

Client

Dome Assets Ltd

Architect

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314 Mare Street Studios
203-213 Mare Street
London E8 3JS

Site Address

Passage to the side of Red Lion PH
St Mary's Road
London W5 5RA



REVISION LOG:

/	25.07.23	Draft
A	29.09.23	Planning Issue
B	11.10.23	Planning Issue

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PROJECT TEAM

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Transport Consultant
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1.0 INTRODUCTION

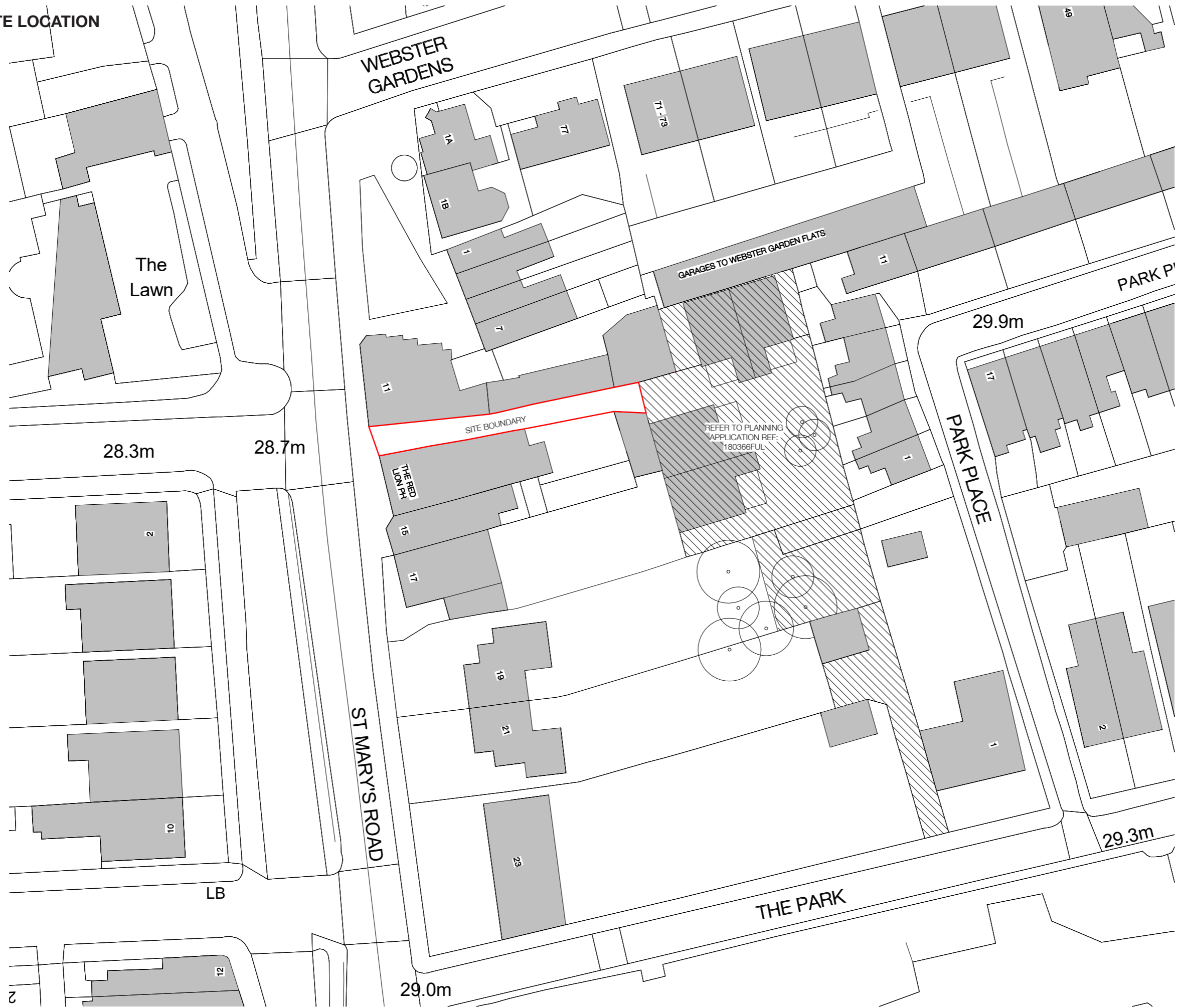
This full planning application seeks permission for improvement works to the passage way alongside the Red Lion Public House on St Mary's Road, Ealing. Proposed works are to enable access to the land behind the Red Lion PH in order to facilitate planning permission **180366FUL**.

That permission for four new semi-detached homes to the backland site was granted in January 2019 and a material start has been implemented. This application seeks to revise arrangements such that the passage way to the side of the Red Lion PH, from St Mary's Road, provides all access to the backland development site, instead of the passage way from The Park to the south, as originally proposed.

Proposed works intend to upgrade the finish, safety and security of this more direct passageway for the benefit of new residents and the Public House, as well as improve presentation onto the public realm.

This approach also negates possible disturbance to the properties at 19, 21 and 23 St Mary's Road and allows the full extent of garden to be restored to listed property 19 St Mary's Road as a heritage benefit.

2.1 SITE LOCATION



PLANNING NOTES

Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION.

The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others.

Dimensions and setting out - Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.

Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

Freshholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.

Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

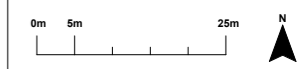
Areas - the areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.

REFERENCE KEY

- Site Boundary
- Party Wall Line
- Existing Walls
- Demolished Walls
- Proposed Walls

09.01
TYPICAL OFFICE
100sqm
1000sqft

Room Details



Rev	Date	Description	Author	Checker
A	22.06.23	Draft Planning Issue	JG	RD
B	14.07.23	Draft Planning Issue	JG	RD
C	25.07.23	Draft Planning Issue	SA	RD
D	29.09.23	Planning Issue	SA	RD
E	11.10.23	Planning Issue	SA	RD

PLANNING

Project Number: H384
Project Name: St Mary's Road

Proposed Block Plan

Scale at A1 / A3
1:500 / 1:1000

Drawing Number: H384 - HUT - ZZ - 00 - DR - A - P002
Revision: - E

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2.2 EXISTING SITE CONDITION



View from St Mary's Road

- > Unsightly front gate lets down the appearance of the locally listed Public House



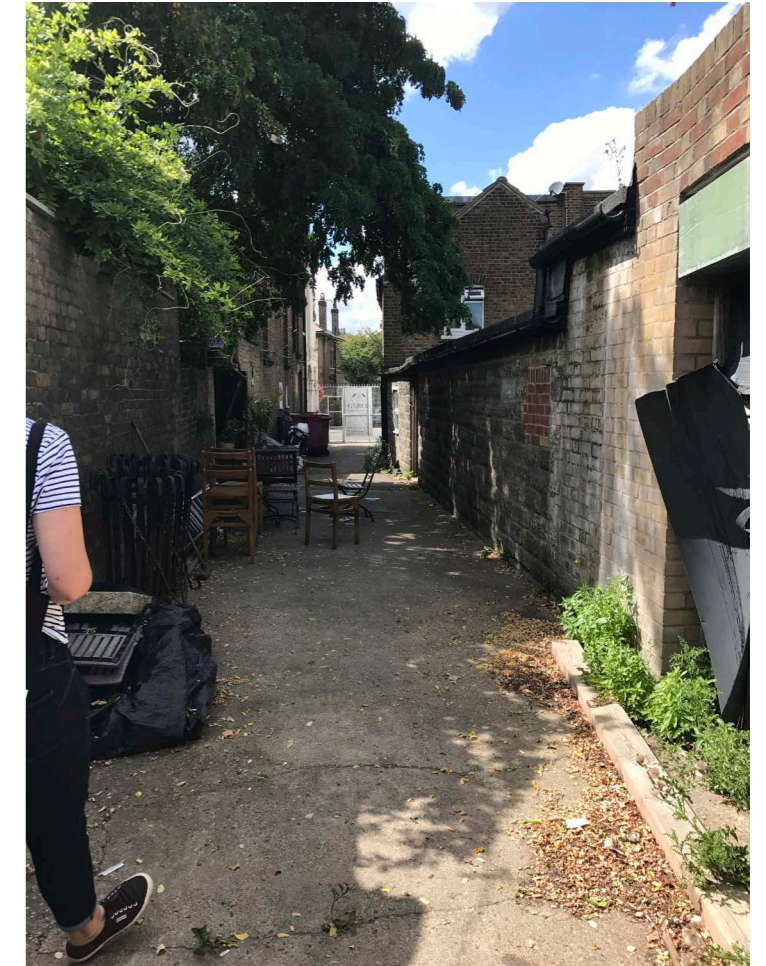
View from pavement

- > Unsightly front gate with poor security performance
- > No lighting, CCTV or passive supervision



View from front gate

- > Poor and damaged surfacing with uneven levels and patchwork tarmac repairs
- > Unsightly and disorganised pub bins
- > No external lighting creates unsafe and hostile environment
- > General state of disrepair attracts antisocial behaviour, littering, and flytipping



View from backland site, back towards St Mary's Road

- > Disused frontage to flank of 11 St Mary's Road site
- > End of long passage way is secluded, dark, and unsupervised

3.1 DOCO FILE NOTES, SEPTEMBER 2023

HUT held an up-to-date consultation with Dean Davies (DD), Designing Out Crime Officer for Ealing, on 7th September 2023. Proposals within this application adhere to the Secured By Design advice given for this application site, as follows:

Local Crime Risk:

- > Risk of crime within both the public and non-public areas of the proposed development, and the interaction between the two, should be considered at the outset and preventative measures made.
- > Crime data highlights the following crimes reported in the area: a high volume of violence and sexual offences, anti-social behavior, vehicle crime and theft offences.
- > Serious consideration must be given to crime and anti-social behaviour at the proposed development site. It is recommended to incorporate police-preferred and security-rated physical security products.

St Mary's Road Passage Way:

- > DD accepts passageway is the only available route to the development site and considers that measures can be taken to reach an acceptable level of safety and security.

Gates:

- > Primary Gate should be tested and accredited to one of the following standards: LPS1175:SR2 or STS202:BR2. Ideally gated full height, with Audio/Visual fobbed access control, all gates should be fitted using anti tamper proof hinges. All hinges and brackets must be fitted in such a way so as not to create a climbing aid. Gates to be self-closing & self-locking, No Trades Button on control panel. Egress button to be minimum of 1.5 metres from gate so no opportunity to reach through. If there is an ability using an extension of your body then a shroud should be fitted.

- > On reflection of the crime data that has highlighted crime occurring directly in the immediate vicinity of the proposed development and local environs, including serious crimes such as violent & Sexual offences, Theft and Anti-Social behaviour, DD recommends that the secondary gate leading to the dwellings is also one of the following standards: LPS1175:SR2 or STS202:BR2.
- > Data capture & record to audio visual access control is ideal.
- > Pub gate/s should be egress-only from the pub garden, for waste disposal by staff only, shut at all other times with no door furniture on the passage side. Pub should not be accessed via the passage, only via the street front. No pub furniture should be placed in the passage.

Lighting:

- > Bulk heads on dusk-till-dawn operation, not PIR.
- > Light fittings at regular intervals along passageway.
- > White light temperature recommended, unless alternative proposed by a lighting engineer.

CCTV:

- > CCTV is considered of limited practical use in crime investigation however can be reassuring to residents and to some extent a deterrent. Given lack of passive surveillance at end of passage, a camera would be recommended here. SSAIB and NSI manage and certify the best CCTV security companies. They or their approved firms can advise on best camera positioning. CCTV would have to be managed by site management.
- > 'CCTV in operation' signage is helpful.

Bins:

- > No blind spots should be created by any object. Bin store areas should be fully enclosed and positioned so as not to provide climbing aids to other vulnerable areas or dwellings.

Post / parcel storage:

- > Security standard TS0009 for post/parcel boxes.
- > Site management strategy could encourage tenants to make use of shop / public locker methods for parcel delivery to reduce on-site parcels available to theft.

4.1 PROPOSED WORKS

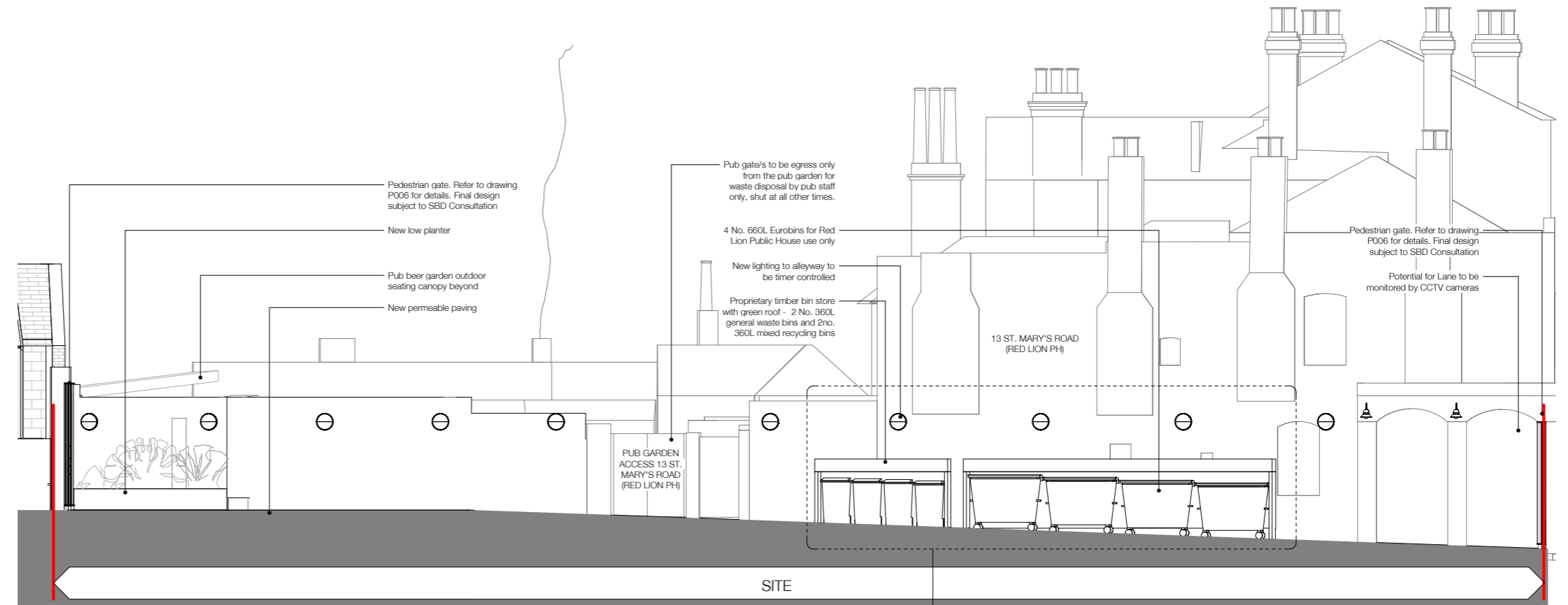
Access controls will limit use of the passageway to residents of the new homes and their guests; post and delivery staff; and the Red Lion Pub operator.

The accompanying Transport statement outlines the no-vehicle strategy along with emergency servicing and waste collection arrangements.

Management of the passageway is the joint responsibility of the Red Lion Public House and the developer of the backland site and/or their appointed management operator.

Physical works can be surmised as:

- > Installation of 2 no. new black-painted, vertical metal bar security gates for pedestrian and postal use (only) at either end of the passage. Gates to Secured By Design criteria, forming two lines of security to the residential development.
- > Installation of new security-rated floor-mounted post and parcel boxes within the passage way to serve the four homes of the residential development proposed in application **180366FUL**.
- > Resurfacing with permeable paving blocks.
- > Installation of 2 no. new proprietary, green-roofed timber bin shelters within the passage serving The Red Lion PH and the residential development proposed in application **180366FUL**. Pub bins comprise 4No. 660L bin for use as per operational requirements with collections organised privately. Residential bins comprise 2 no. 360L general waste bins and 2 no. 360L mixed recycling bins with collections organised privately.
- > Installation of new bespoke timber planter to far end of passage way to mitigate any potential blind spot or hiding place but without forming a climbing aid.
- > Installation of new wall-mounted traditional lighting to the flank wall of the locally-listed Pub.
- > Installation of new bulk-head security lighting to passage way, wall-mounted to the Pub's garden wall.
- > Installation of wall-mounted CCTV cameras to the flank wall of the pub and its garden wall.



South Elevation

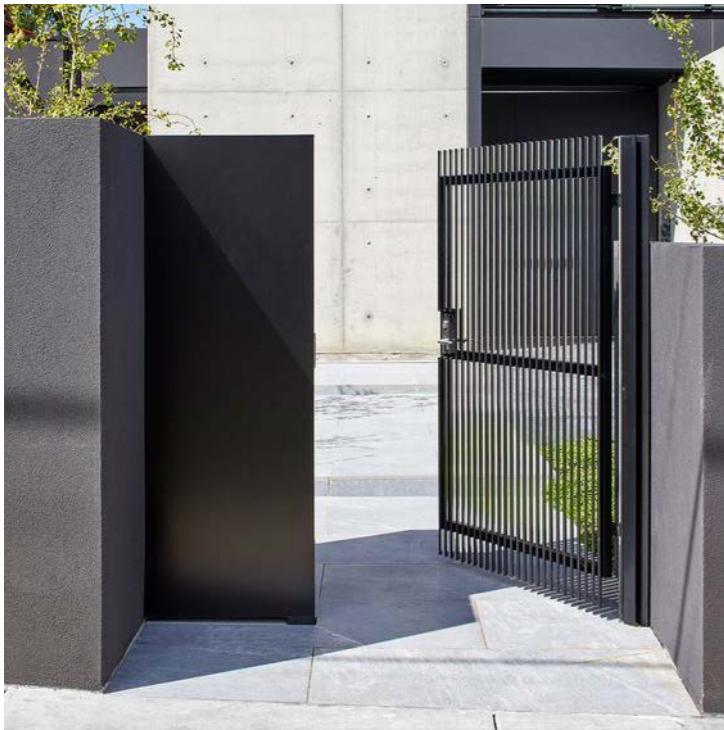


Plan

4.2 PROPOSED MATERIALS



Wall-mounted traditional lighting to pub flank walls



Black-painted metal vertical bar security gates



Wall-mounted bulk-head security lighting to passage

Timber bin shelters with green roofing

Permeable block paving

5.0 CONCLUSION

The proposed access arrangements provide various benefits over the previously permitted layout:

- > Provides more direct pedestrian access to the new homes from St Mary's Road and Ealing Town Centre.
- > Removes vehicular access off the main road network and restricts access to residents and permitted guests and staff on foot.
- > Improves the streetscape of St Mary's Road with new gates and improved presentation onto the pavement.
- > Improves passive surveillance of the residential site access with public views along the straight passageway from St Mary's Road.
- > Improves the bin storage provision to The Red Lion Public House.
- > Improves the safety and security of the existing passage way.
- > Removes any possible disturbance to the rear of properties 19, 21, and 23 St Mary's Road.
- > Allows the full extent of garden to be restored to listed property 19 St Mary's Road as a heritage benefit.



Proposed view from front gate



Existing view from front gate