

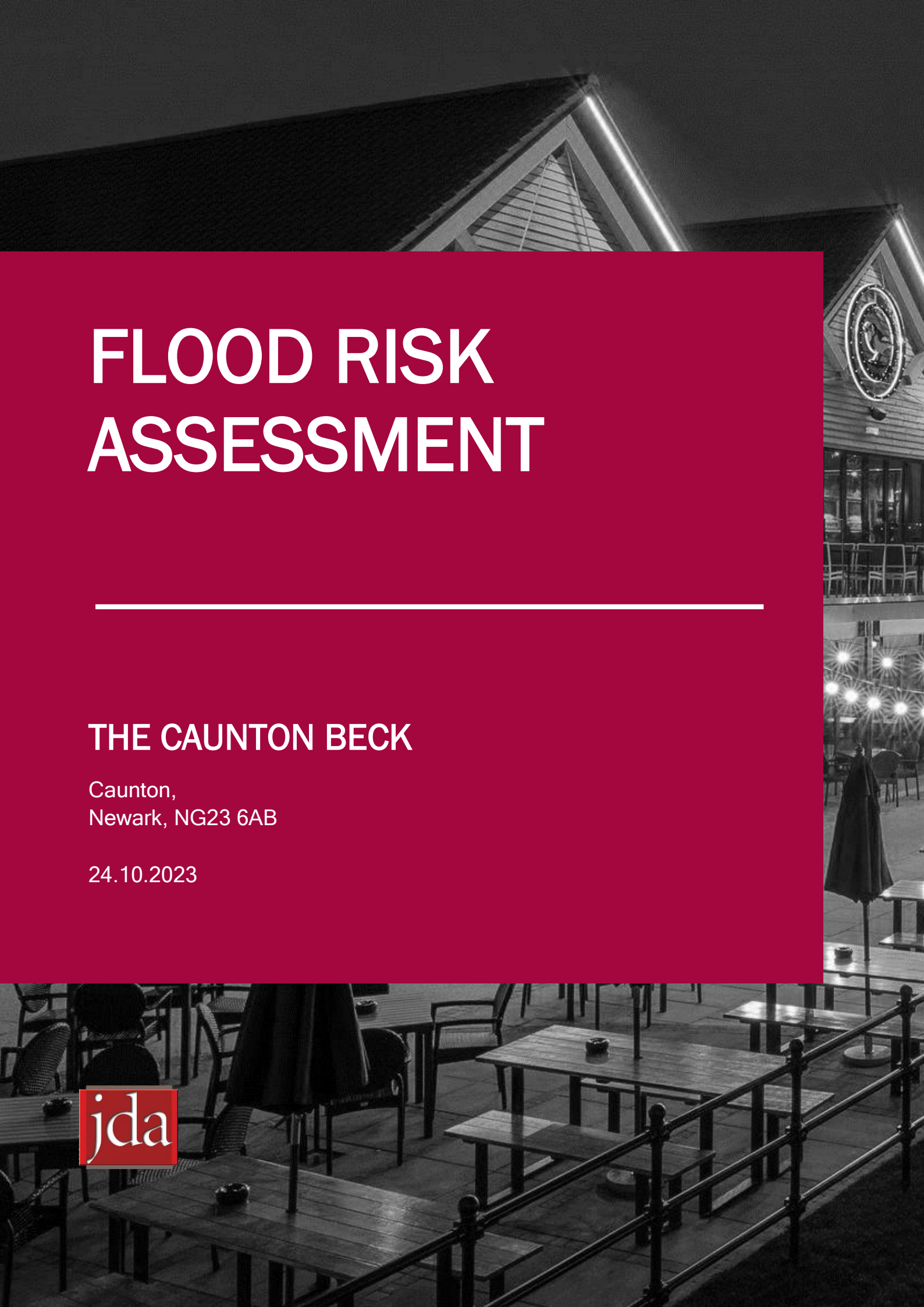
# FLOOD RISK ASSESSMENT

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## THE CAUNTON BECK

Caunton,  
Newark, NG23 6AB

24.10.2023



# 1.0 INTRODUCTION

The purpose of this flood risk assessment is to assess the potential for flooding as a result of the development proposal taking account of all reasonable mechanisms of flooding.

Planning policy for flood risk is set out in the National Planning Policy Framework (NPPF) technical guidance published in March 2012. The policy document sets out key planning objectives in relation to land usage and flood risk management. The development proposals are designed to be compliant with the requirements of the National Planning Policy Framework.

# 2.0 SITE LOCATION

The centre of the site is located at National Grid Reference (NGR): 474539 , 359956. The site is bounded to the north by The River Beck, to the east and west by neighbouring residential properties and to the south by a public road. The site sites within the Newark conservation area of Caunton.

# 3.0 VULNERABILITY CLASSIFICATION

Table 2 in the NPPF technical guidance (Flood Risk Vulnerability Classification) assesses the flood risk vulnerability of a site based on its site operations. Based on this assessment and the proposed site operations it has been concluded that the site falls within the category of 'more vulnerable'. The Flood Map produced by the Environment Agency indicates that the site falls predominantly within Flood Zone 2 & 3.

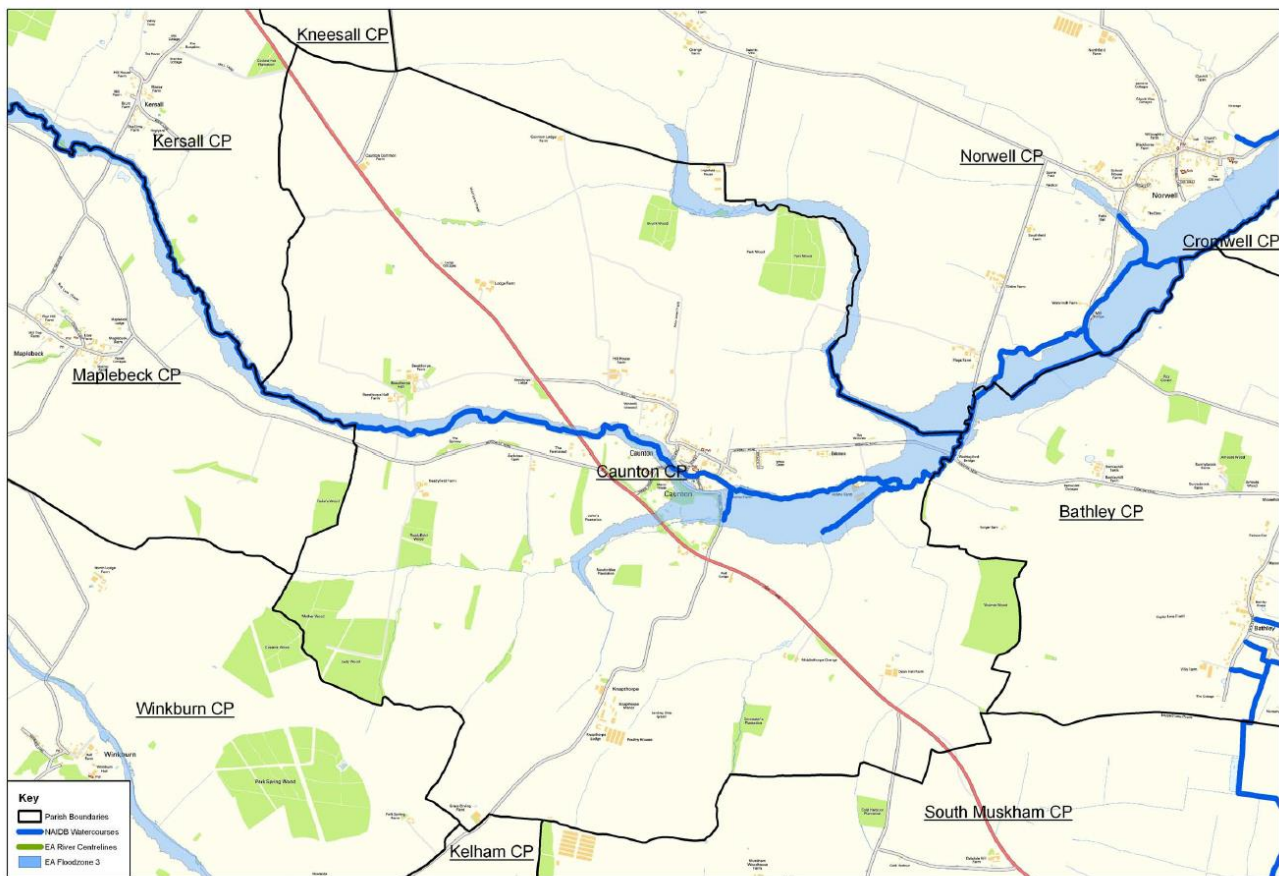
## 4.0 FLOOD ZONE

The below food zone map of Caunton is taken from the Newark and Sherwood District Council website. The site in question sits across both zone 2 and zone 3.

Zone 2 is categorized as: An area with the chance of flooding in any one year between 0.1% and 1% from rivers (fluvial) or 0.5% from the sea (tidal). That's between 1000 to 1 and a 100 to 1 fluvial or 200 to 1 tidal chance. The outer edge of this zone is known as the Extreme Flood Outline (EFO).

Zone 3 is categorized as: Chance of flooding in any one year is greater than or equal to 1% (i.e. a 100 to 1 chance) for river flooding and greater or equal to 0.5% (i.e. a 200 to 1 chance) for coastal and tidal flooding.

The only relevant flood risk on this site is that of the river which is fluvial.



(Newark and Sherwood District Council)

## 5.0 FLOOD RISK FROM DEVELOPMENT

The site lies within a Flood Zone 3 area that benefits from existing flood defences. The proposals do not affect the existing site levels or produce an adverse effect on the management of the flood risk. The proposed extension to the front of the building will add no increased risk of flooding to the existing building or neighbouring properties. The risk of flooding will remain the same as the existing set up and use of the building.

During extreme events, the conditions can be appropriately managed by the implementation of mitigation measures as follows:

- Met Office Warning
- With time afforded by advanced warning, evacuation of the seating areas to safe egress
- Raise electronic control units and switches etc. to a high level
- New flooring to be hard standing tiles / stone to allow for any necessary clean up in the event of an incident.

The owners aim to deter the risk of flood to their property further with the addition of a brick wall to the carpark, the aim would be to deter water from entering the property and to provide an increase in time available to protect the assets of the property.