

Proposed Haulage Trailer Park at Greendale Business Park, Woodbury Salterton, EX5 1EW

PHOTOGRAPHIC ASSESSMENT & IMPACT TO LANDSCAPE CHARACTER

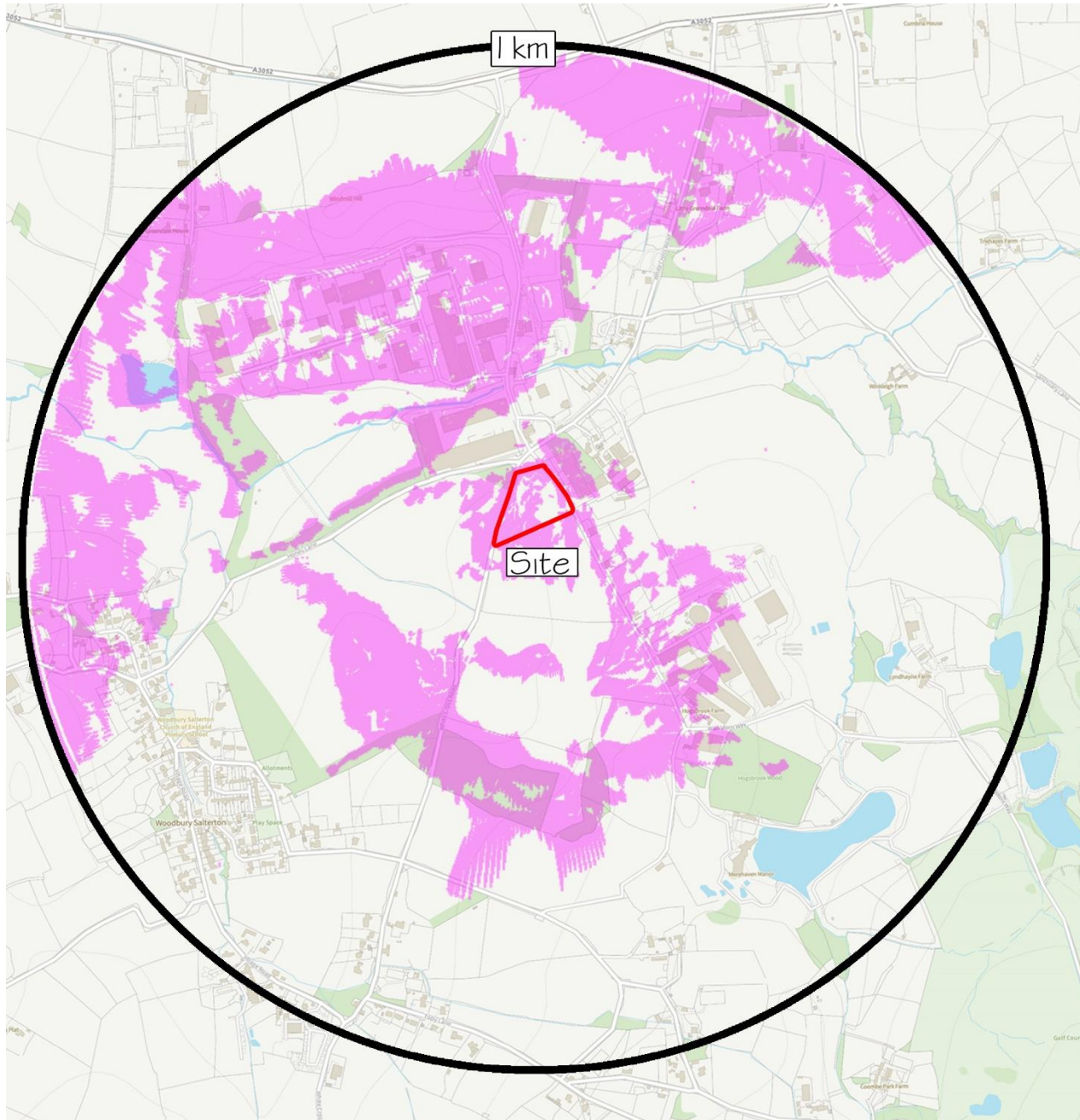
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PHOTOGRAPHIC ASSESSMENT AND IMPACT TO LANDSCAPE CHARACTER

1.0 Introduction

- 1.1** This Appendix shows photographic evidence taken from the surrounding public vantage points that have a view of the site within a 1km radius. These photographs have been taken from surrounding public highways, Honey Lane, White Cross Road, Stoney Lane, Lower/Higher Road, the A3052 and White Horse Inn.

- 1.2** It has been determined through a ZTV (zone of theoretical visibility) that the town centre of the neighbouring village of Woodbury Salterton is outside the visual range of the subject site set at a 2m visual height of the existing sites ground level. Please see figure 1.0 below.



 Zone of theoretical
Visibility (ZTV)

2.0 Methodology

- 2.1 All of the images have been taken with a 35mm lens or a 15mm lens for close ups and have been taken from a glimpsed view through gateways and/or over hedges from a normal standing position along the above roads.
- 2.2 No photographs have been taken from private land or properties as this would offer advantage points that are not open to the general public and cannot be considered in terms of landscape character in line with Strategy 44 and 46 of the East Devon District Council Local Plan.

3.0 Visual Receptors and Viewpoints

- 3.1 Visual receptors are people or may experience views of the site at a public right of way being at a footpath or road. The viewpoints labelled in the below map 1 to 12 are as follows:-

- 3.2 Viewpoint 01: Greendale Business Park Entrance (Honey Lane)

This viewpoint has been taken from the opposite side of Honey Lane from the subject site immediately outside the southern trade entrance to the Greendale Business Park where the Business Parks head office is located. This viewpoint is directly North of the subject site and is at a slightly lower elevation due to the rising green verge and boundary trees and hedgerow immediately South across the public highway Honey Lane.

- 3.3 Viewpoint 2: White Cross Road (mid site western boundary)

This viewpoint is along White Cross Road approximately half way down the western boundary of the site taken from a passing point along this public highway being an approximately single lane road. The view is directly to the East facing the sites existing western field hedgerows.

3.4 Viewpoint 3: White Cross Road (South-West boundary)

Again this viewpoint is along White Cross Road further to the South than that of Viewpoint 2 and is approximately at the South-West corner of the subject sites boundary. The view of the site has been taken in a North-easterly direction again immediately facing the existing western field boundary of the arable field to which the site is located.

3.5 Viewpoint 4: White Cross Road (South)

This viewpoint has been taken further along White Cross Road to the South approximately half a kilometre away and again taken at a bypass point and just before the road drops down in topography further to the South before rising again and meeting Stoney Lane. The photograph has been taken in a northerly direction towards the subject site with 2 no. field boundary hedges in the foreground of the photography.

3.6 Viewpoint 5: Village Road (Woodbury Salterton)

This photography has been taken from the centre of the village of Woodbury Salterton along Village Road at the junction where this road becomes Lower Road and has been taken immediately outside the Diggers Rest public house. The photography has been taken in a North-easterly direction being approximately 800m from the subject site.

3.7 Viewpoint 6: Lower Road (Woodbury Salterton)

This photography has been taken further along Lower Road to the North on what can be considered almost the North-westerly boundary of the village of Woodbury Salterton being at a much higher elevation than Viewpoint 5. This photography has been taken in a easterly direction with views of the arable fields around the subject site glimpsed between the existing foreground residential dwellings.

3.8 Viewpoint 7: Honey Lane (West)

This photograph has been taken approximately half way along Honey Lane from between Woodbury Salterton and the subject site at a point where this road intercepts a public footpath and cycle track which leads on to Greendale Business Park. The photography has been taken in an easterly direction with 2 no. existing field hedgerows between the viewpoint and the subject site (in the foreground).

3.9 Viewpoint 8: Honey Lane (Little Greendale Farm)

This viewpoint has been taken further along Honey Lane past the site heading North towards the A3052 located approximately along Honey Lane from between the site and the A3052. Along this section of the public highway is a number of residential properties on the western side of the road and Little Greendale Farm on the eastern side the photograph has been taken from a position in between these two properties in a South-South westerly direction approximately 700m from the subject site.

3.10 Viewpoint 9: White Horse Inn

This viewpoint has been taken from the rear of the car park of the White Horse Inn public house (most southerly car parking space). The photography is taken in a South-South westerly direction being approximately 1100m from the subject site.

3.11 Viewpoint 10: Greendale Business Park Entrance (A3052)

This viewpoint has been taken from approximately the site entrance to the Greendale Business Park off the A3052 taken approximately 20m down the private road which leads to the Greendale Business Park at a location where the new vehicular access to the NHS Vaccine Centre at Greendale has been created. The photography has been taken in a northerly direction being approximately 900m from the subject site.

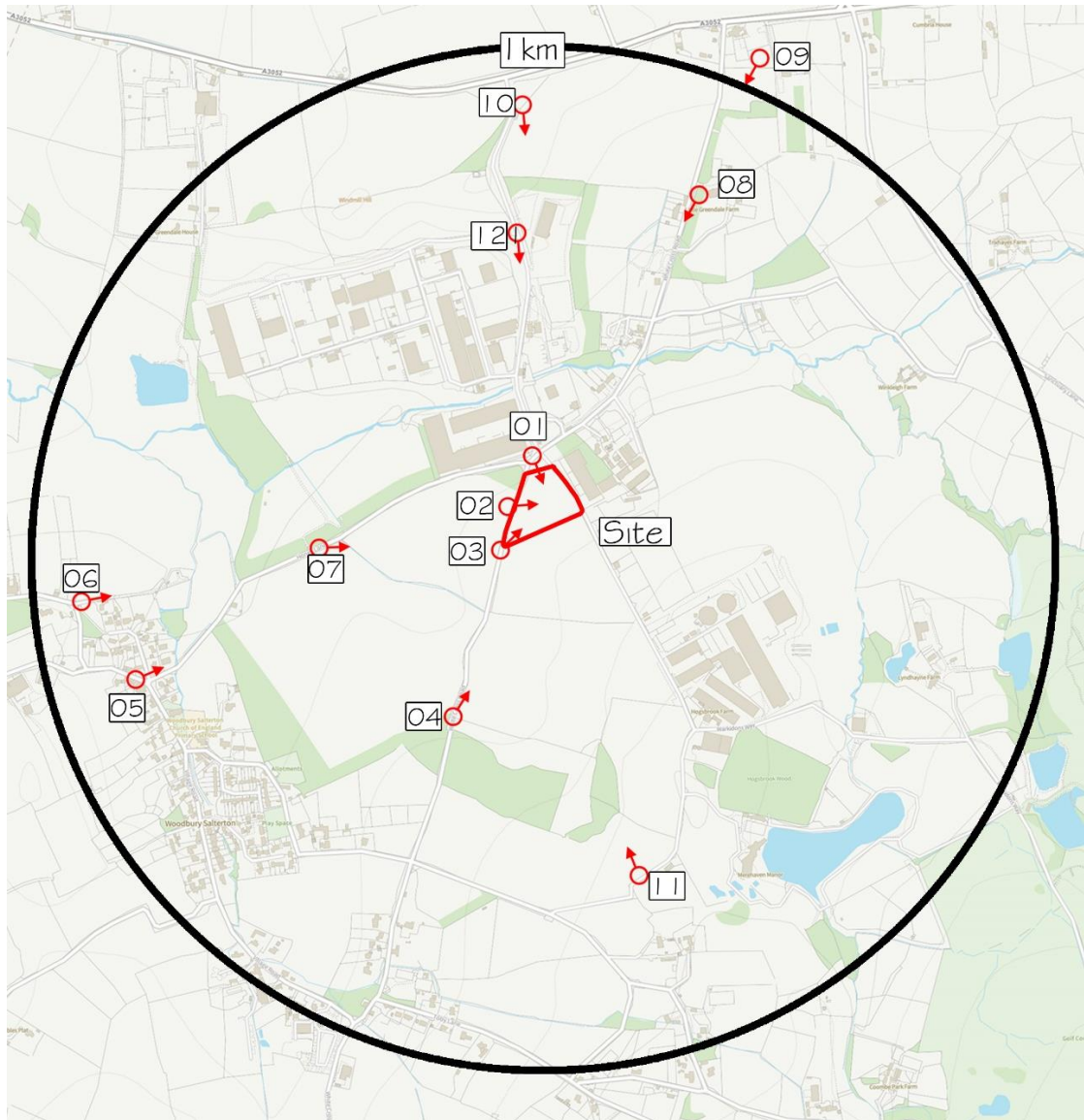
3.12 Viewpoint 11: Warkidons Way

This viewpoint has been taken approximately halfway along Warkidons Way from Stoney Lane and the entrance to the Mere Haven Manor. This road is little more than a dirt track of single lane with the exact position of the photography being taken at a corner turn whereby a vehicular passing place has been created. The direction of the photography is directly North approximately 700m from the subject site.

3.13 Viewpoint 12: Greendale Business Park

This final viewpoint has been taken within the Greendale Business Park itself approximately halfway along the internal private road of the park from the A3052 and Honey Lane. Due to these viewpoints photography, it has clear views of the site being approximately 600m away.

4.0 Viewpoint Site Location Map



Viewpoint Locations

01 : Greendale Business Park Entrance (Honey Lane)

02: White Cross Road (mid site West boundary)

03: White Cross Road (Southwest boundary)

04: White Cross Road (South)

05: Village Road (Woodbury Salterton)

06: Lower Road (Woodbury Salterton)

07: Honey Lane (West)

08: Honey Lane (Little Greendale Farm)

09: White Horse Inn

10: Greendale Business Park Entrance (A3052)

11: Warkidons Way

12: Greendale Business Park

5.0 Viewpoints

5.1 Viewpoint 1 – Greendale Business Park Entrance (Honey Lane)



From this viewpoint the northern boundary of the site is clearly visible however as can be seen the existing boundary vegetation consisting of traditional Devon hedgerows and a sporadic collection of trees obscures the view of the arable field behind to which the new haulage trailer park is to be created. As this proposal predominantly is a material surface change this will not be visible from this particular vantage point being the closest to the site. When populated with the trailers again due to the ground's topography and its existing boundary vegetation only minimal glanced views of these trailers will be visible which considered in the wider context would not look out of place with existing industrial units part of the Greendale Business Park clearly visible to the left hand side of this viewpoint.

5.2 Viewpoint 2 – White Cross Road (Mid Site Western Boundary)



From this viewpoint the site sits behind an existing traditional Devon hedgerow of the arable field the site is located. Peeking over the top of this hedgerow are the existing business units East of the subject site, these being of a considerably larger height than the haulage trailers the proposal site is intended for. It is therefore considered that from this viewpoint the haulage trailers will not be visible due to the existing boundary vegetation and to further ensure the screening of the proposed haulage trailers a new Devon hedge bank is also proposed along this western boundary.

5.3 Viewpoint 3 – White Cross Road (Southwest Boundary)



Viewpoint 3 much like Viewpoint 2 does not have a clear visual of the proposal site due to existing boundary vegetation and due to the land topography, this view becomes further obscured as you move South along White Cross Road as demonstrated in the above photography with the industrial units East of the subject site being no longer visible. Again, this viewpoint will benefit from further screening from the proposed new Devon hedge bank on the western boundary.

5.4 Viewpoint 4 – White Cross Road (South)



3.4 being again along White Cross Road has a slightly clearer visibility of the industrial units East of the subject site due to the land topography slightly increasing however as can be seen directly below the site identification arrows the fields further South of the subject site crown to an apex which obscures the proposed location of the haulage trailer park from being visible from this viewpoint. Again, taking a comparable of the industrial units East of the subject site and the height of the haulage trailers to be located in the new parking facility it is clearly evident from this photography that these haulage trailers will not be visible.

5.5 Viewpoint 5 – Village Road (Woodbury Salterton)



This viewpoint being taken from the centre of the neighbouring village of Woodbury Salterton West of the subject site it is clearly evident due to the villages various existing residential properties and collection of vegetation such as trees and garden hedgerows that the subject site is clearly obscured.

5.6 Viewpoint 6 – Lower Road (Woodbury Salterton)



This viewpoint is also within the neighbouring village of Woodbury Salterton on the North-western edge and is at a much higher elevation than that of Viewpoint 5 however again due to the existing vegetation predominantly North of Honey Lane between Woodbury Salterton and the subject site the site is completely obscured.

5.7 Viewpoint 7 – Honey Lane (West)



Along Honey Lane there are one or two glimpsed views of the subject site through gaps in the boundary field hedgerows mainly being at field gate locations where the site is clearly visible. As can be seen in the above photography the industrial units immediately East of the subject site are clearly visible and therefore as will the haulage trailers that are to be housed within the proposal. However, the proposal has taken this into consideration and with the inclusion of the new Devon hedge bank along the western boundary this will not only obscure the haulage trailers but most likely the entirety of these existing industrial units East of the subject site.

5.8 Viewpoint 8 – Honey Lane (Little Greendale Farm)



As can be clearly seen in the above photography despite the elevated position of Viewpoint 8 relative to the subject site existing residential properties and the height of road boundary vegetation the site is completely obscured.

5.9 Viewpoint 9 – White Horse Inn



While this viewpoint is technically not along a public highway, cycle track or footpath, it is a position of which the public have unfettered access. However as can be shown from the above photography the subject site is obscured behind not only its northern boundaries vegetation but that of the various field boundaries and wooded areas between the subject site and this viewpoint being approximately 1.1km away. The creation of the subject site into a haulage trailer park would not be visible from this viewpoint due to the aforementioned existing vegetation.

5.10 Viewpoint 10 – Greendale Business Park Entrance (A3052)



Like Viewpoint 9 the subject site is not visible due to the existing northern boundary vegetation of the site and the various field hedges and wooded areas between this viewpoint and the subject site.

5.11 Viewpoint 11 – Warkidons Way



Due to the topography of the land rising up from the subject site to the South to approximately halfway along White Cross Road between the subject site and its junction with Stoney Lane and then falling away again to the South any views along Warkidons Way will not visibly be able to see the site due to land topography. Along Warkidons Way there are very few places where there is a break in the hedgerow whereby a glimpsed view of the subject site may be possible with the above photography being the most predominant of such hedge breaks and as can be seen in addition to land topography a dense area of woodland completely obscures any view of the subject site from this viewpoint.

5.12 Viewpoint 12 – Greendale Business Park



From this viewpoint despite mitigating planting and the existing boundary vegetation the site will be clearly visible, however this is along a private road within Greendale Business Park itself and therefore cannot be considered a public vantage point. However should the development be approved it is considered that the haulage trailers will be read in conjunction with the surrounding industrial units of the Greendale Business Park with their overall height not exceeding that of the existing units as seen in the photography just right of the area identified as the site (buildings clad in blue).

6.0 Landscape Character

6.1 Surrounding landscape falls into two landscape characteristics as indicated in the East Devon and Blackdown Hills Landscape Character Assessment, these are as follows: -

- 3b Lower rolling farmland and settled slopes
- 4d Coastal slopes and coombes

6.2 Landscape Character 3b Lower rolling farmed and settled valley slopes is characterised by predominantly agricultural and pastoral and arable land situated on lower slopes of the valley slides and is generally a medium scale landscape often with long views. The character area also may feature woodlands, copse, hedgerow trees giving the landscape a well treed character this area is well settled landscape with farms, hamlets, and villages.

6.3 The key points that make up the landscape character known as 3b are as follows: -

- This is the most extensive of all the East Devon District Councils landscape characters which forms the setting for many settlements and also contributes towards many expansive views from higher ground.
- This landscape character contains a productive working but still attractive landscape containing numerous historic and archaeological features.
- This character has a diversity of settlements with building materials and settlement patterns reflecting local geology.

6.4 In terms of new development it is intended that the existing structure of hedgerows and woodlands remain and that any new developments should be contained within existing field patterns.

6.5 Landscape character 4d coastal slopes and coombes is characterised by multiple branching valleys that range from narrow steep to shallow wide slopes with well wooded upper slopes and remnant orchards. Others are more gentle sloping with more shrubbery, open character especially along their upper boundaries (such as that relation to the subject site).

6.6 The key points that make up the landscape character of 4d are as follows: -

- The historic geology especially its contribution to the makeup of the various surrounding hamlets and villages.
- Attractive historic villages and coombes and historic/listed traditional buildings.
- Medieval field pattern.
- Attraction to visitors since the early 19th century including artists.

6.7 In terms of development within this character area it is considered surrounding agricultural landscape rich in history and biodiversity should remain managed and valued. Developments for recreation and tourism should be carefully accommodated so settlements can thrive. In terms of that proposed the sites assets in terms of biodiversity have been accommodated for through the retention of the surrounding field boundaries and their enhancement with the proposed new Devon hedge bank.

7.0 Conclusion

7.1 Taking the above into account and the impact analysed from the public survey it is considered the proposal is well screened from surrounding wider landscape due to the existing land topography and the existing historic field boundaries of the surrounding landscape when viewed from the identified public vantage points within 1km of the subject site. Due to the nature of that proposed being only a use change a surface material change it is not considered the proposal has a significant visual impact on the wider character area with the movement of such large articulated lorries currently experienced on a regular basis with the main Greendale Business Park and Hogsbrook Farm immediately adjacent the subject site.