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Flood Risk Assessment Report

Including Groundwater Assessment

Application for development on land known as
The Footpath Field, Westfield Road, Eppleworth,
HU16 5YJ

Client
Ms Ellen Harrison

White House Farm
Westfield Road
Eppleworth
HU16 5YJ

Our Ref J5622

Rev
Date 26 Sept 2023
By Engineer MH

Flood Risk Assessment Report

J5622 – Footpath Field, Eppleworth

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Client: Ms Ellen Harrison

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Introduction

GTCE have been commissioned by Ms Ellen Harrison of White House Farm, Westfield Road, Eppleworth, HU16 5Y to carry out a flood risk assessment in relation to the development of a Riding arena and associated development.

Since the introduction of the ODPM Planning and Policy Guidance Note 25 – 'Development and Flood Risk' (PPG25), the Local Authority Planning Department in conjunction with the Environment Agency have to evaluate all developments in respect to flood risk.

PPG25 was however superseded by Planning Policy Statement 25 (PPS25) Development & Flood Risk in December 2006 and revised in March 2010.

PPS25 has now been superseded by the National Planning Policy Framework (NPPF) with particular reference to Paragraph 9 of the Technical Guidance to the NPPF published in March 2012 (revised in July 2018).

The aims of planning policy on development and flood risk are to ensure that flood risk is taken into account at all stages in the planning process to avoid inappropriate development in areas at risk of flooding, and to direct development away from areas at highest risk.

Where new development is, exceptionally, necessary in such areas, policy aims to make it safe without increasing flood risk elsewhere and where possible, reducing flood risk overall.

This site-specific flood risk assessment forms part of the necessary evaluation of the proposed development as set out in Paragraph 9 of the Technical Guidance to the NPPF.

Extracts included in this report have been taken from various sources such as the NPPF, the Technical Guidance to the NPPF, the Council's Strategic Flood Risk Assessment (SFRA) Report & sundry other publications and these are generally shown in italics.

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Proposed Development

The proposed development will involve the development of a new riding arena with a permeable black rubber surface, welfare facilities, four isolation and treatment stables and a field shelter/ horse shelter/ storage to replace a previous storage facility that has fallen due to age. A plan of the proposed development can be seen within the appendices to the report.

The site is located to the north of Westfield Road to the east of White House Farm, as shown on the plan in the appendices.

The site has a road frontage level of approximately 30m AOD. The site itself rises in height as you head northwards. No topographical information is currently available to ascertain the average site level.

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Flood Risk Criteria

The Environment Agency flood map shows that the site is within Flood Zone 1 – see extract Flood Map at Figure 1 below.

Flood map showing the flood zone your site is in

The map shows the flood risk to your site and the surrounding area.



Figure 1:- Flood Map

Flood Zone 1 is defined as the low probability zone in terms of flood risk (Ref: Table 1 Flood Zones in the Technical Guidance to NPPF) where land is assessed as having a less than 1 in 1000 annual probability of river or sea flooding (<1%),.

A Level 1 Strategic Flood Risk Assessment was approved by the Cabinet of East Riding of Yorkshire County Council and was formally signed off by the Environment Agency in November 2019.

It is the requirement of the developer and Local Planning Authority (LPA) to carry out, where necessary, the Sequential and Exception Tests outlined in the NPPF document.

Ref: Paragraph 100 of NPPF - *Local Plans (prepared by local planning authorities) should apply a sequential risk based approach to the location of development to avoid where possible flood risk to people and property and manage any residual risk, taking account of the impacts of climate change, by:*

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- *applying the Sequential Test;*
- *if necessary applying the Exception Test;*
- *safeguarding land from development that is required for current and future flood management;*
- *using opportunities offered by new development to reduce the causes and impacts of flooding; and*
- *where climate change is expected to increase flood risk so that some existing development may not be sustainable in the long term, seeking opportunities to facilitate the relocation of development, including housing, to more sustainable locations.*

The land use for this development is a mixture of *agriculture and leisure*. Agricultural land is classified as *less vulnerable* land, and land used for *leisure* is defined as *more vulnerable* land within Table 2 (Flood risk vulnerability classification) in the Technical Guidance to NPPF. Taking a precautionary approach the land will be considered *more vulnerable* for the purpose of this assessment.

Table 3 (Flood Zones, compatibility) in the Technical Guidance to NPPF states that *more vulnerable* uses of land in Flood Zone 1 are appropriate and do not require the Exception test. The Sequential Test will still apply.

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Sources of Flooding

The site is approximately 6.68km to the North of the Humber Estuary, with unnamed EA controlled drain to the southern border of the site that leads to Keldgate Springs, as can be seen at Figure 2 below.



Figure 2:- EA controlled watercourse

The report will therefore assess the risk to the proposed development of flooding as a result of water levels within the Humber Estuary and levels within the drain to the south of the site.

Flooding due to the potential lack of capacity of the local public sewer network in the event of heavy rain also needs to be taken into account as part of the flood risk assessment where applicable.

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Flood Risk to Development Site

Fluvial and Tidal

There are no modelled tidal flooding scenarios available, however, the Environment Agency Flood Risk from Rivers and Sea Map data and the mapped data from East Riding of Yorkshire Council (ERYC) indicate that there should be no flooding on site for relevant events.

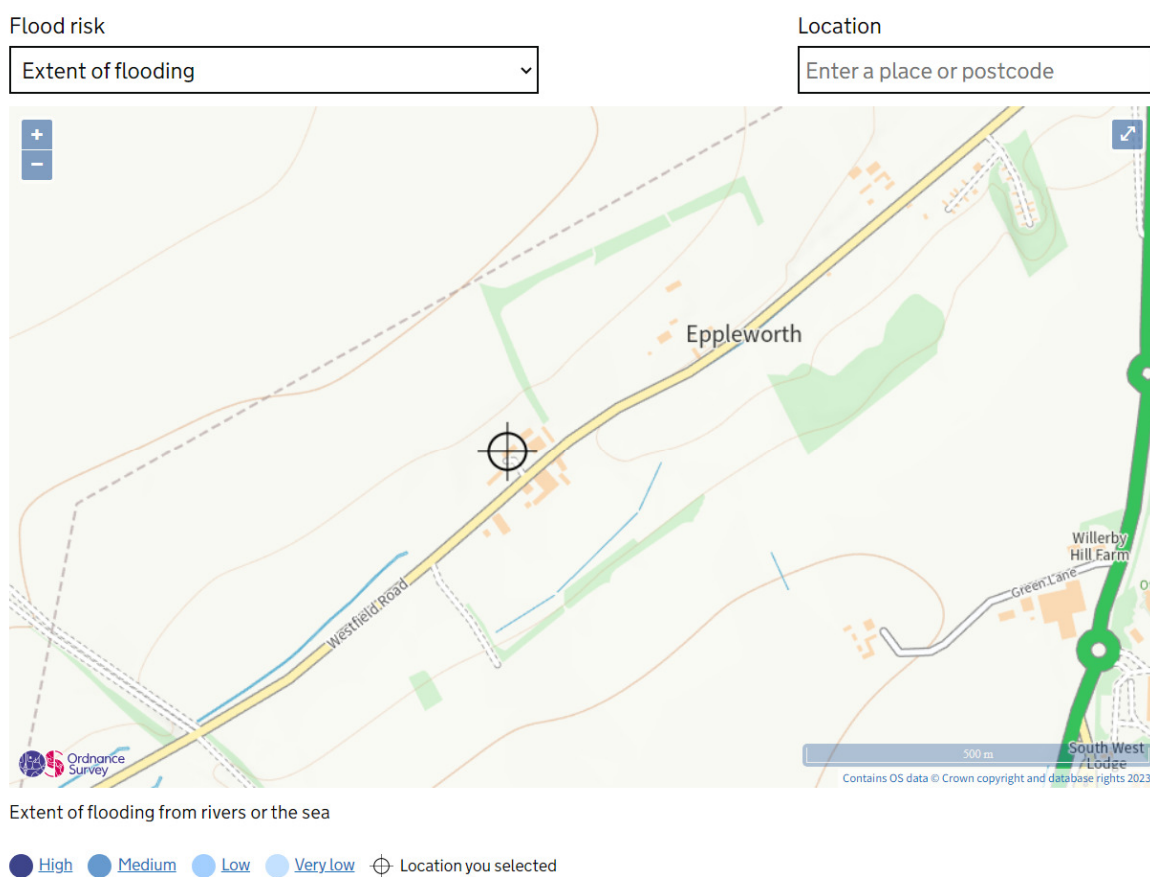


Figure 3:- Environment Agency Mapped Data

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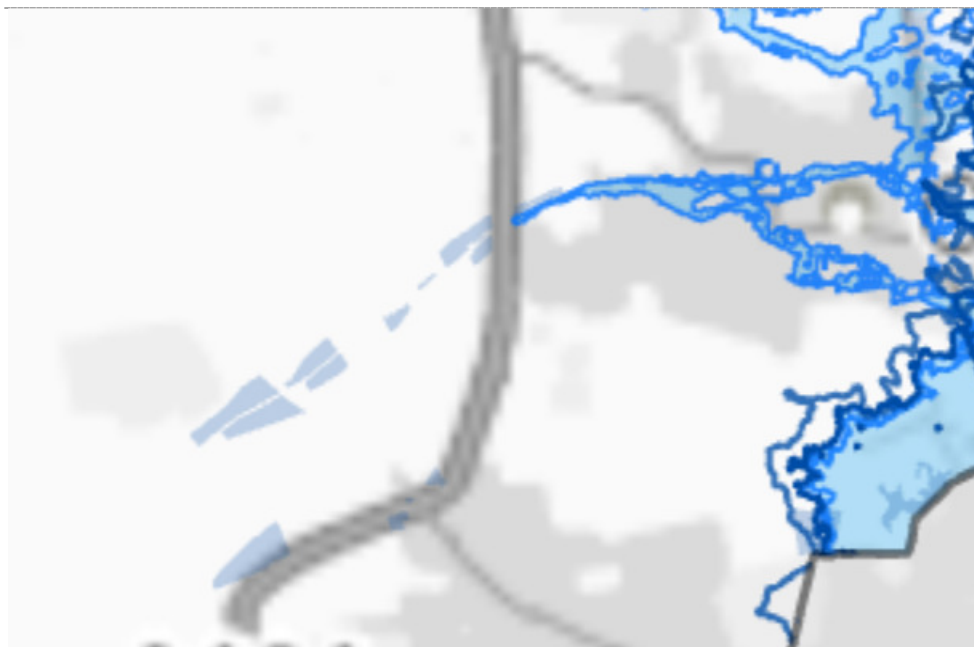


Figure 4:- ERYCC Map

Historical Flooding

Historic Flooding data from the ERYC shows flooding in Westfield Road during a flood event in 2007, however not on the development site, as can be seen in Figure 5 below.

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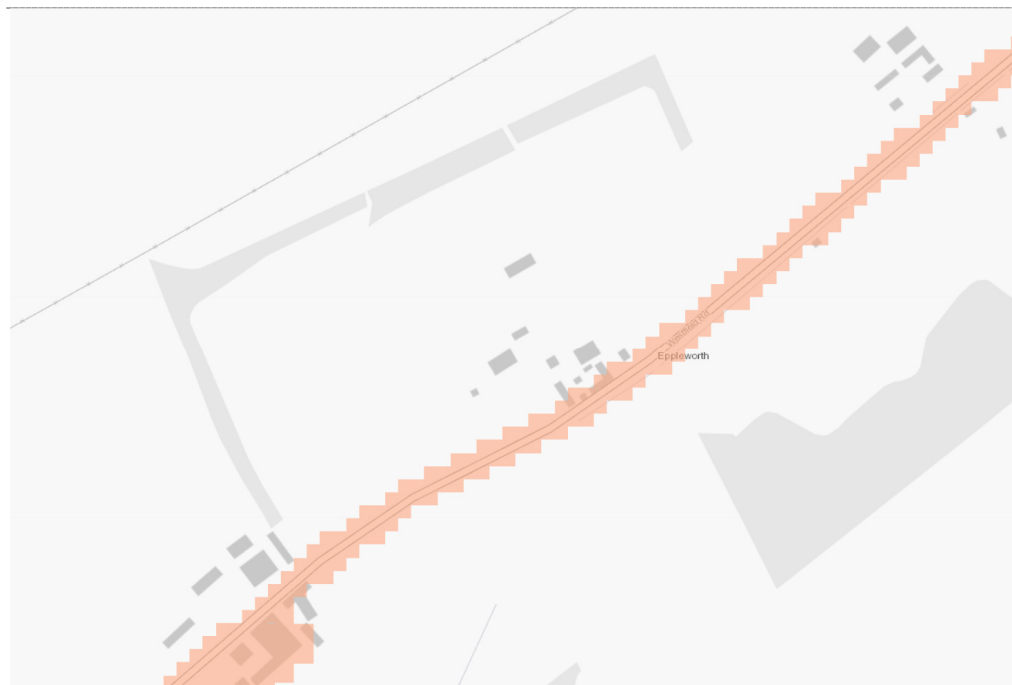


Figure 5:- Historic Flooding

Surface and Ground Water Assessment

The EA 'Flood Risk from Surface Water' map (as shown on the ERYC mapped data) indicates that surface water due to rain will not pose a risk on site from any of the high risk (each year this area has a chance of flooding from rainfall of greater than 3.3%), medium risk (each year this area has a chance of flooding of between 1% and 3.3% from rainfall events) or low risk (each year this area has a chance of flooding of between 0.1% and 1% from rainfall events) events as can be seen at Figure 6 below.

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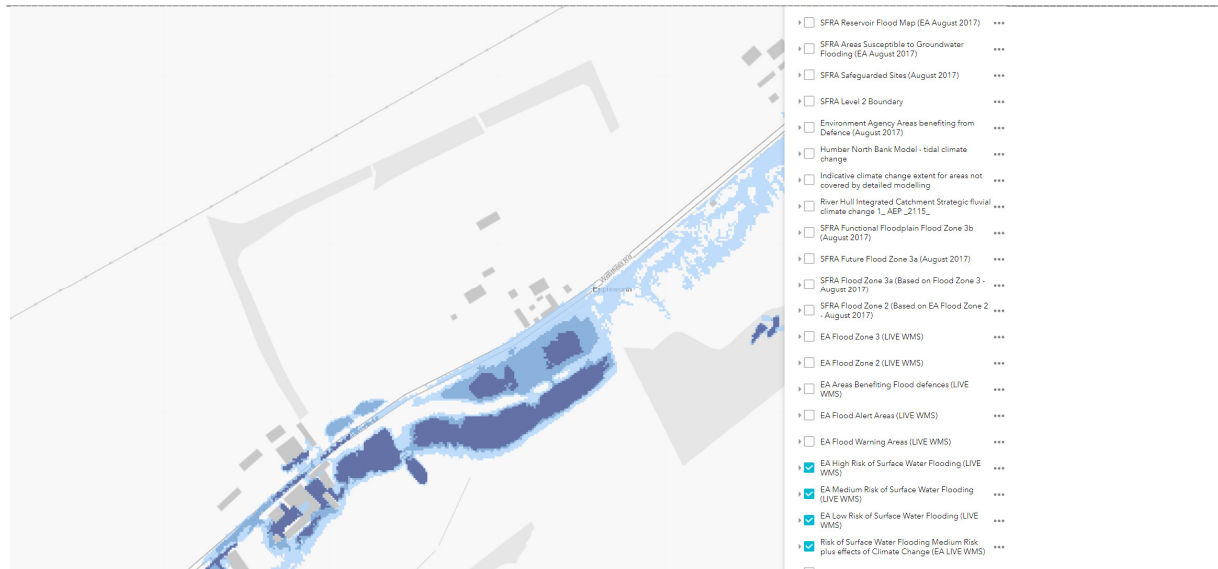


Figure 6:- Surface Water Flooding Mapped Data

Mapped data indicates the development site is not in an area susceptible to groundwater flooding as can be seen at Figure 7 below.

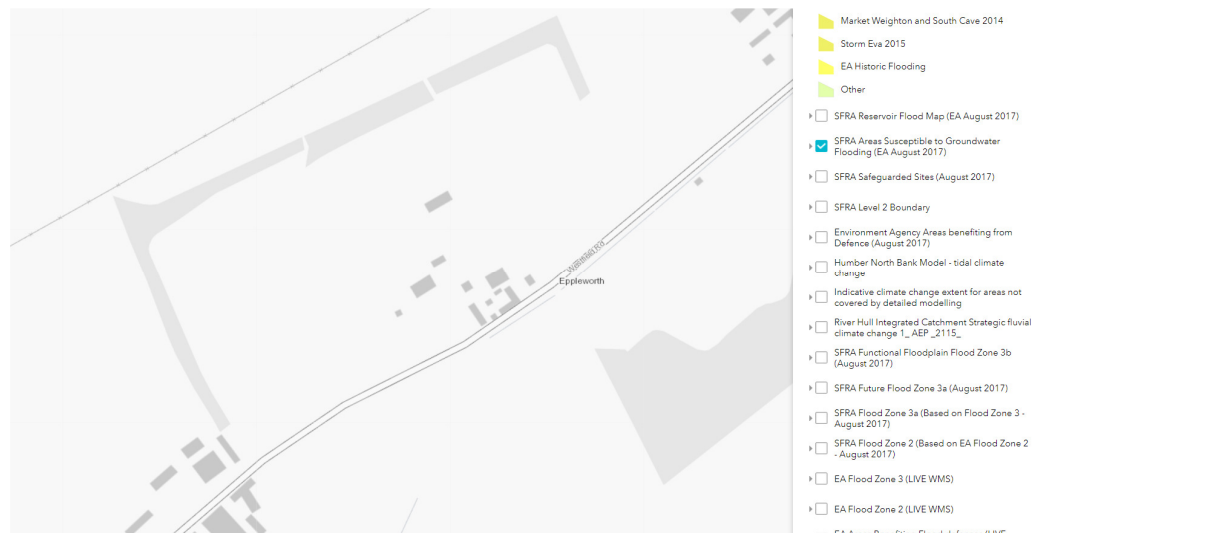


Figure 7:- Ground Water Susceptibility Mapped Data

Flooding from Sewers

There's no existing sewer that serving serves the development that should pose a flood risk.

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Sequential Test

As highlighted in the Technical Guidance to NPPF, the purpose of the sequential test *should be to steer new development to Flood Zone 1. Where there are no reasonably available sites in Flood Zone 1, local planning authorities allocating land in local plans or determining planning applications for development at any particular location should take into account the flood risk vulnerability of land uses,.. and consider reasonably available sites in Flood Zone 2 applying the Exception Test if required.*

The site being within Flood Zone 1 with no apparent flood risks from relevant events is within an ideal location for this development in terms of flood risk and as such is a sequentially preferable site.

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Recommendations

The proposed development is sited within Flood Zone 1 within the ERYC SFRA Flood Maps.

Table 8-3 of the Spatial Planning & Development Control Recommendations of the ERYC SFRA provides differing recommendations based on the flood zone they lie within. For the purposes of flood mitigation, it is appropriate to consider the recommendations set out for development within Flood Zone 1.

Recommendation	FLOOD ZONE			
	Development within Goole and Hedon should refer to the latest Level 2 SFRA for these two areas. The Level 2 SFRA provides additional guidance and recommendations for these areas and these must be considered over and above the recommendations provided for the flood zones in this table.			
	Zone 3b (Functional Floodplain)	Zone 3a (High Probability)	Zone 2 (Medium Probability)	Zone 1 Low Probability
DEVELOPMENT MANAGEMENT RECOMMENDATIONS				
Sequential Test	Required.	Required (unless the site falls under one of the circumstances below).	Required (unless the site falls under one of the circumstances below).	Not required unless information shows there may be flooding issues now or in the future from any source. The Level 1 SFRA climate change maps should be used as a starting point to identify areas that may be at risk from fluvial or tidal flooding in the future. If information shows the site may be at risk in the future, the Sequential Test should be undertaken to determine if there are more appropriate sites for the development.
	Need not apply if the site is allocated in the Local Plan unless the proposal is for a use for which the site was not allocated for or if evidence suggests the level of flood risk has increased since the site was allocated. Minor developments (as defined by the Planning Practice Guidance) need not undertake the Sequential Test Sequential Test does not need to be applied to minor developments and changes of use, except for a change of use to a caravan, camping or chalet site, or to a mobile home or park home site. Replacement dwellings with no increase in the number of dwellings or footprint of dwellings need not undertake the Sequential Test.			
Detailed FRA	Required, including minor development and change of use.	Required – including minor development and change of use.	Required – including minor development and change of use.	Required for sites greater than 1 ha in area. Required for sites where they could be affected by other sources of flooding other than rivers and sea.
	Consider if Environment Agency National Flood Risk Standing Advice applies.			
	An assessment of the residual risk of flooding will be required for FRAs where sites are protected by flood defences Applicants are encouraged to demonstrate their proposal will deliver a positive reduction in flood risk overall. If this is not possible then consideration needs to be given to whether a contribution to flood risk management infrastructure may be appropriate. The FRA should specify whether the site is in an area of surface water or groundwater risk and, if so, provide an explanation of how the risk will be addressed.			
Finished Floor Level	To be agreed on a site by site basis.	Finished floor levels to be set at 600mm above average site level or adjacent road frontage level, 'design flood' level or maximum historic flood level (if available), whichever is higher. An additional 300mm flood proofing should also be provided. (Road frontage level defined as the average between the gutter and the crown of the road).	Finished floor levels to be set at 300mm above average site level or adjacent road frontage level, 'design flood' level or maximum historic flood level (if available), whichever is higher. An additional 300mm flood proofing should also be provided. (Road frontage level defined as the average between the gutter and the crown of the road).	No minimum level stipulated however this should be informed by the site specific Flood Risk Assessment, considering the predicted impacts of climate change and other sources of flooding. Where not specified, Finished Floor Levels should be raised 150mm above average ground levels or adjacent road frontage (whichever is highest), providing a nominal level of protection.

Figure 8:- Table 8-3 Recommendations

Therefore, and in accordance with Table 8-3 it is recommended that there is no minimum level to be stipulated for the finished floor level. When considering all flood risk factors for relevant events there should be no depth of flooding at the proposed developments. Any measures of flood resistance or resilience are therefore at the developers discretion.

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Appendices

Notes:

DANGER ELECTRICITY service into existing buildings.
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DANGER WATER supply to be located and isolated prior to removal of any pipework. Water supply pipe to be adequately protected at all times. If advice is required contact relevant water authority.

DANGER Electrical safety, all electrical required to meet the requirements of Part P (Electrical Safety) must be designed, installed, inspected and tested by a person competent to do so. Prior to completion the Council should be satisfied that Part P has been completed with. This will require an appropriate BS 7671:2009+A3:2015 Requirements for Electrical Installations. IET Wiring Regulations electrical installation certificate to be issued for the work by a person competent to do so.

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All dimensions must be checked onsite prior to works commencing. Variations in squareness, depth of plaster etc., must be checked for.

Where new walls are shown aligned with existing walls, this must be checked by the physical removal of brickwork and/or plaster to establish the actual position of the wall being attached to.

Site to be used only for demolition / construction of the proposed works, which is to be protected at all times along with adjacent properties, not forming part of the works.

Care must be taken at all times to ensure that any works on the supply of all services into / from the property (i.e. electricity, gas, water, KCOM, BT, foulwater and surfacewater drainage) does not at any time interfere with the supply of services into / from adjacent properties, is not affected. If this proves to be the case, then the contractor is to fully advise properties to be affected as soon as possible and is to negotiate with adjacent properties regarding any appropriate action that may be required.

Prevent smoke, dust, fumes, spillage and other harmful activities where possible. No fires to be allowed on site at any time and noise levels to be kept to a minimum and complying with BS 5228-1:2009+A1:2014 & BS 5228-2:2009+A1:2014 Code of practice for noise and vibration control on construction and open sites. Remember that adjacent properties are occupied and comply with all reasonable requests from the general public / neighbors regarding the use of power tools etc.

All positions of drainage runs and types of drainage indicated on drawings are provisional only. Contractor to check invert and position of all drainage systems to ensure adequate fall & to ensure Building Control Officer is satisfied with site inverts before excavation of drainage runs.

All works are to be carried out with the relevant current British Standard Codes of Practice and Building Research Digest Papers, and to be to the approval of the local Authority and all Statutory Undertakers. All materials shall be suitable for the purpose intended and shall be used strictly in accordance with the manufacturer's recommendations. All necessary calculations are to be submitted to the Local Authority for approval prior to the commencement of work on site.

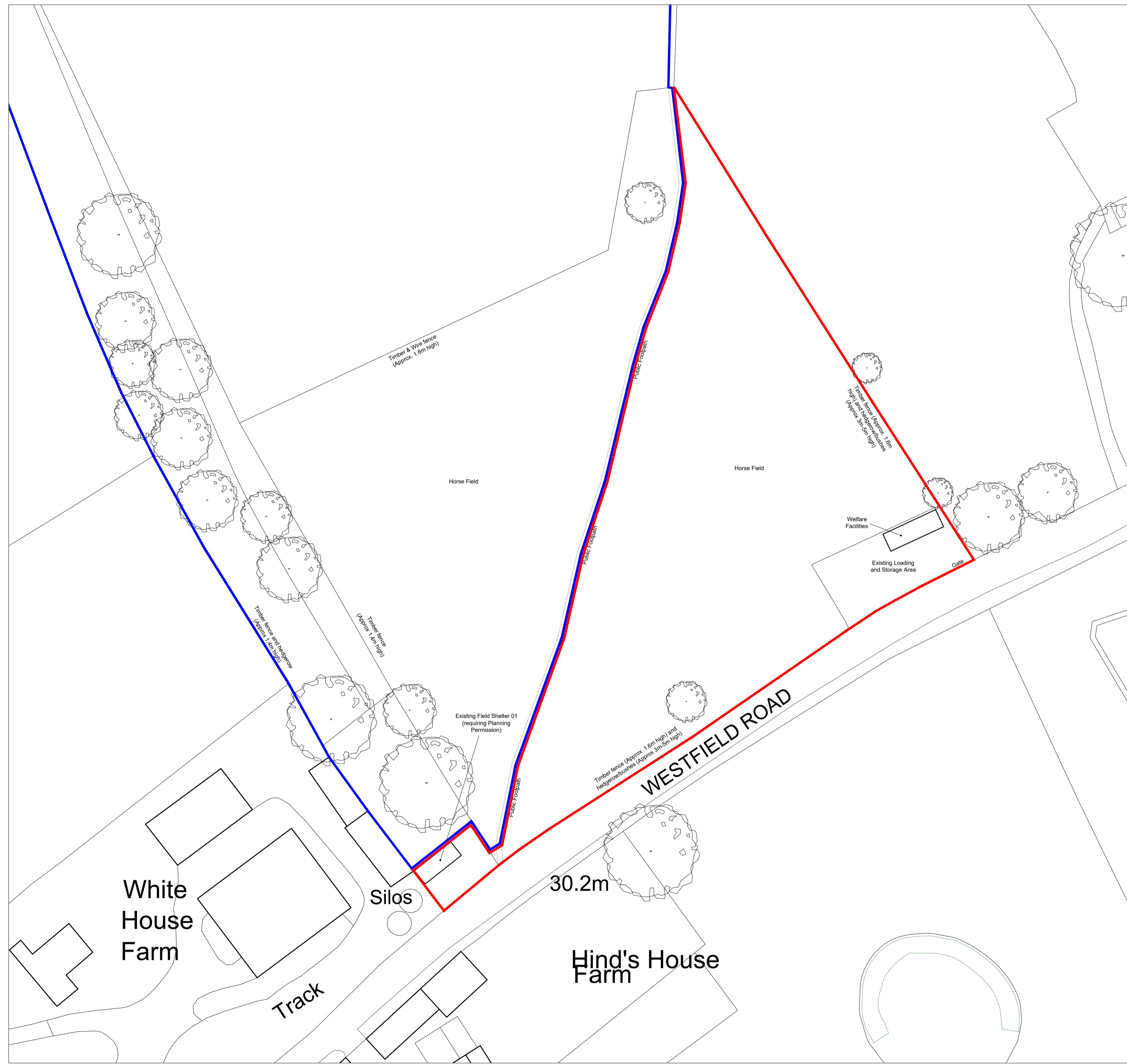
Robust details shall be adopted to prevent cold bridging, air leakage etc. continuity of insulation shall be provided at lintels, floors and all roof and wall junctions by the provision of ventilation trays. All joints are to be fixed galvanized steel trapezoids. All wall and roof insulation shall be continuous. It is the owners responsibility to ensure that the property and site is free from any onerous or unusual restrictions, covenants or easements.

Attention is drawn to the Party Wall Act 1996. The client or owner must give notice in writing to neighbours of the intended building operation and excavations and receive approval of same.

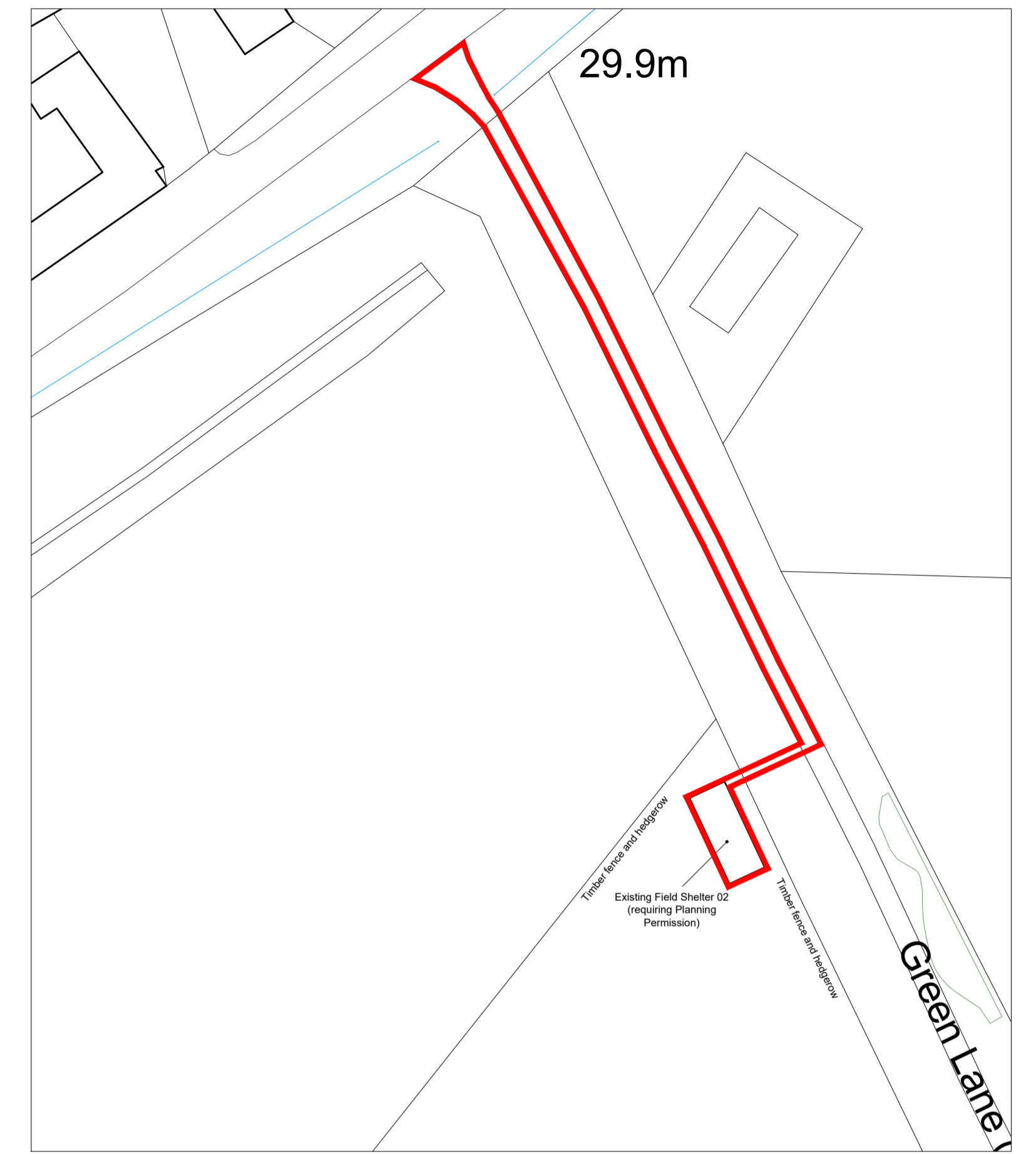
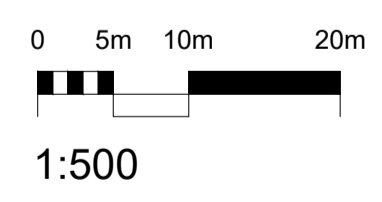
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SYMBOLS, HATCH & LINETYPE KEY

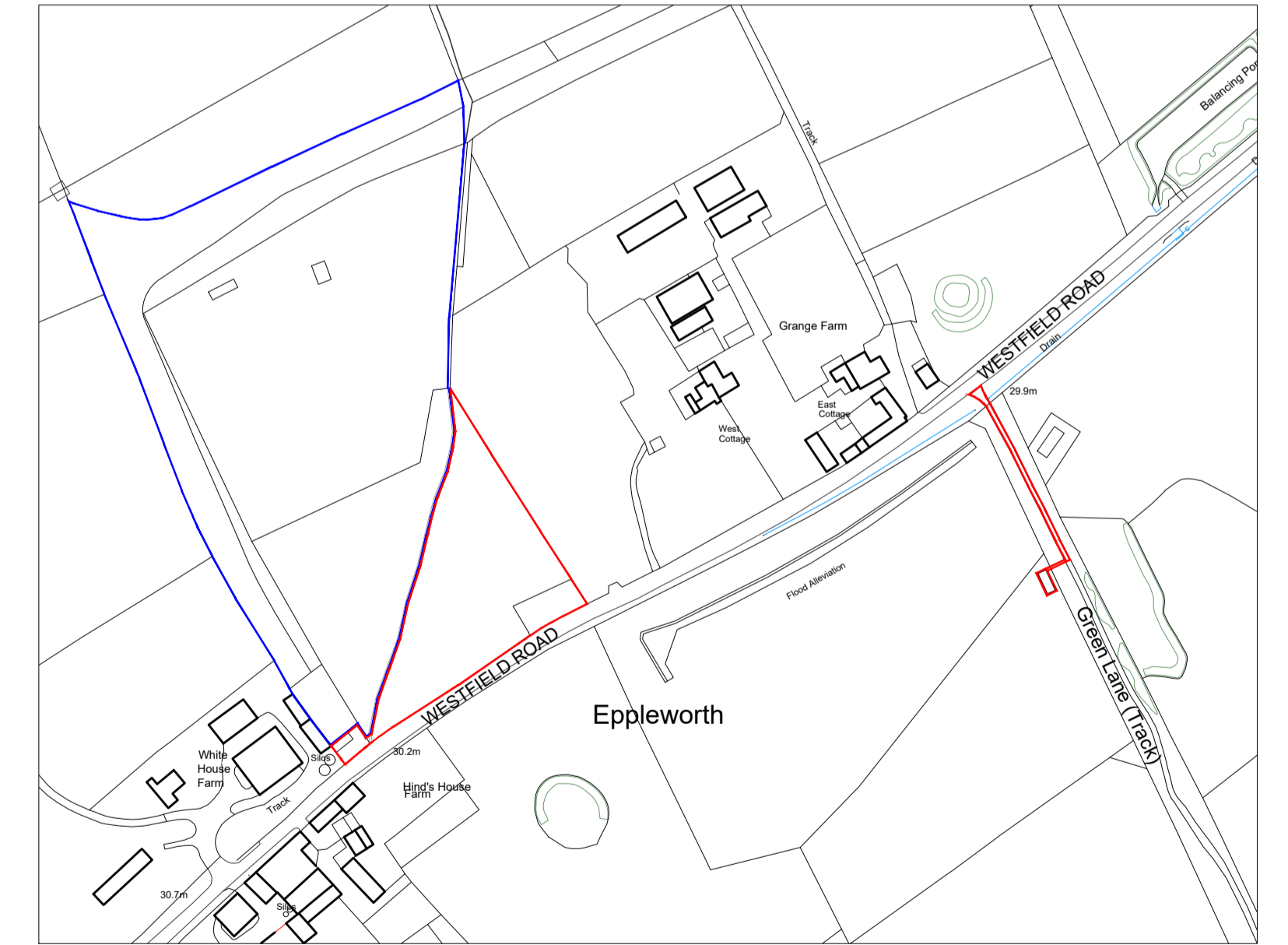
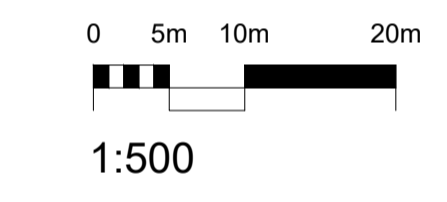
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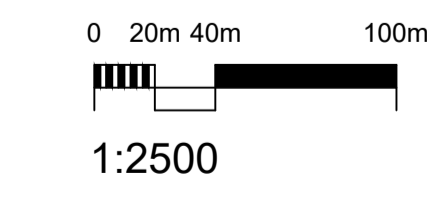
Site Plan as Existing



Site Plan as Existing



Site Location Plan



Application Site
Land under client ownership

DATE	NOTES	BY	REV
16/06/23	Planning Issue	JDA	A
27/10/23	Validation Amendments	JDA	B
08/11/23	Amendments	JDA	D



Phone: 01482 441948 Email: info@cka.design www.ckarchitectural.co.uk

PROJECT TITLE Proposed Menage, Welfare Facility, Erection of 3no. stores incl. Hardstanding (incl. 2 existing), Erection of 4no. Stables and Change of Use from Agricultural Land to Equestrian/Keeping of Horses		CLIENT Ms Ellen HARRISON The Footpath Field, Westfield Road, Epplworth, HU16 5YJ	
DRAWING STAGE Planning	SCALE Varies @ A1	CHK SGA	DRAWN BY JDA
SHEET TITLE Plans as Existing & Site Location Plan	PROJECT NUMBER HU16-3645	STAGE PLN	REV D
			SHT 001

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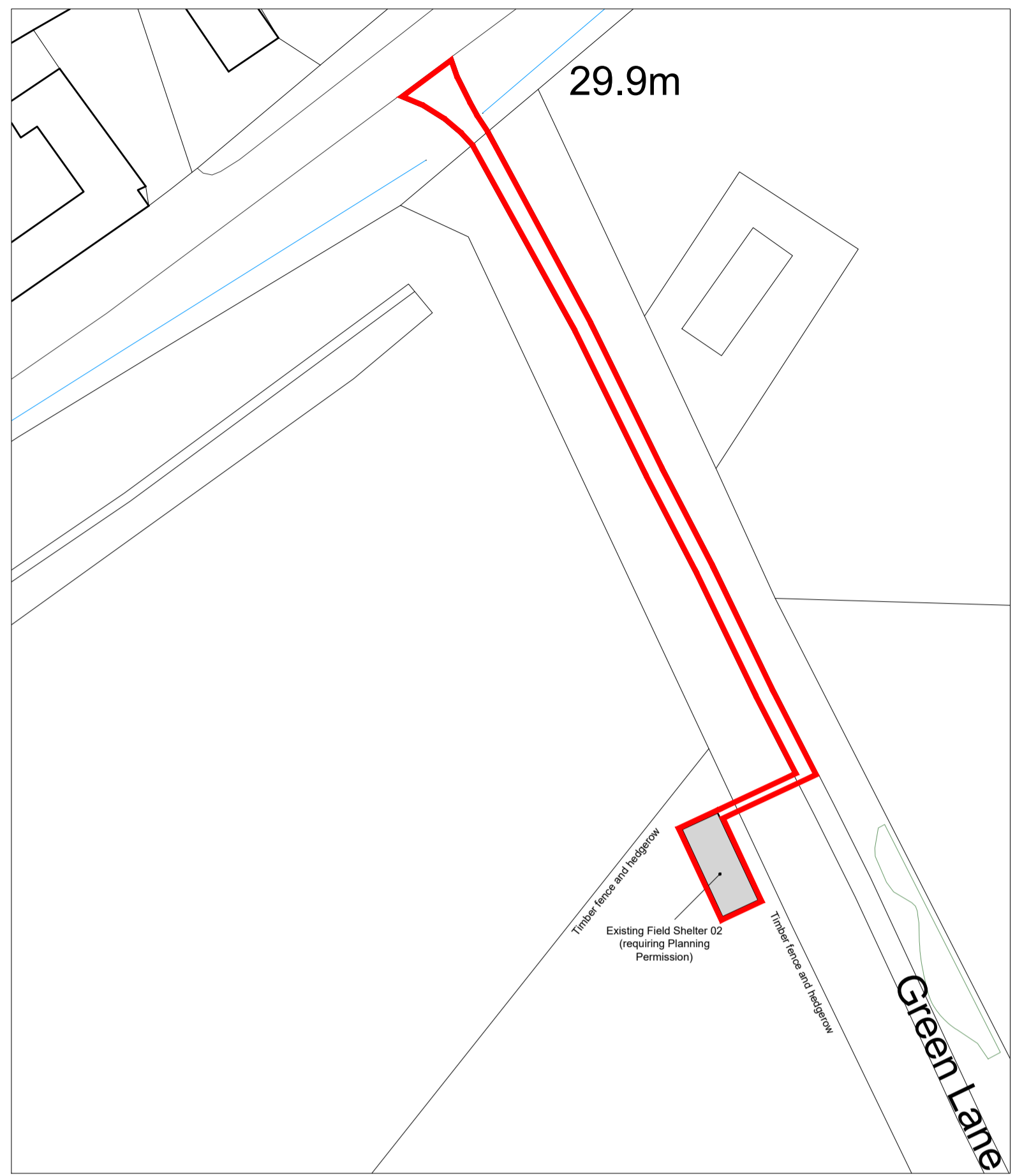
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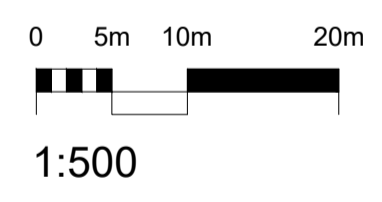
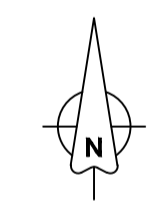
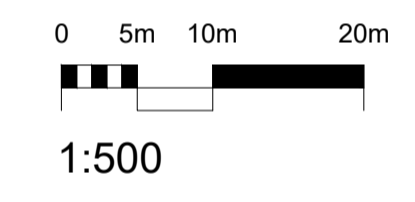
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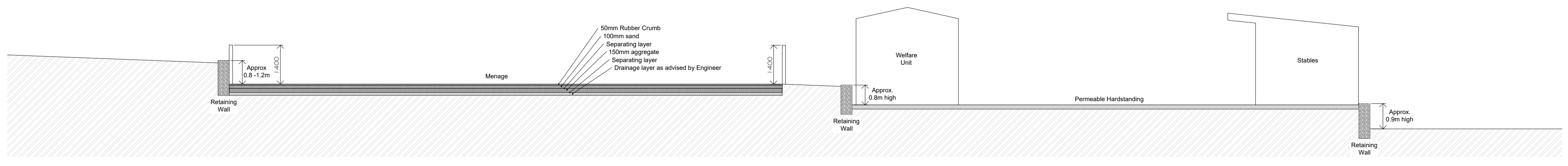
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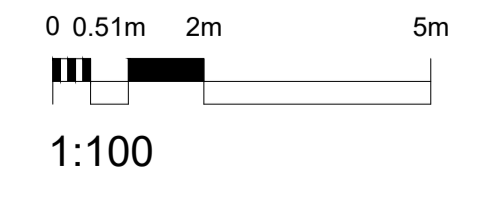
Site Plan as Proposed



Site Plan as Proposed



Section through Site as Proposed



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SHEET TITLE Plans as Proposed; Section Through Site	PROJECT NUMBER HU16-3645	STAGE PLN	REV D
		REV D	SHT 002

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DANGER WATER supply to be located and isolated prior to removal of any pipework, water supply pipe to be adequately protected at all time. If advice is required contact relevant water authority.

DANGER Electrical safety, all electrical required to meet the requirements of Part P (Electrical Safety) must be designed, installed, inspected and tested by a person competent to do so. Prior to completion the Council should be satisfied that Part P has been complied with. This will require an appropriate BS 7671:2008+A1:2015 Requirements for Electrical Installations. IET Wiring Regulations electrical installation certificate to be issued for the work by a person competent to do so.

The drawings are the copyright of CK Architectural. The drawings must not be scaled from. The contractor should take and verify all dimensions on site before proceeding with any works. All dimensions shown on the drawings are for Planning purposes only.

All dimensions must be checked onsite prior to works commencing, variations in squariness, depth of plaster etc... must be checked for.

Where new walls are shown aligned with existing walls, this must be checked by the physical removal of brickwork and plaster to establish the actual position of the wall being attached to.

Site to be used only for demolition / construction of the proposed works, which is to be protected at all times along with adjacent properties, not forming part of the works.

Care must be taken at all times to ensure that any works on the supply of all services into / from the property (i.e. electricity, gas, water, KCOM, BT, foulwater and surfacewater drainage) does not at any time interfere with the supply of services into / from adjacent properties, is not affected, if this proves to be the case, then the contractor is to fully advise properties to be affected as soon as possible and is to negotiate with adjacent properties regarding any appropriate action that may be required.

Prevent smoke, dust, fumes, spillage and other harmful activities where possible. No fires to be allowed on site at any time and noise levels to be kept to a minimum and complying with BS 5228-1:2009-A1:2014 & BS 5228-2:2009-A1:2014 Code of practice for noise and vibration control on construction and open sites. Remember that adjacent properties are occupied and comply with all reasonable requests from the general public / neighbors regarding the use of power tools etc.

All positions of drainage runs and types of drainage indicated on drawings are provisional only, contractor to check invert and position of all drainage systems to ensure adequate fall & to ensure Building Control Officer is satisfied with site inverts before excavation of drainage runs.

All works are to be carried out with the relevant current British Standard Codes of Practice and Building Research Digest Papers, and to be to the approval of the Local Authority and all Statutory Undertakings. All materials shall be suitable for the purpose intended and shall be used strictly in accordance with the manufacturer's recommendations. All necessary calculations are to be submitted to the Local Authority for approval prior to the commencement of work on site.

Robust details shall be adopted to prevent cold bridging, air leakage etc. continuity of insulation shall be provided at lintels, floors and all roof and wall junctions by the provision of ventilation trays. All joints are to be fixed galvanneal steel hangers. All wall and roof insulation shall be continuous. It is the owners responsibility to ensure that the property and site is free from any onerous or unusual restrictions, covenants or easements.

Attention is drawn to the Party Wall Act 1996. The client or owner must give notice in writing to neighbours of the intended building operation and excavations and receive approval of same.

Attention is drawn to the client with regard to the CDM 2015 regulations. These drawings and specification are intended for Planning & Building Regulation purposes only, the scope of this does not go any further. It is the duty of the client under the regulations to appoint a 'Principal Contractor'. There is no obligation for the client to appoint a 'Principal Designer'. The 'Principal Contractor' will then take on the role of 'Principal Designer' for purposes of the 'pre construction' and 'construction' phases of the project under the CDM 2015 regulations when it gets under way, in order that a Health & Safety File and construction plan, is provided for the HSE, in order to reduce risks through the design processes of construction etc.

SYMBOLS, HATCH & LINETYPE KEY

- WARNING SIGNIFICANT HAZARD OR INFORMATION WHICH IS USEFUL
- ACTION (DO)
- AVOID OR REFRAIN FROM (DON'T)
- ON-SITE MEASUREMENTS REQUIRED
- RELEVANT INFORMATION
- STRUCTURAL ENGINEER ITEM
- BUILDING CONTROL ITEM
- BRICK
- CONCRETE
- BLOCK
- SAND
- HARDCORE
- PROPOSED
- GLAZING
- OBSCURE GLASS
- BOUNDARY
- FOUL DRAINAGE
- SURFACE DRAINAGE
- INSULATION
- DPM, DPC, VCL, FLASHING
- STRUCTURAL BEAM
- DEMOLITION AREAS



Photo 1
Existing Field Shelter 01



Photo 2
Existing Field Shelter 01

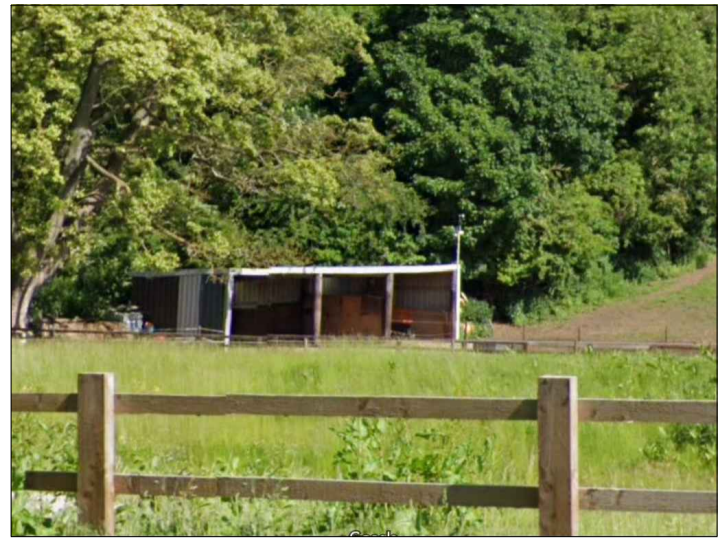


Photo 3
Existing Field Shelter 02



Photo 4
General Site



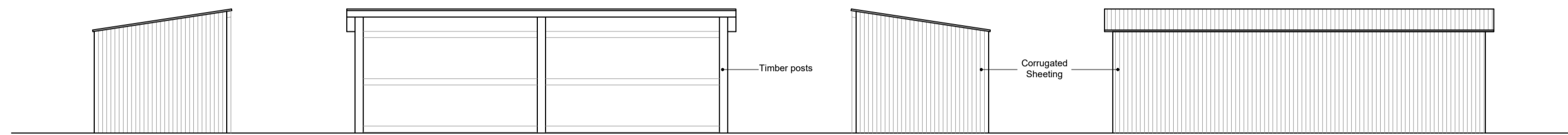
Photo 5
General Site



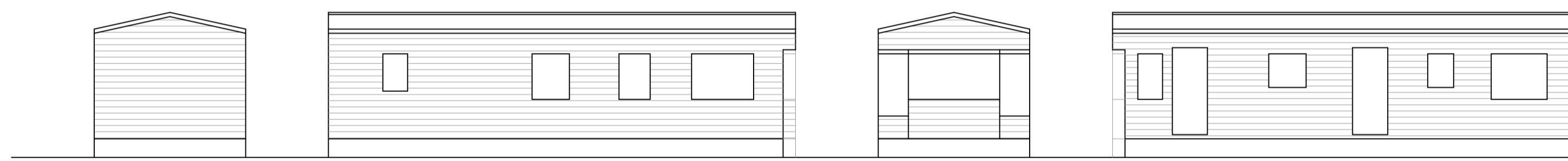
Photo 6
General Site



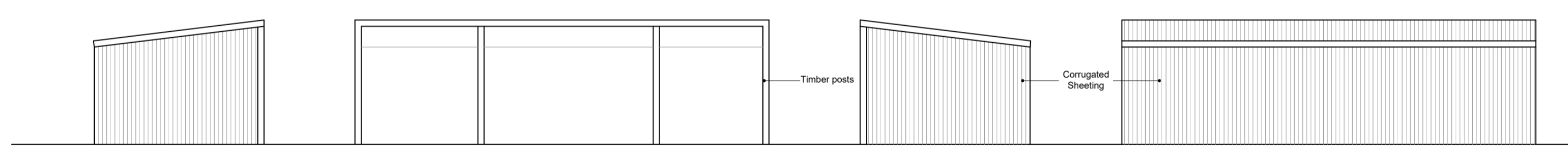
Photo 7
Site from Road



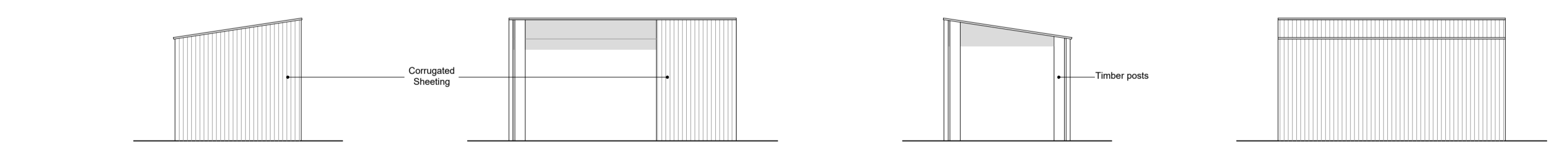
Field Shelter 01
Side Elevation As Existing/Proposed
Field Shelter 01
Front Elevation As Existing/Proposed
Field Shelter 01
Side Elevation As Existing/Proposed
Field Shelter 01
Rear Elevation As Existing/Proposed



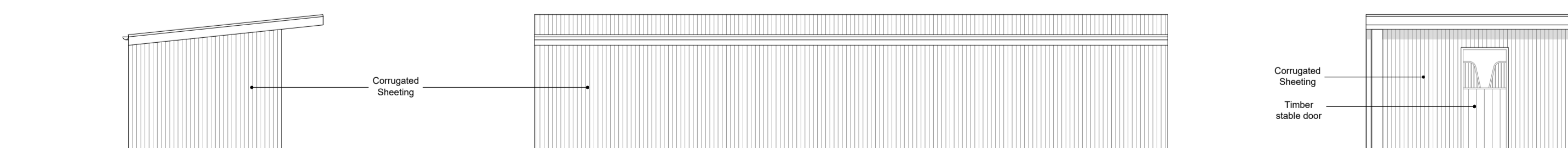
Welfare Unit
Side Elevation As Existing/Proposed
Welfare Unit
Front Elevation As Existing/Proposed
Welfare Unit
Side Elevation As Existing/Proposed
Welfare Unit
Rear Elevation As Existing/Proposed



Field Shelter 02
Side Elevation As Existing/Proposed
Field Shelter 02
Front Elevation As Existing/Proposed
Field Shelter 02
Side Elevation As Existing/Proposed
Field Shelter 02
Rear Elevation As Existing/Proposed



Field Shelter 03/Storage
L. Side Elevation As Proposed
Field Shelter 03/Storage
Front Elevation As Proposed
Field Shelter 01/Storage
L. Side Elevation As Proposed
Field Shelter 03/Storage
Front Elevation As Proposed



Isolation & Treatment Stables
L. Side Elevation As Proposed
Isolation & Treatment Stables
Rear Elevation As Proposed



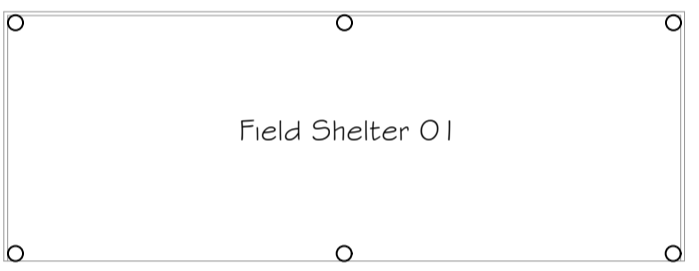
Photo 8
Site from Road



Photo 9
Site from Road



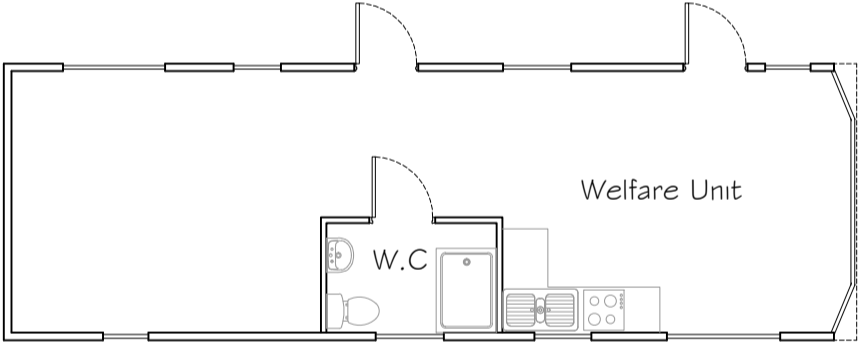
Photo 10
Welfare Facility



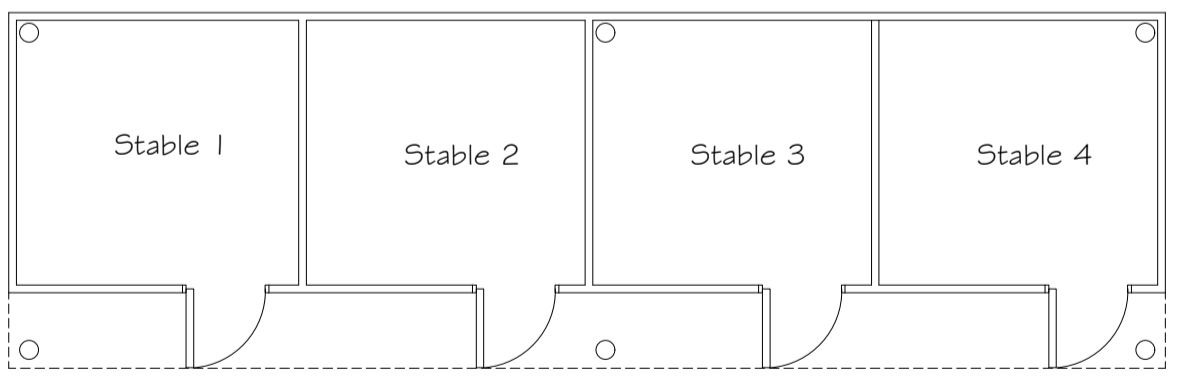
Field Shelter 01
Plan As Existing/Proposed



Field Shelter 03/Storage
Plan As Proposed



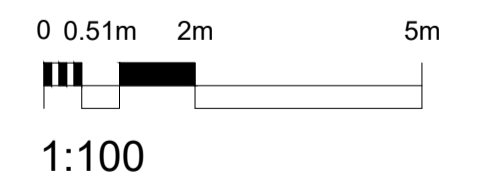
Welfare Unit
Plan As Existing/Proposed



Isolation and Treatment Stables
Plan as Proposed



Field Shelter 02
Plan As Existing/Proposed



PROJECT TITLE Proposed Manage, Welfare Facility, Erection of 3no. stores incl. Hardstanding (incl. 2 existing), Erection of 4no. Stables and Change of Use from Agricultural Land to Equestrian/Keeping of Horses		CLIENT Ms Ellen HARRISON The Footpath Field, Westfield Road, Eppleworth, HU16 5YJ	
DRAWING STAGE Planning	SCALE 1:100 @ A1	CHK SGA	DRAWN BY JDA
SHEET TITLE Plans & Elevations as Existing & Proposed; Site Images	PROJECT NUMBER HU16-3645	STAGE PLN	REV D
			SHT 003

DATE	NOTES	BY	REV
16/06/23	Planning Issue	JDA	A
27/10/23	Validation Amendments	JDA	B
27/10/23	Amendments	JDA	C

Flood map showing the flood zone your site is in

The map shows the flood risk to your site and the surrounding area.



► [What the flood map shows](#)