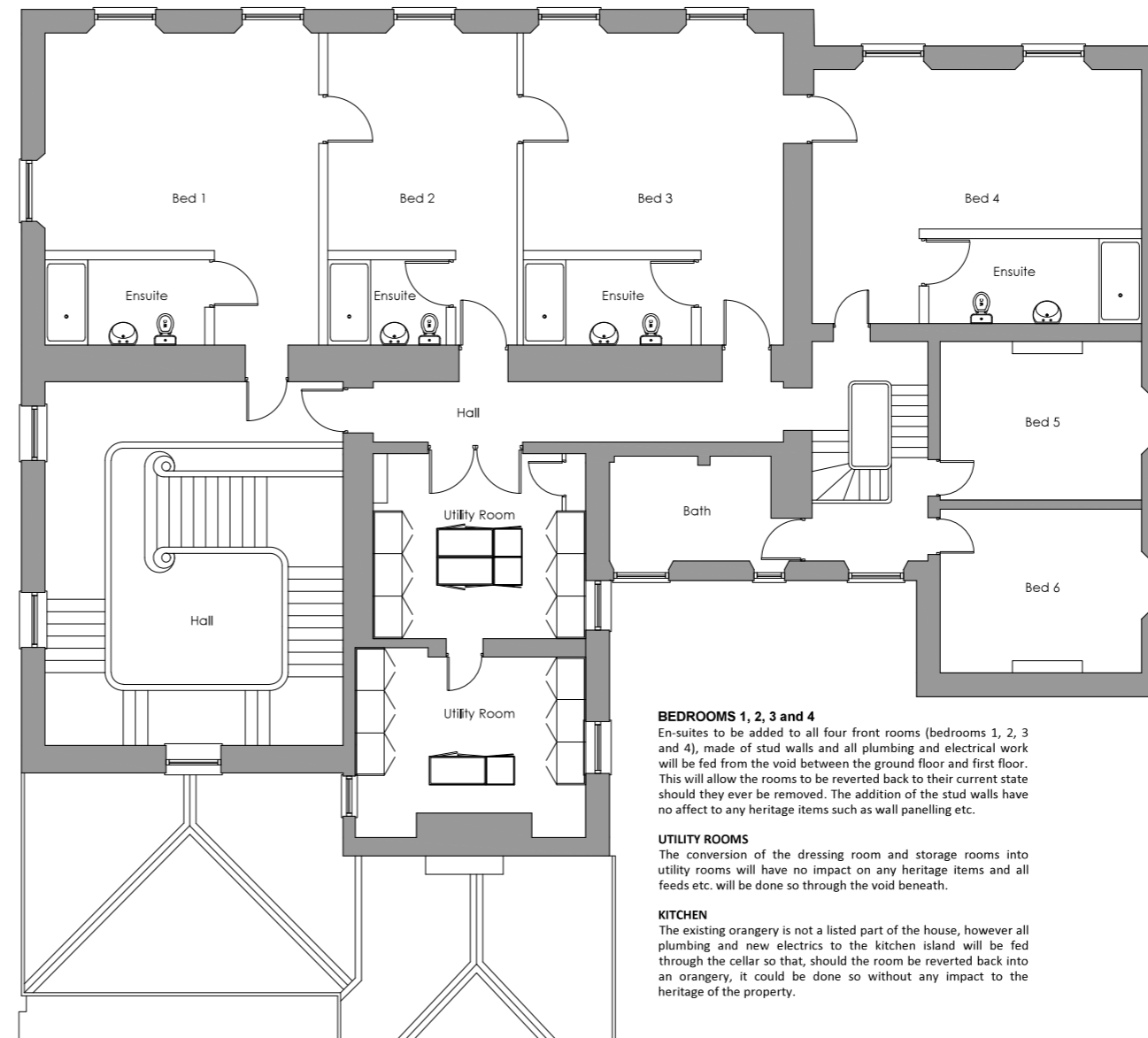


Proposed Ground Floor Plan

Note:
 Floor plans based on an old survey by B M Allebon
 Architects and dimensions provided by the Client. Final
 measurements to be confirmed.



Proposed First Floor Plan

BEDROOMS 1, 2, 3 and 4
 En-suites to be added to all four front rooms (bedrooms 1, 2, 3 and 4), made of stud walls and all plumbing and electrical work will be fed from the void between the ground floor and first floor. This will allow the rooms to be reverted back to their current state should they ever be removed. The addition of the stud walls have no affect to any heritage items such as wall panelling etc.

UTILITY ROOMS
 The conversion of the dressing room and storage rooms into utility rooms will have no impact on any heritage items and all feeds etc. will be done so through the void beneath.

KITCHEN
 The existing orangery is not a listed part of the house, however all plumbing and new electrics to the kitchen island will be fed through the cellar so that, should the room be reverted back into an orangery, it could be done so without any impact to the heritage of the property.

DISCLAIMER

All drawings shown here are for indicative purposes only and may be subject to variations.

All works are to be carried out and managed by a competent and experienced Contractor.

Dimensions, areas, levels, coordinates and drawing scales are indicative only and are subject to change. Those carrying out the works should verify all dimensions, areas, levels and coordinates on site prior to making any material orders or commencing on site. All setting out positions must also be verified before commencing works. Any discrepancies, errors, omissions or design changes should be reported to Rimmington Building Design & Consultancy Ltd, immediately. Do not scale off this drawing without consulting the designer.

All 'Planning' drawings must not be used for construction purposes.

All works are subject to Structural Engineers recommendations, reports and documentation. This drawing should be read in conjunction with Structural Engineers recommendations and details.

Any hidden services are to be located by, and are the responsibility of, the Contractor or those carrying out the works. Any references made to drainage runs on this drawing are indicative only and must be checked on site by the Contractor or those carrying out the works prior to any works. Any proposed work within three metres of a public sewer or lateral drain requires consent from the local water authority.

It is the responsibility of the 'Building Owner' to check if any proposed works are affected by The Party Wall etc. Act 1996 and to inform all 'Adjoining Owners' accordingly and as detailed in The Party Wall etc. Act 1996.

If the total amount of external glazing exceeds 25% of the proposed floor area, SAP Calculations may be required. It is the responsibility of the Client to ensure Building Control is provided with any additional information they require for approval.

As outlined in CITB's Industry Guidance to Designers under CDM 2015, Clients have duties that they have been made aware of. In accordance with CDM 2015 Regulations, any significant risks relating to the design features shown on this drawing have been identified and annotated with an exclamation mark !

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General Notes

No.	Revision/Issue	Date
A	Issued for information.	08/11/23

RIMMINGTON
 Building Design & Consultancy

Project Name and Address
 Stoke Hall
 Stoke on Trent

Drawing Name
 Proposed Ground and First Floor Plans

Project Status Information	Revision A
Drawing ID SHN-SR/020/23	Date 04/11/23
Drawing Scale 1:100	Sheet A2