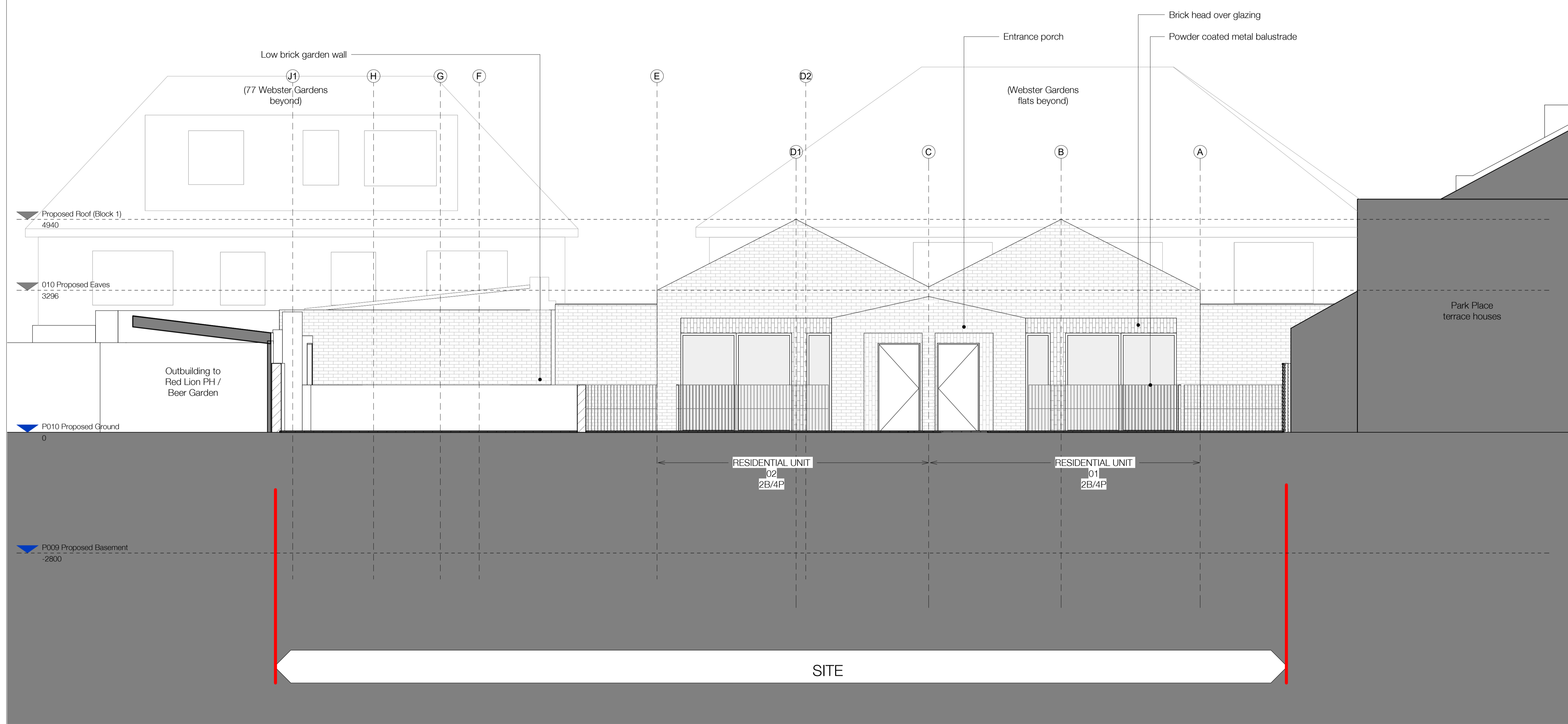
Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences

Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences

NOTE:

Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power



Revisions		
No.	Description	Date
A	Draft Planning	170407
B	Planning Issue	170508
C	Draft Planning Issue	171213
D	Planning Issue	171221
E	Planning Issue	180102
F	Draft Planning Issue	230623
G	Draft Planning Issue	140723
H	Planning Issue	290923

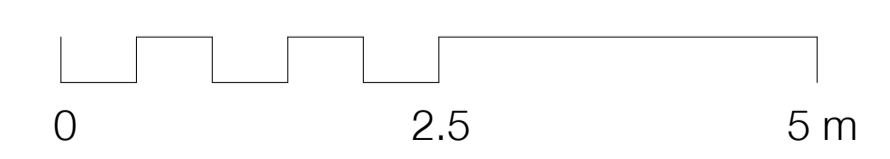
PROPOSED

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

HÛT Architecture
3rd Floor
35-39 Old Street
London EC1V 9JK
T 020 7299 8680
E info@hutarchitecture.com

HÛT

Job: St Mary's Road
Job No: H384
Drawing: Proposed South Elevation (North Block)
Scale: 1:50 @ A1, 1:100 @ A3
Drawing No: P036
Revision: H



P036 Proposed South Elevation (North Block) 1:50 @ A1, 1:100 @ A3

NOTE:
 Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION. The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others. Dimensions and setting out - should be checked on site; see above.

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.

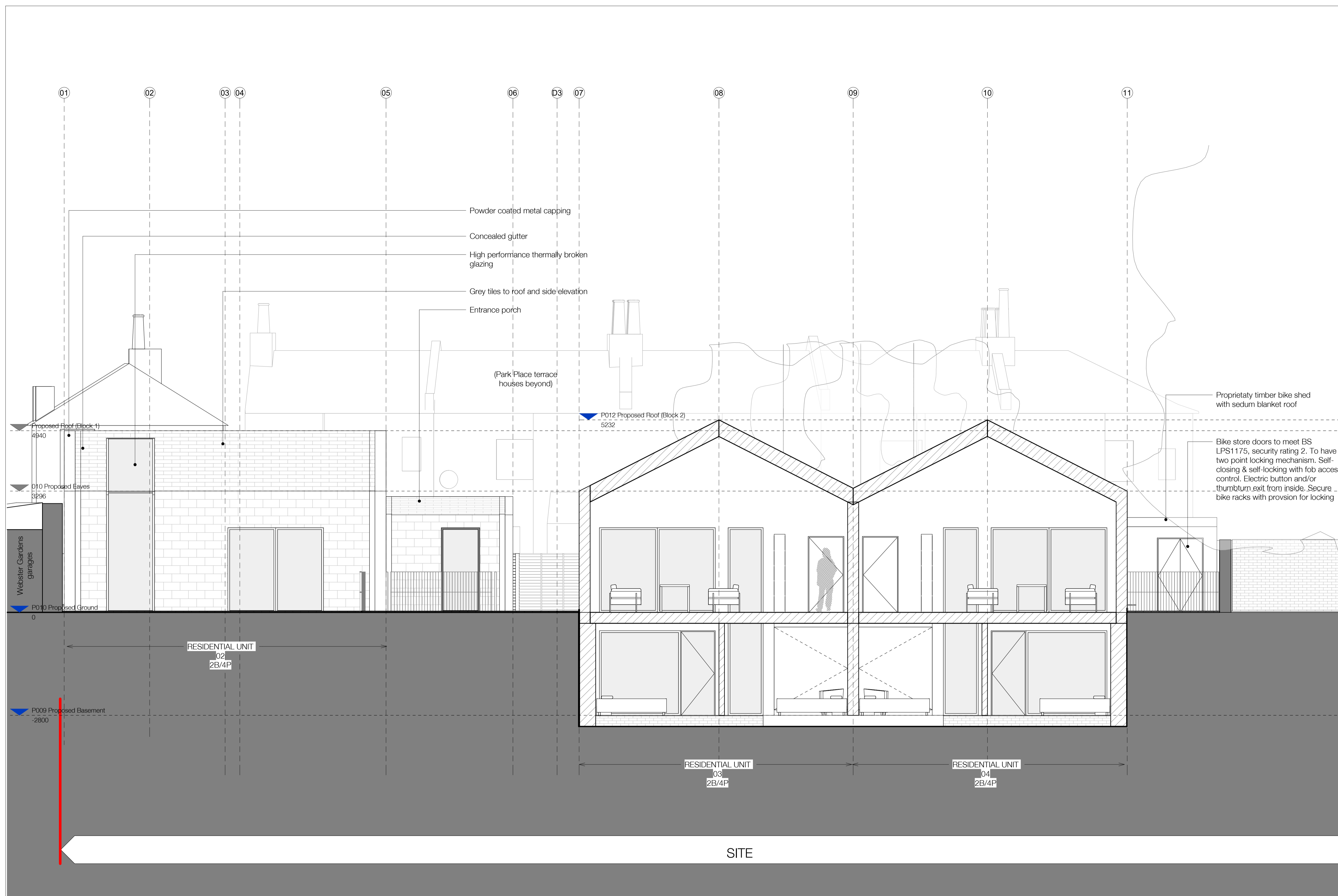
Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.

Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:
 Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.



Revisions		
No.	Description	Date
A	Draft Planning	170407
B	Planning Issue	170508
C	Draft Planning Issue	171213
D	Planning Issue	171221
E	Amended annotations to existing stable and paving detail	180801
F	Draft Planning Issue	230623
G	Draft Planning Issue	140723
H	Planning Issue	290923

PROPOSED

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.
 HÛT Architecture
 3rd Floor
 35-39 Old Street
 London EC1V 9JK
 T 020 7299 8680
 E info@hutarchitecture.com

HÛT

Job: St Mary's Road
 Job No: H384
 Drawing: Proposed West Elevation (North Block)
 Scale: 1:50 @ A1, 1:100 @ A3
 Drawing No: P037
 Revision: H

0 2.5 5 m

P037 Proposed West Elevation (North Block) 1:50 @ A1, 1:100 @ A3

NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION.
 The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others.
 Dimensions and setting out - should be checked on site; see above.

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.

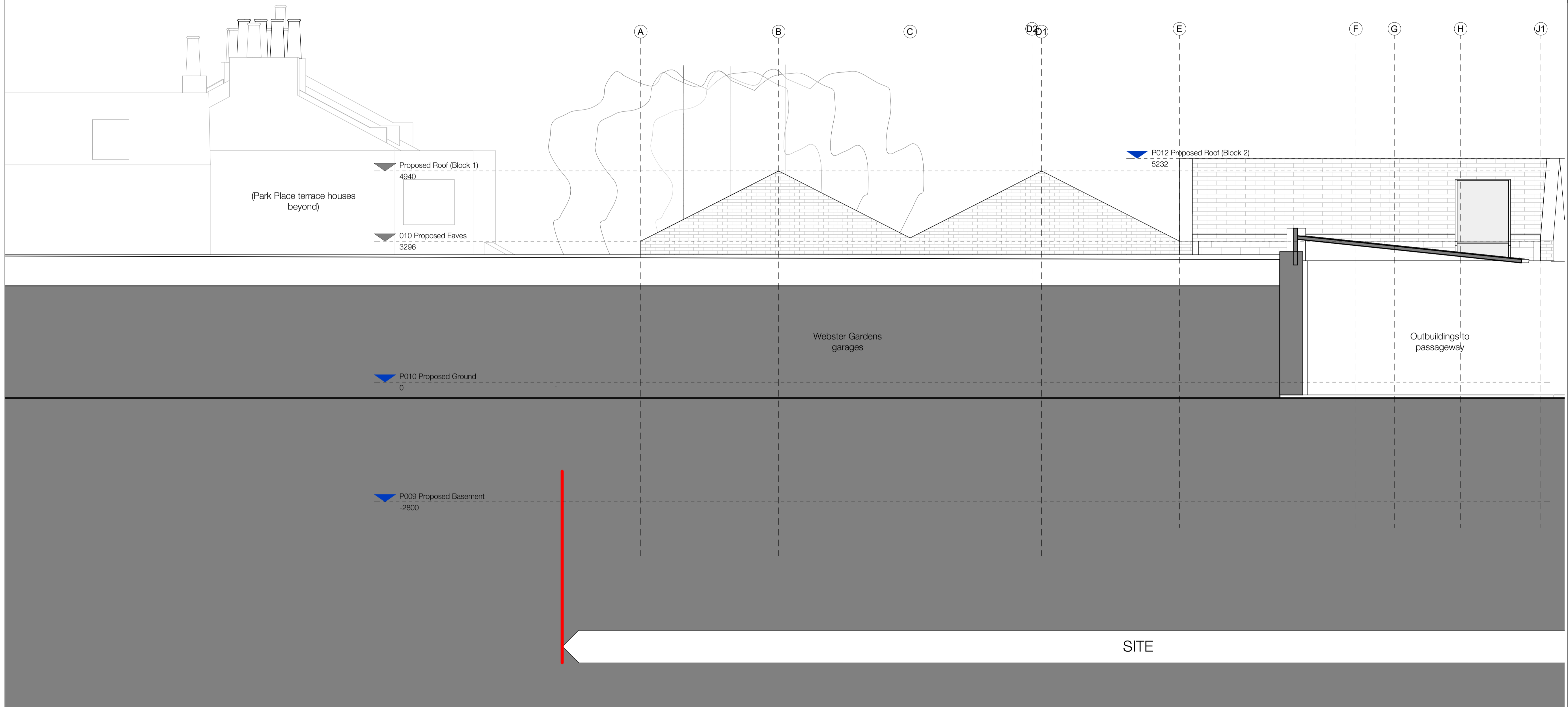
Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.

Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:
 Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.



Revisions		
No.	Description	Date
A	Draft Planning	170407
B	Planning Issue	170508
C	Draft Planning Issue	171213
D	Planning Issue	171221
E	Planning Issue	180102
F	Draft Planning Issue	230623
G	Draft Planning Issue	140723
H	Planning Issue	290923

PROPOSED

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.
 HÛT Architecture
 3rd Floor
 35-39 Old Street
 London EC1V 9JK
 T 020 7299 8680
 E info@hutarchitecture.com



Job: St Mary's Road
 Job No: H384
 Drawing: Proposed North Elevation
 (North Block)
 Scale: 1:50 @ A1, 1:100 @ A3
 Drawing No: P038
 Revision: H



P038 Proposed North Elevation (North Block) 1:50 @ A1, 1:100 @ A3



NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a **PLANNING APPLICATION**. The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others.

Dimensions and setting out - should be checked on site; see above

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations

Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions

Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences

Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences

NOTE:

Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power

Revisions		
No.	Description	Date
C	Draft Planning	170407
D	Planning Issue	170508
E	Draft Planning Issue	171213
F	Planning Issue	171221
G	Amended annotations to existing stable and paving detail	180801
H	Draft Planning Issue	230623
I	Draft Planning Issue	140723
J	Planning Issue	290923

PROPOSED

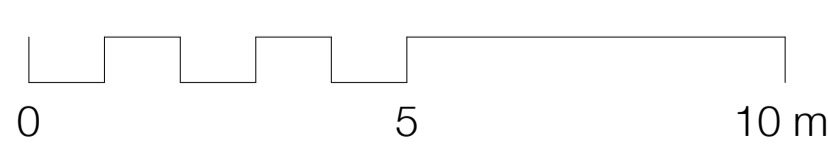
Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

HÛT Architecture
3rd Floor
35-39 Old Street
London EC1V 9HX
T 020 7299 8680
E info@hutarchitecture.com

HÛT

Job: St Mary's Road
Job No: H384
Drawing: Proposed Section 01

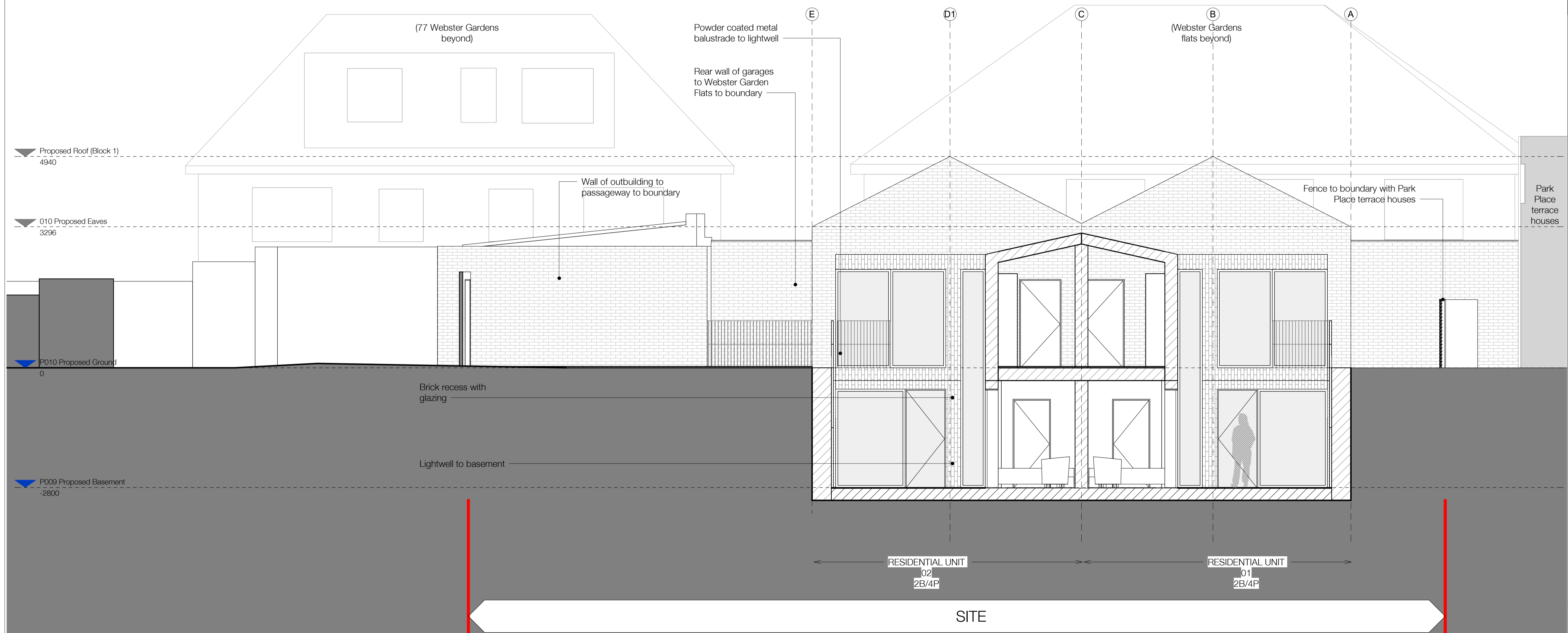
Scale 1:100 @ A1, 1:200 @ A3
Drawing No: P040
Revision: J



P040 Proposed Section 01 1:100 @ A1, 1:200 @ A3

NOTE:
 Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION.
 The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others.
 Dimensions and setting out - should be checked on site; see above.
 Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.
 Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.
 Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.
 Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.
 Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.
 Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:
 Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.



Revisions		
No.	Description	Date
C	Draft Planning	170407
D	Planning Issue	170508
E	Draft Planning Issue	171213
F	Planning Issue	171221
G	Planning Issue	180102
H	Draft Planning Issue	230623
I	Draft Planning Issue	140723
J	Planning Issue	290923

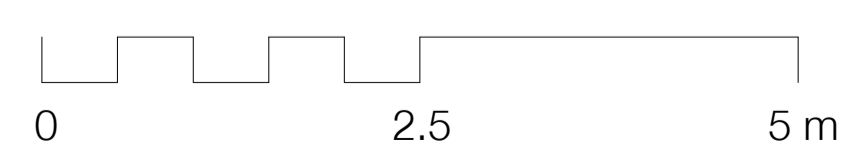
PROPOSED

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.
 HÛT Architecture
 3rd Floor
 35-39 Old Street
 London EC1V 9JK
 T 020 7299 8680
 E info@hutarchitecture.com



Job: St Mary's Road
 Job No: H384
 Drawing: Proposed Section 02

Scale: 1:50 @ A1, 1:100 @ A3
 Drawing No: P041
 Revision: J



P041 Proposed Section 02

1:50 @ A1, 1:100 @ A3