11 ST. MARYS RD RED LION PUBLIC HOUSE Visual Door Intercom unit with 4 buzzers (1 per house) with integrated fob card reader and wide angle camera. Intercom to have data capture and recording functionality. No trades button to be fitted on intercom. Pedestrian gate to be LPS1175:SR2. Gates to be self closing and self locking. Gates to have tamper proof hinges. Push to open button set 1.5m or greater away from gate to avoid possibility of reaching through. Gates to have 20mm thick flatbars spaced at 100mm centres. Gates to be used for residents and pub staff access and demergency vehicular access only. □ Gates to be FOB accessed by emergency services master FOB in case of emergency. **▶ 1** P007 St Mary's Road Elevation - Gate 01 3329 Scale - 1 : 20 REFER TO PLANNING APPLICATION, REF: 172505FUL REFER TO PLANNING APPLICATION \ REF: 172505FUL 11 ST. MARYS RD RED LION PUBLIC Visual Door Intercom unit with 4 buzzers (1 OUTBUILDING per house) with integrated fob card reader HOUSE and wide angle camera. Intercom to have OUTBUILDING data capture and recording functionality. No trades button to be fitted on intercom. Pedestrian gate to be LPS1175:SR2. Gates to be self closing and self locking. Gates to have tamper proof hinges. Push to open button set 1.5m or greater away from gate to avoid possibility of reaching through. Gates to have 20mm thick flatbars spaced at 100mm centres. Gates to be used for residents access and emergency vehicular access only. Gates to be FOB accessed by emergency services master FOB in case of emergency. 3419

2 P007 St Mary's Road Elevation - Gate 02 Scale - 1:20

P006 - D - Proposed SMR Gate Elevations

PLANNING NOTES

Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION.

The drawings should therefore not be used for any other purpose without both the prior the agreement of the architect, and subsequent checking / development by

contractor and to be his responsibility.

Dimensions and setting out - Do not scale from this drawing. All dimensions to be checked on site by the

Structure & Construction – these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations

Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions

Party Walls & Rights to Light – the client/ the contractor will ensure that any notices and consents required are obtained before work commences

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work

Archaeological & Ecological – the client/ the contractor will ensure that any notices and consents required are obtained before work commences

Areas – the areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.

REFERENCE KEY

Party Wall Line

TYPICAL OFFICE Room Details 100sqm 1000sqft

A 22.06.23 Draft Planning Issue B 14.07.23 Draft Planning Issue C 25.07.23 Draft Planning Issue SA RD D 29.09.23 Planning Issue

PLANNING

St Mary's Road

Drawing Name

Proposed SMR Gate Elevations

Scale at A1 / A3

1:20 / 1:40

Drawing Number

H384 - HUT - ZZ - 10 - DR - A - P006 - D

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