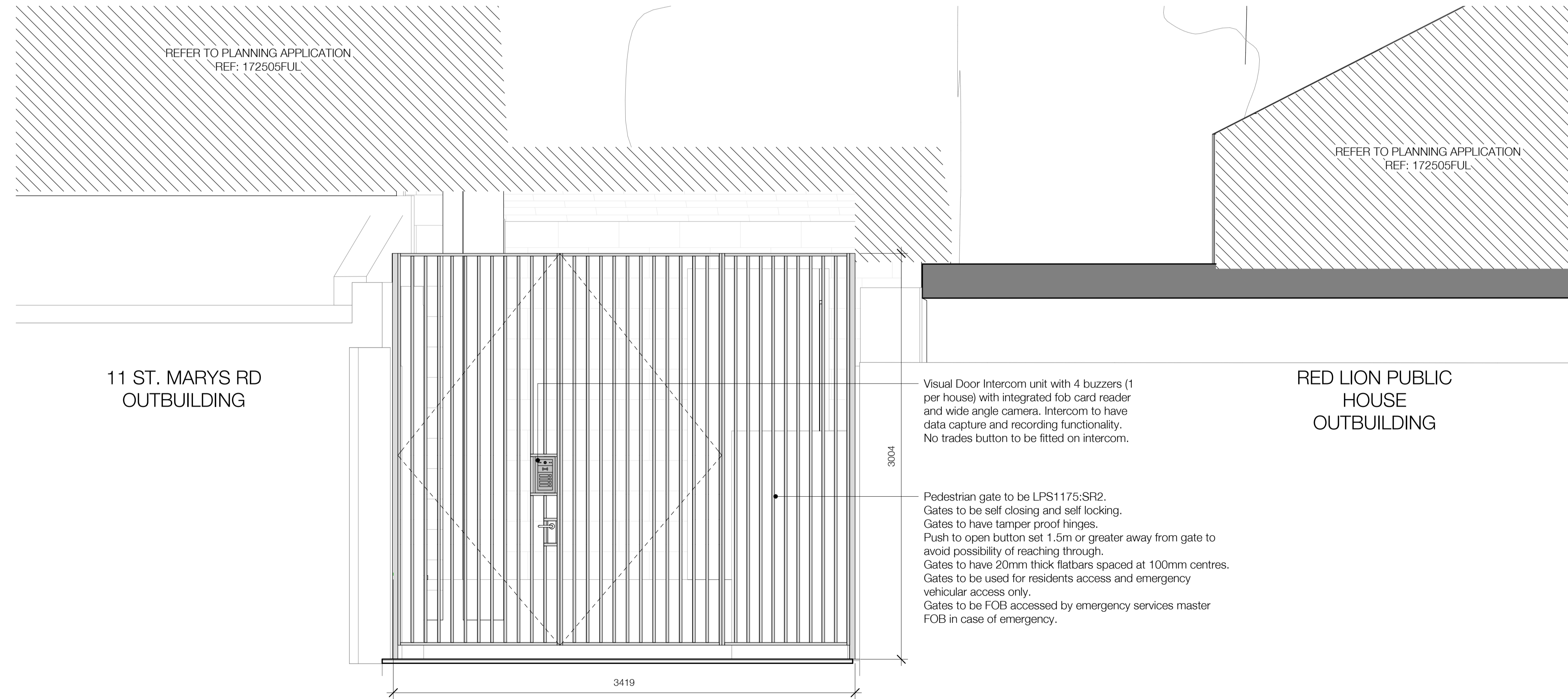
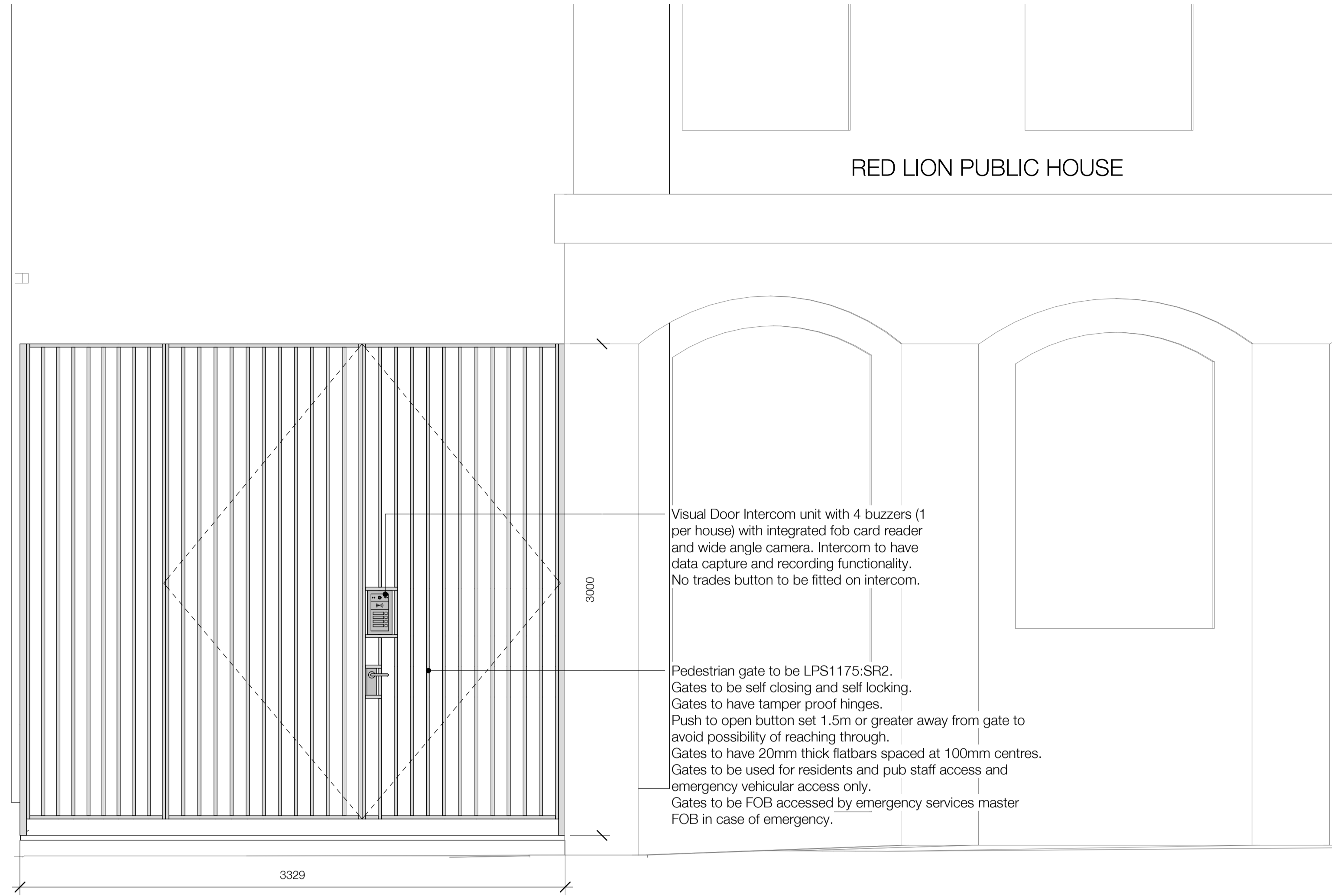




**1 P007 St Mary's Road Elevation - Gate 01**  
Scale - 1 : 20



**2 P007 St Mary's Road Elevation - Gate 02**  
Scale - 1 : 20

**P006 - D - Proposed SMR Gate Elevations**

**PLANNING NOTES**

Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION.

The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others.

Dimensions and setting out - Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.

Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.

Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

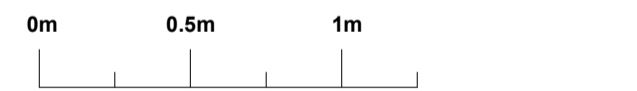
Areas - the areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.

**REFERENCE KEY**

- Site Boundary
- Party Wall Line
- Existing Walls
- Demolished Walls
- Proposed Walls

09.01  
TYPICAL OFFICE  
100sqm  
1000sqft

**Room Details**



Rev	Date	Description	Author	Checker
A	22.06.23	Draft Planning Issue	JG	RD
B	14.07.23	Draft Planning Issue	JG	RD
C	25.07.23	Draft Planning Issue	SA	RD
D	29.09.23	Planning Issue	SA	RD

**PLANNING**

Project Number    Project Name  
**H384    St Mary's Road**

Drawing Name  
**Proposed SMR Gate Elevations**

Scale at A1 / A3  
**1:20 / 1:40**

Drawing Number    Revision  
**H384 - HUT - ZZ - 10 - DR - A - P006    - D**

HÛT Architecture  
Studio 314  
Mare St Studios  
London E8 3JS  
020 7399 8680  
info@hutarchitecture.com