

Application for Outline Planning Permission

Care Home Development for up to 75 Resident Accommodations and 30 Supported Living Accommodation and Warden Accommodation (Use Class C2) at Darwin Drive, Ollerton with Access from Burbank Avenue. All other Matters Reserved.

Burbank Avenue off Darwin Drive, Ollerton

STRATEGIC DRAINAGE STATEMENT



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1. Introduction

- 1.1 This strategic drainage statement accompanies and supports the application for OUTLINE planning permission hereby made to Newark and Sherwood District Council (NSDC) for the development of a care village, comprising a single building older persons' care home (Use Class C2) with capacity to up to 75 resident en-suite bedroom units, with assisted living accommodation provided for up to 30 residents in a cluster of five, 6-bedroom dwelling units 9. The applicant is Millhouse Care Group. This statement should be considered alongside the detailed Planning Statement accompanying the application.
- 1.2 The statement addresses at a high level the flood risk and surface water drainage implications of the proposals. It sets out that at Outline stage, with all matters reserved, that drainage can only be considered in overarching principles with the specific details necessarily influenced by the scale, character and footprint of the final scheme.

2. Location

- 2.1 The application site lies well within the urban framework of Ollerton as defined by the development plan, to the south of the town centre on the mixed-use regeneration site formerly known as Sherwood Energy Village. Previous to that the site was occupied by Ollerton Colliery. It comprises an area (0.45 ha) of car parking and rudimentary landscaping as part of the original site remediation and subdivision into developable parcels. Figure 1 sets out the location and context of the site.
- 2.2 The site is accessed from Darwin Drive and Burbank Avenue service roads laid out as part of the Sherwood Energy Village regeneration scheme.



Figure 1: Extent and context of the application site

3. Site Characteristics and Sustainability Credentials

3.1 The application site of 0.45ha falls within a wider area characterised by recent mixed-use developments over a large regeneration site with existing service roads and landscaping. Land use is a mix of employment and housing sites and several remaining undeveloped plots. Developed plots house a range of Class E and B2 office, warehousing and light industrial uses with other sites occupied by housing (C3) and residential homes (C2) within the distinctive concentric circle street pattern of the former Energy Village. Generally, the terrain is flat, with orbital service roads providing good access around the wider area. These roads are linked by the main access route at Edison Rise which has a roundabout junction to the north-west with the main A6075 and Forest Road in Ollerton town centre. The former private road system is

adopted by Nottinghamshire County Council and offers a high standard of access to the site.

- 3.2 The wider area sits across level land, with very limited variation in terrain in the immediate vicinity. The most prominent features of the area are the buildings themselves erected across the former colliery site. These vary in character and scale with generally modern or utilitarian appearance reflecting the range of employment uses, both office-focused, light industrial and commercial uses. Architectural character is typical of early 21st century business parks with flat or low pitch roofs and mixed contemporary external materials with open car parking to each unit. Buildings are set within partly landscaped plots with a limited and immature treescape. Significant areas of hardstanding / carparks with non-permeable surfaces are associated with most plots across the business park as is evident from the aerial image at figure 1.
- 3.3 The application site stands in the western half of the distinctive concentric ring layout of the business park. The vicinity could be described as a mid-density employment and housing site with mixed hard surfaces and peripheral landscaping. To the immediate north of the site is the contemporary design 3 and 4 storey 'E-Centre' building of serviced offices and car parking. To the east, across Darwin Drive are medium sized, 3-storey business units and service yards/parking. West of the application site, separated by pedestrian access path and landscape green space are similar scaled buildings containing multiple business units with large parking provision, but which are accessed by Latimer Way, the outer concentric service road. To the south of the application site across Burbank Avenue is a civil engineering enterprise comprising yard and storage set beyond offices (relative to the application site). Approximately 60m to the south-east of the application site, across Darwin Drive are a number of mixed character residential developments of 3-story flats and more conventional housing arranged in small terraces at Crawford Court, Newcomen Close and Stephenson Close. South-east of these is a Fountains Park retirement village development of mixed bungalows and 3 storey accommodations fronting both Darwin Drive and Newton Hill service road.
- 3.4 The wider built character of the vicinity is of mid-rise, mixed uses with an increase in site density arising from the residential developments noted above towards the inner service roads. Landscaping across the wider area is of modest quality with limited treescape but with a network of pathways, drainage soughs and a community park and playground within the inner circle of the concentric street layout.



Figure 2. The application site from Darwin Drive

- 3.5 The application site itself is a level piece of ground with limited boundary treatments and some scattered self-set scrub and saplings. The site has been used as car parking with compacted gravel surfaced hard standings and street light infrastructure. Vehicular access to the application site is via Burbank Avenue service road at the southern edge to the site, with immediate access from the avenue to Darwin Drive.
- 3.6 During construction of Sherwood Energy Village the former colliery site was stripped of all surface materials, remediation of contamination risk undertaken and the site re-graded with imported surface materials and high capacity drainage and utility services installed. Consequently, all surface vegetation and the self-set treescape is of relatively low or immature landscape character value.
- 3.7 The site falls within Flood Risk Zone 1 – an area of low flooding potential (source: Environment Agency Flood Map for Planning).
- 3.8 There are no heritage designations associated with the site.

4. The Proposal

4.1 Outline planning permission sought from Newark and Sherwood District Council (NSDC) for the development of a 'care village' off Burbank Avenue, Ollerton. This application is made in outline with all matters reserved apart from access to the site from Burbank Avenue. The following paragraphs set out the proposed scale and function of the scheme, but are indicative in all other respects apart from the scale of development of up to 75 en-suite care rooms and up to 30 assisted living units. An illustrative layout is offered at Figure 3 to demonstrate potential site layout and access point.

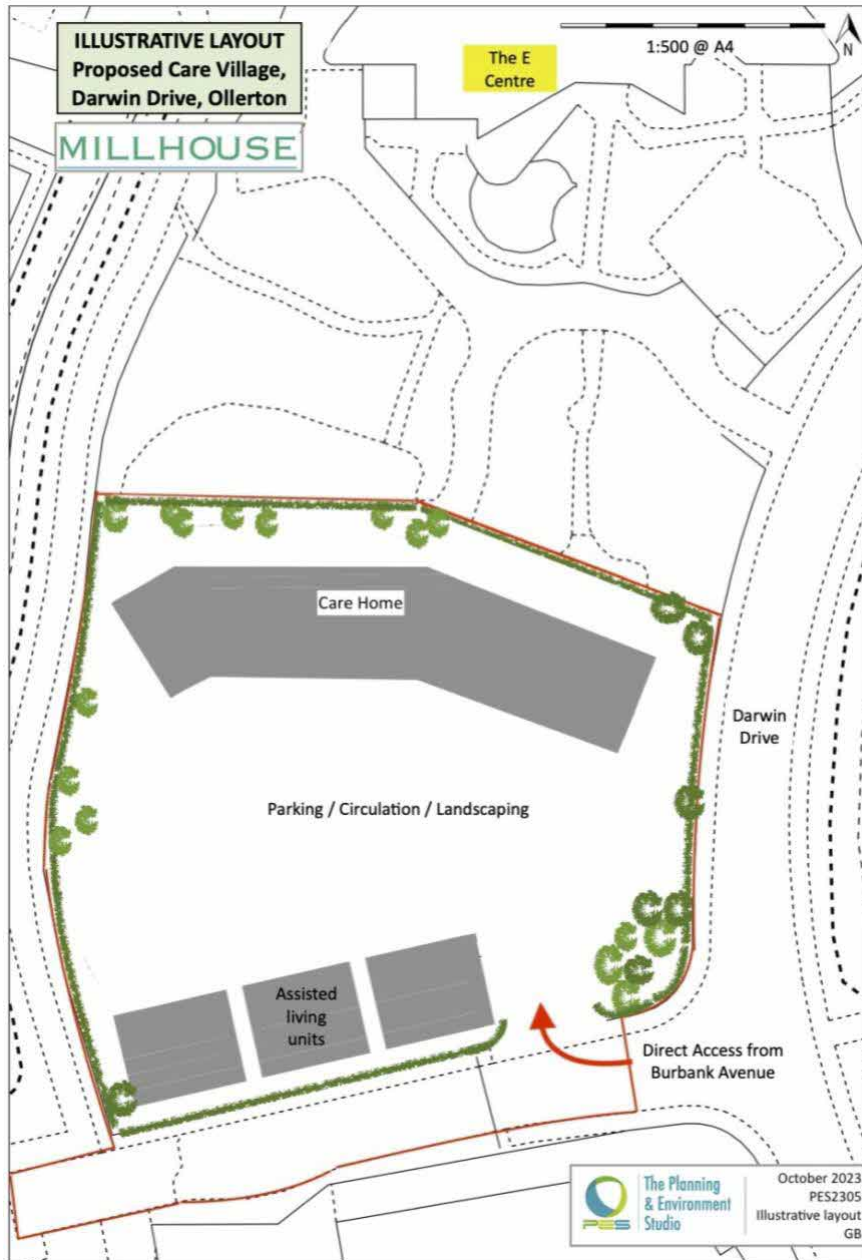


Figure 3: Illustrative Site Layout

- 4.2 The Care Village would be expected to comprise a principal building as an older persons' care home with up to 75 en-suite bedrooms, with assisted living accommodation provided for up to 30 residents within an annex or separate building or buildings. The care home component would be constructed over 2 and 3 storeys and vehicular access taken from Burbank Avenue. The planning statement clarifies that the indicative layout of the care village does not represent a final scheme in terms of layout or massing but provides a benchmark to be used as a starting point to demonstrate the capacity and suitability of the site for the use proposed at the scale needed to deliver a viable proposal. The facility would be set within landscaped grounds within which amenity, drainage and habitat provision would be made. The details of these can only be developed in association with the whole site and buildings detail. Those details are not developed for this Outline proposal.
- 4.3 Staff and visitor parking of 15 spaces would be anticipated as being adequate having regard to residents not being motor vehicle drivers. The care home would be a self-contained facility with residential rooms, communal spaces and all staff and care facilities to provide a contemporary, modern and safe care environment at a scale to deliver a viable enterprise.
- 4.4 A site area of slightly under 0.5 ha, set within the wider regenerated mixed-use development clearly suggests the site, with buildings to up to 3 storeys can accommodate the scale of development proposed. It is important to note that the capacity of the development as proposed is necessary to ensure the development would deliver a viable scheme over the longer term, and consequently serve to meet clear and increasing care home capacity which at the same time affords further release further down the housing ladder locally.
- 4.5 It is envisaged that foul water would be discharged to the public sewer.
5. Planning Policy
- NPPF
- 5.1 The National Planning Policy Framework (September 2023) sets out up-to-date government planning priorities is an important material consideration in determining planning applications.
- 5.2 In relation to flooding and drainage NPPF paragraph 154 states that new development should be planned for in ways that: avoid increased vulnerability to the range of impacts arising from climate change. When new development is brought forward in areas which are vulnerable, care should be taken to ensure that risks can be managed through suitable adaptation measures, including through the planning of green infrastructure.

- 5.3 Paragraph 38 of the NPPF supports a positive approach to dealing with planning applications. It states that local planning authorities should approach decisions on proposed development in a positive and creative way and to work proactively with applicants to secure developments that will improve the economic, social, and environmental conditions of the area. It states decisively that decision-makers at every level should seek to approve applications for sustainable development where possible.
- 5.4 NPPF 159 notes that inappropriate development in areas at risk of flooding should be avoided by directing development away from areas at highest risk (whether existing or future). Where development is necessary in such areas, the development should be made safe for its lifetime without increasing flood risk elsewhere.
- 5.5 Paragraph 169 of the NPPF notes that major developments should incorporate sustainable drainage systems unless there is clear evidence that this would be inappropriate. The systems used should:
- a) take account of advice from the lead local flood authority;
 - b) have appropriate proposed minimum operational standards;
 - c) have maintenance arrangements in place to ensure an acceptable standard of operation for the lifetime of the development; and
 - d) where possible, provide multifunctional benefits.

The Newark and Sherwood Local Plan

- 5.6 The pertinent elements of the adopted development plan for the site comprises the Newark and Sherwood Adopted Core Strategy 2019 and is the formal starting point in law for the determination of planning applications. Pertinent to this application are the following objectives and planning policies of the 2019 Adopted Core Strategy.
- 5.7 Core Policy 10 addresses climate change. Its supporting text notes that large parts of the district are vulnerable to flooding from major rivers. The policy sets out:
- To steer new development away from those areas at highest risk of flooding, applying the sequential approach to its location detailed in Policy DM5 'Design'. Where appropriate the Authority will seek to secure strategic flood mitigation measures as part of new development;
- Where appropriate having applied the Sequential Test move on to apply the Exceptions Test, in line with national guidance. In those circumstances where the wider Exceptions Test is not required proposals for new development in flood risk areas will still need to demonstrate that the safety of the development and future occupants from flood risk can be provided for, over the lifetime of the development; and

Ensure that new development positively manages its surface water run-off through the design and layout of development to ensure that there is no unacceptable impact in run-off into surrounding areas or the existing drainage regime.

6. Planning Assessment & Policy Compliance

6.1 The preceding section sets out the policy context for the proposals in relation to flooding and drainage. As set out below, the development proposals can be seen to meet the expectations of national and local policy as far as is reasonable for this Outline application with all matters reserved.

6.2 Figure 4 below sets out the Environment Agency Flood risk for Planning map of the site. This clearly illustrates that the site is Flood Zone 1 and is therefore at very low risk of flooding.

The screenshot shows the Environment Agency Flood map for planning interface. At the top left is the Environment Agency logo. The title is "Flood map for planning". Below the title, there are three fields: "Your reference" with the value "<Unspecified>", "Location (easting/northing)" with the value "466150/367444", and "Created" with the value "30 Oct 2023 9:55". A central box contains the text: "Your selected location is in flood zone 1, an area with a low probability of flooding." Below this, a section titled "You will need to do a flood risk assessment if your site is any of the following:" lists four bullet points: "bigger than 1 hectare (ha)", "In an area with critical drainage problems as notified by the Environment Agency", "identified as being at increased flood risk in future by the local authority's strategic flood risk assessment", and "at risk from other sources of flooding (such as surface water or reservoirs) and its development would increase the vulnerability of its use (such as constructing an office on an undeveloped site or converting a shop to a dwelling)". A "Notes" section follows, explaining that the map shows river and sea flooding data only and is for use in development planning and flood risk assessments. It also includes information about the Open Government Licence and Ordnance Survey public viewing terms.

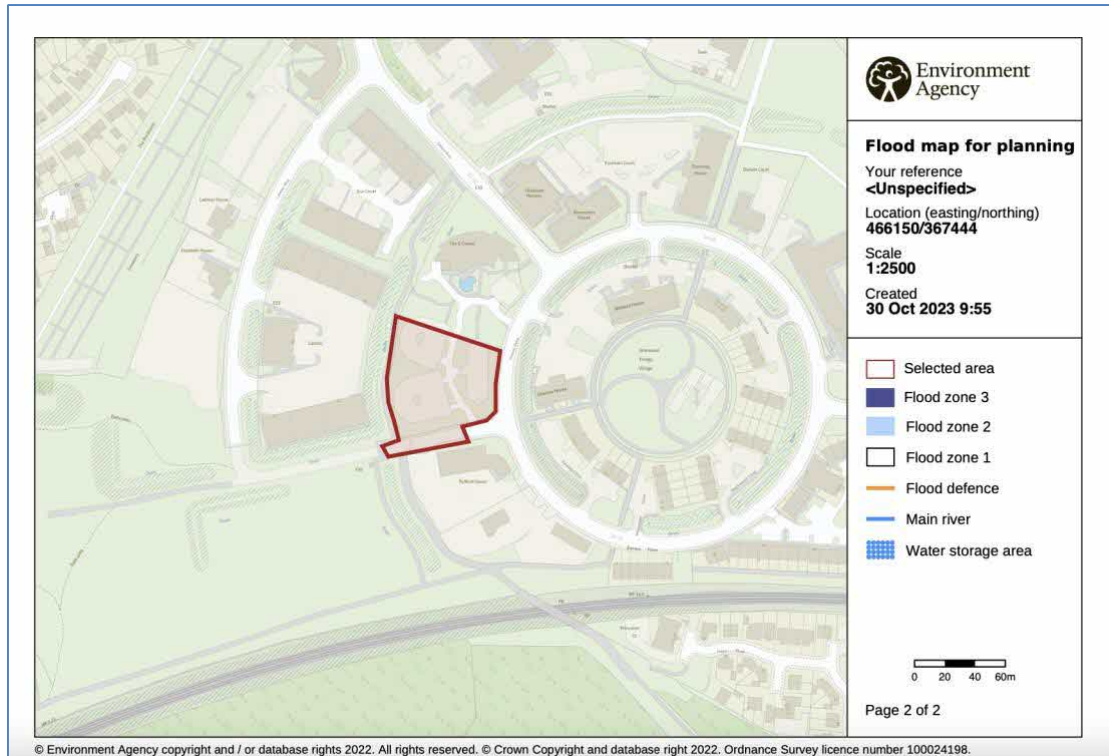


Figure 4: Flood Zones

- 6.3 Figure 5 (below) sets out the surface water flood risk at the site. This illustrates that the site is at Very Low risk of flooding from surface water.
- 6.4 In both respects the site would appear to be unrestricted by flood risk consideration and removes any consideration of sequential tests for the location of the proposal. Therefore appropriate and proper consideration of on-site drainage and sustainable water management would be pertinent to the layout of the site and consideration of it by the LPA.
- 6.5 The application presents an indicative site layout only (figure 3 above). This will be subject to refinement through the reserved matters stage, responding to a number of detailed factors at that time in respect to market conditions, care provision regulation and site-specific issues arising at detailed design stage.

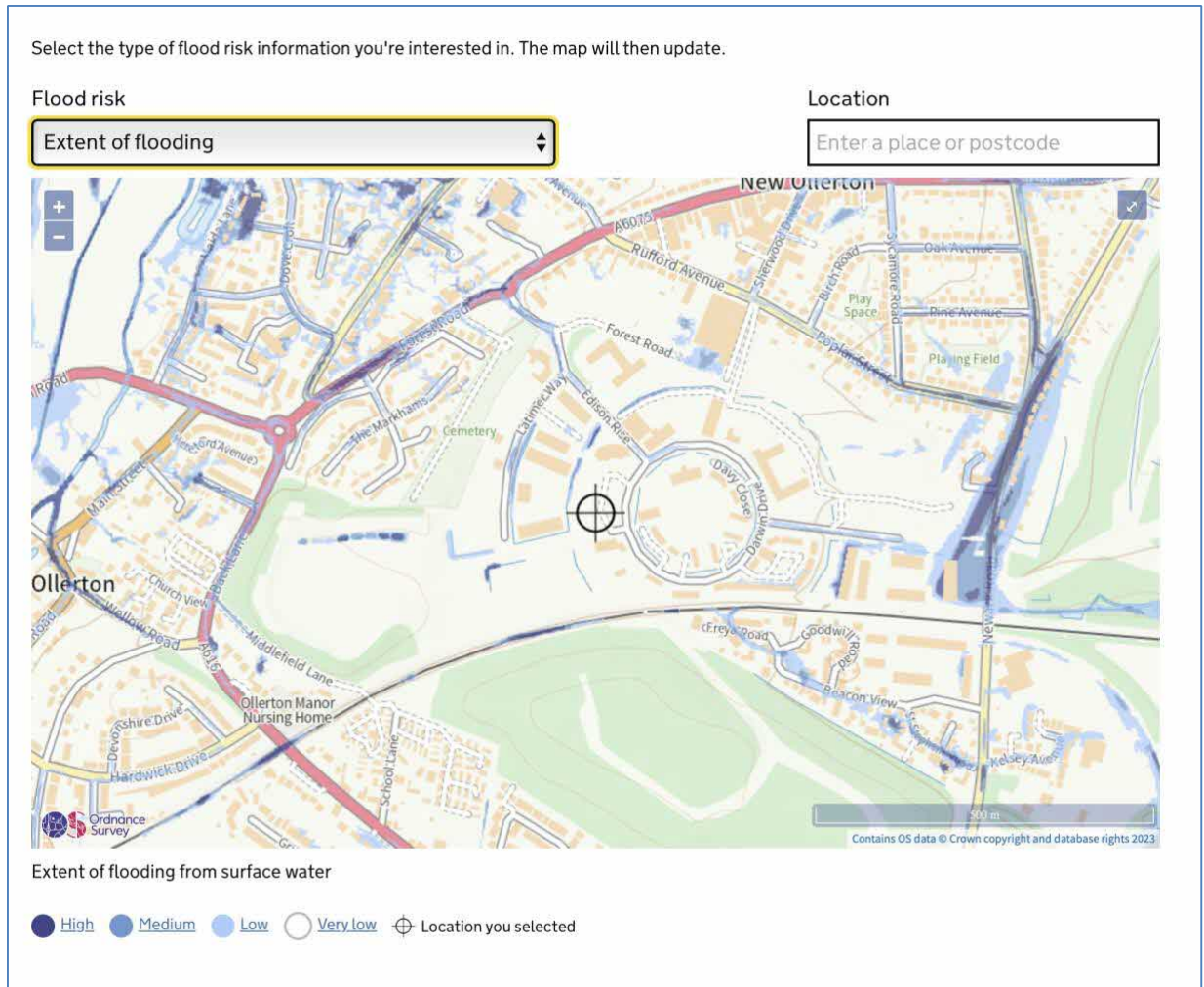


Figure 5: Flood Risk from Surface Water

- 6.6 Landscaping, surface water treatment and biodiversity issues will be integral to that design stage, and are intrinsically connected. However, at this stage the balance between developed area, access and parking and permeable surfaces cannot be known, except that it these will clearly be important and integral matters of a final proposed site layout.
- 6.7 At Outline stage it is sufficient to recognise that opportunity will exist within the site to incorporate soakaway drainage and a degree of SUDS to the site, and that green, permeable landscape spaces within the site are central to the function of the proposals, affording accessible natural external green space to residents of the care village. There are no reasons why the expectations of Paragraph 169 of the NPPF cannot be fully complied with, and it would be reasonable and proper for a condition of outline planning permission for the proposed development would be conditioned as such.

- 6.8 Notwithstanding this acceptance by the applicant, it is of course pertinent to recognise that the energy village site overall is a recently laid out development site with up to date and high-capacity drainage infrastructure embedded. This would afford ample capacity for surface water drainage when SUDS may be at full capacity in extreme rainfall events.
- 6.9 It is evident that such an acceptance has taken place by the LPA in determining the detailed site arrangements elsewhere across the former energy village where large areas of non-permeable hardstanding and building footprints characterise much of the vicinity. It would be reasonable to assume the same conditions are reflected at the application site as across the wider site context, to justify similar position by the LPA
- 6.10 It can be reasonably concluded therefore that:
- The site lies within an area of inherently low flood risk;
- The site lies at low risk of surface water flooding;
- Integral to a detailed design at reserved matters will be permeable landscaping incorporating SUDS. However it is not appropriate or reasonable to detail this at Outline stage.
- There are no fundamental barriers to appropriate surface water drainage being incorporated to a final reserved matters proposal in accordance with paragraph 169 of the NPPF.
- 6.11 At outline stage it is reasonable to conclude that there are no drainage or flooding issues arising at the site or generated by its character or use which should represent a non-compliance with policy.

Graham Bradford MRTPI
Director, PES Ltd

On behalf of

MILLHOUSE