

# Project\_37 Cheltenham Rd\_Design & Access statement\_Rev A

**Rich Ryan Studio**  
[rich@richryan.co.uk](mailto:rich@richryan.co.uk)  
+44 (0) 7771 395252

Eves, Pett Rd, Pett, TN35 4HG

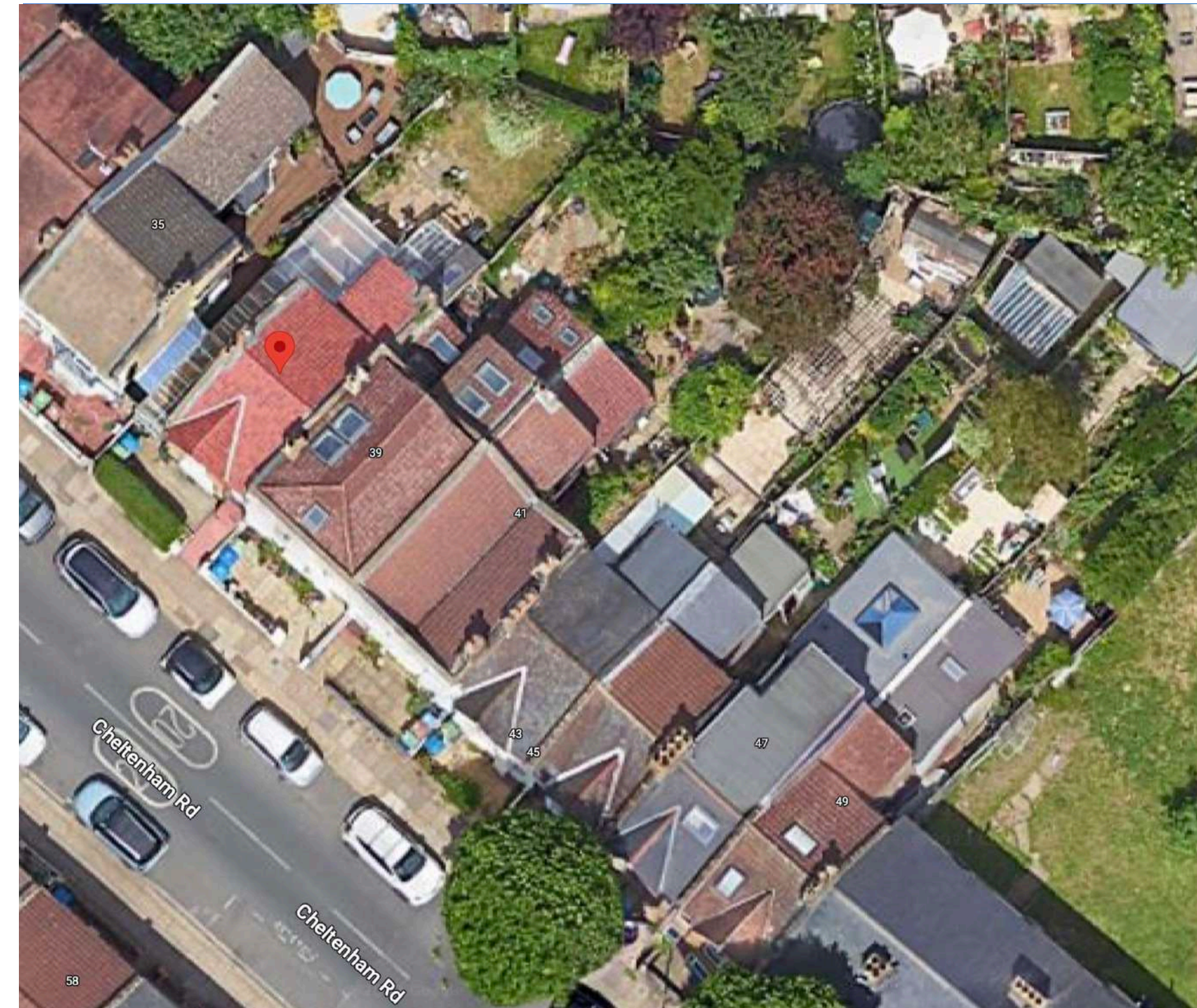




# Introduction & History



Google maps image of terrace



37 Cheltenham Rd is an end of terrace property with an accessible side return / lean to which abuts the boundary line of 35 Cheltenham Rd. The adjoining property which shares a party wall is a different architectural style to the other properties in the terrace. Specifically No's 39 & 41. 43 to 49 all have the same character & style of No. 37. Looking along the road all the properties appear to have a diverse character in general.

There are a number of rear & outrigger extensions along the run of the terrace, which varying lengths and aesthetic differences. Similarly as one looks along Reynolds Rd, of which the rear of those properties back onto Cheltenham Rd gardens, one again can see a large variety of single storey & outrigger extensions too.



# Location



Existing front facade



Existing rear facade



Existing side facade

37, CHELTENHAM ROAD, LONDON, SE15 3AF

Supplied by: [www.ukmapcentre.com](http://www.ukmapcentre.com)

Serial No: 266221

Centre Coordinates: 535406,174965

Production Date: 20/06/2023 21:59:54



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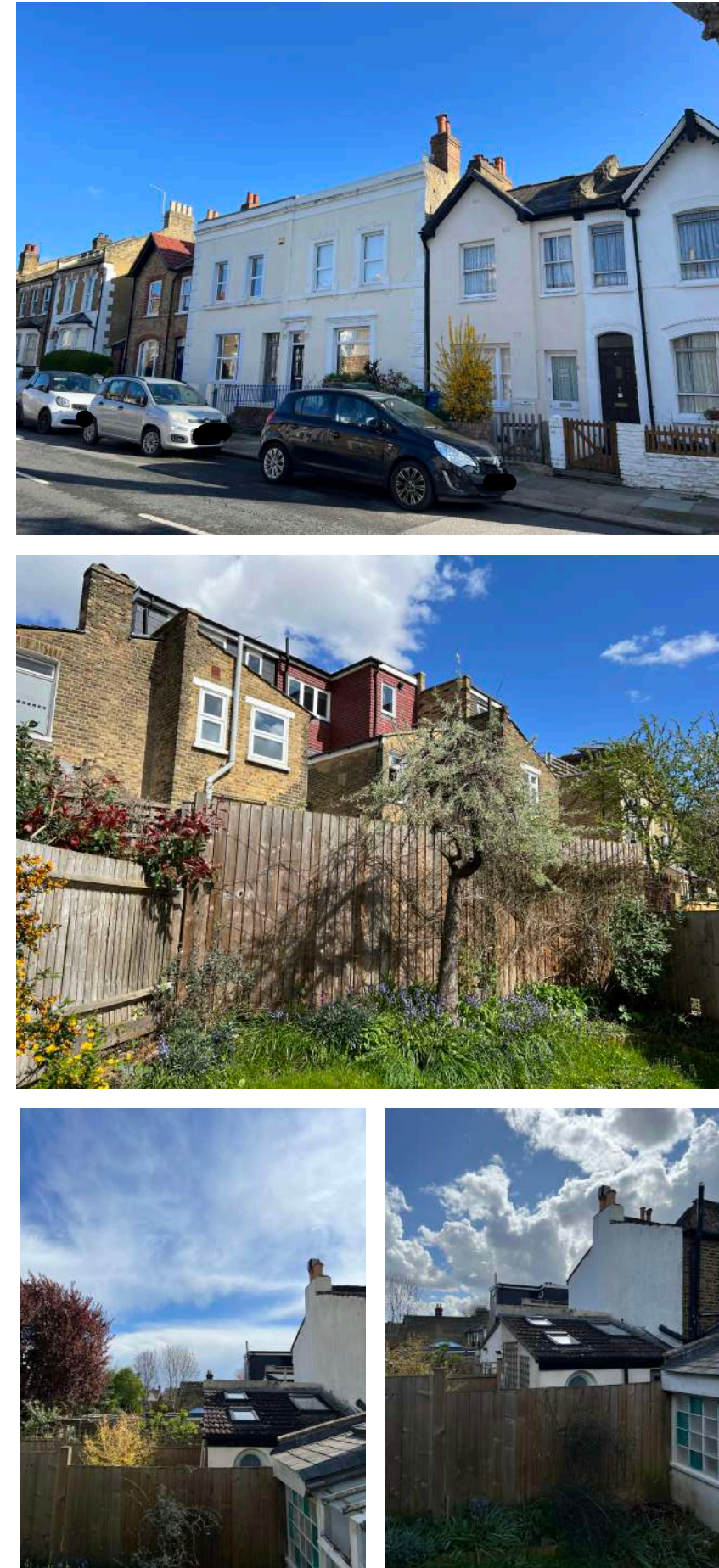
0m 1cm = 5m 25m  
Scale 1:500



# Location\_Street



Existing front facade\_35 & 41 in context



Front & rear context

37, CHELTENHAM ROAD, LONDON, SE15 3AF

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0m 1cm = 5m 25m  
 Scale 1:500



# Existing\_Exterior images



Existing front facade



Existing rear facade



Existing side facade

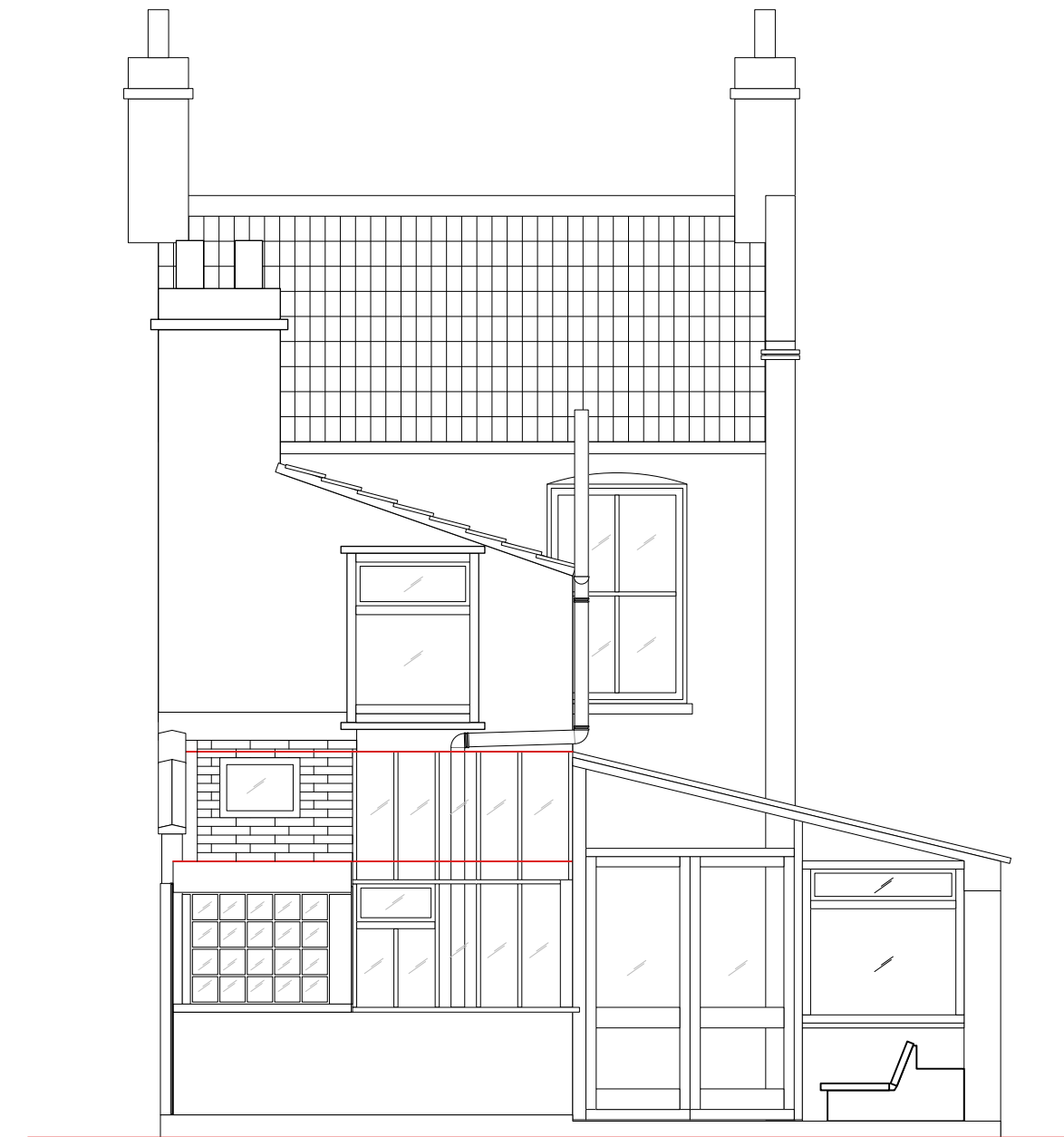


Images supplied to show the extent of the existing external finishes & elevations, including the relationship with the adjoining properties



# Existing\_2D overview

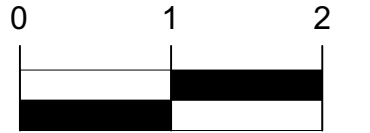
Existing rear elevation



1 Existing Rear Elevation  
Scale: 1:50

## Notes

- General notes - design intent
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## Revision Date Description

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**Project**  
37 Cheltenham Rd

**Drawing Title**  
Existing  
Rear Elevation

Date	Status	Client info
05/06/2023	RR	XX
Scale	Drawn	Checked
1:50	RR	XX
Project number	Drawing number	Revision number
0032	0002	

## Rich Ryan Studio

Eves, Pett Rd, Pett  
East Sussex TN35 4HG  
+ 44 (0) 7771 395252  
rich@richryan.co.uk

# Proposed\_2D overview

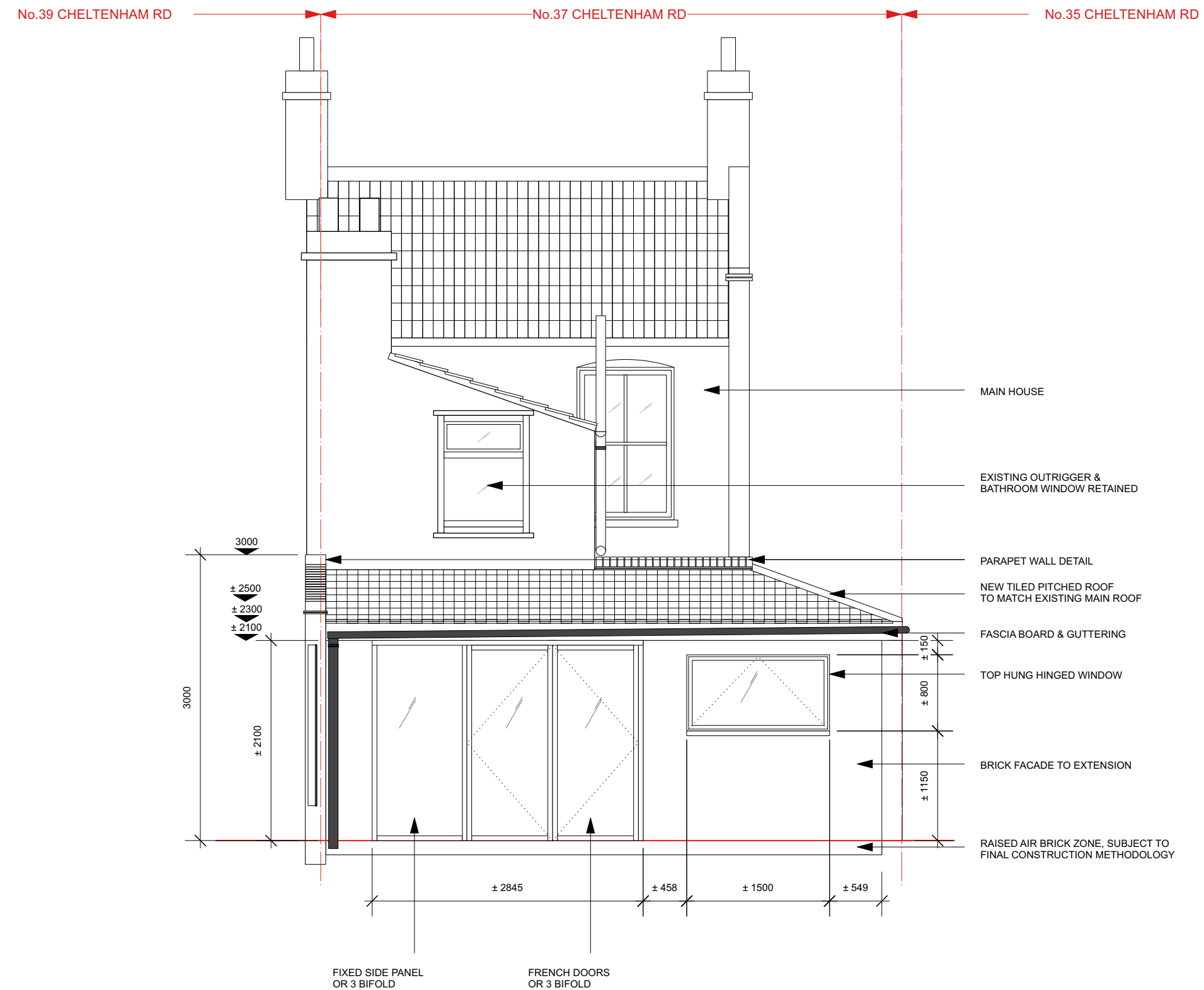
The proposed single storey rear extension is around 34 sqm in size, which is smaller than the current glazed conservatory footprint. The aim being to grab some more space in the garden. .

The roof form up to the two storey outrigger will be pitched from the North & East, with a large format skylight central to the flatter kitchen zone. The clients are exploring the idea that the inner surround may take on a sedum or wildflower construction, but this is budget dependant. We also have a large format roof light (likely etched) to the pitched roof directly above the newly created WC / Shower room, alongside a roof light to the kitchen zone.

The extent of roof past the line of the outrigger & main house will pitch down to a lower level to create a softer articulation to the roof form. The roof will be clad in cementitious tiles similar, if not the same as the tiles to the main roof. All rain water goods will be black in keeping with the existing vernacular.

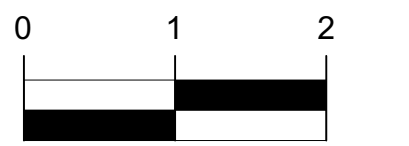
The party' / boundary walls will be London stock brick in keeping with the main house. Each wall will have a parapet detail to echo that of the gable end of the main house.

The rear facade will have one large opening for a 3 panel glazed door. This will either be a bi-fold system or a French door with one fixed panel. Costs will determine this. The intent is to use an aluminium frame for both the doors & the single, large format window.



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B 02.11.23 Design of GF roof extensions design adjusted to slope down to neighbours boundary

A 12.09.23 Reduced extension height to 3M in line with PD allowance

Revision	Date	Description
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Project 37 Cheltenham Rd		
Drawing Title Proposed Rear Elevation		
Date 06/11/2023	Status Client info	
Scale 1:50 at A3	Drawn RR	Checked XX
Project number 0032	Drawing number 2000B	Revision

## Rich Ryan Studio

Eves, Pett Rd, Pett  
East Sussex TN35 4HG  
+ 44 (0) 7771 395252  
rich@richryan.co.uk

# Existing\_2D overview

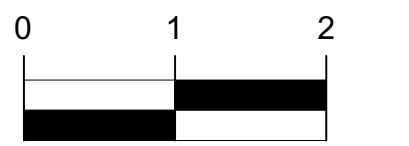
Existing side elevation



1 Existing Side Elevation  
Scale: 1:50

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**Project**  
37 Cheltenham Rd

**Drawing Title**  
Existing  
Side Elevation / Section

Date	Status	Client info
05/06/2023		
Scale	Drawn	Checked
1:50	RR	XX
Project number	Drawing number	Revision
0032	0003	

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Eves, Pett Rd, Pett  
East Sussex TN35 4HG  
+ 44 (0) 7771 395252  
rich@richryan.co.uk

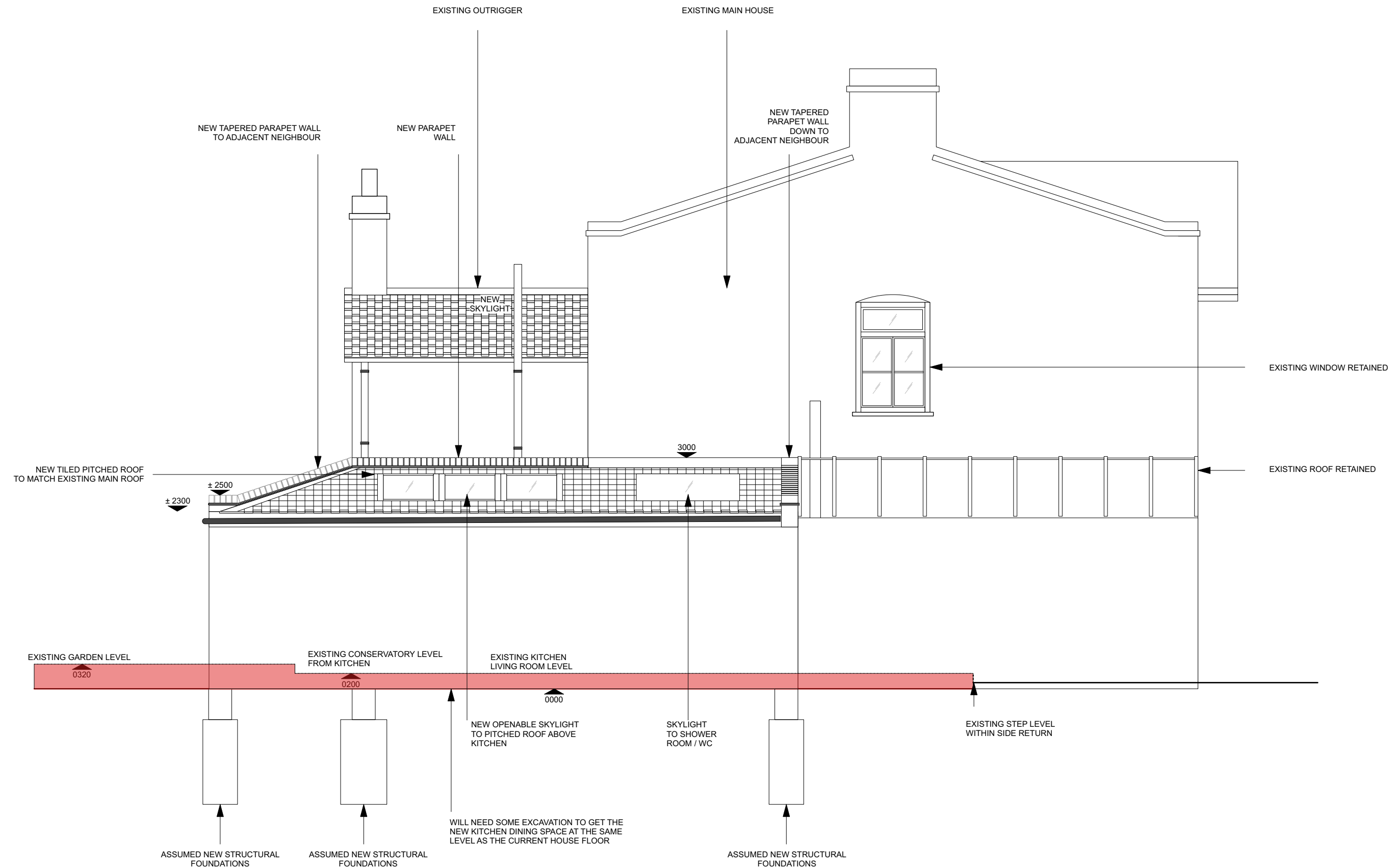


# Proposed\_2D overview

The proposed single storey rear extension will wrap slightly around the side of the house to encapsulate a new shower room / WC.

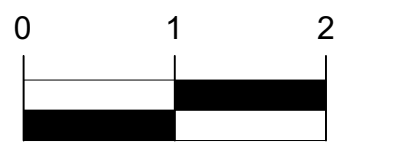
The side return & rear extension roof adjacent to No.35 will pitch down to provide similar views & light. There are four roof lights added to the pitched roof on this elevation to provide light into the shower room / WC (likely etched) with a roof light above the kitchen zone too.

The floor levels will have to be given due consideration internally & adjust in obtaining a flat threshold from the existing house to the new extension floor finish.



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B 02.11.23 Design of GF roof extensions design adjusted to slope down to neighbours boundary

A 12.09.23 Reduced extension height to 3M in line with PD allowance

Revision	Date	Description
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Project  
37 Cheltenham Rd

Drawing Title  
Proposed  
Side Elevation

Date	Status	
06/11/2023	Client info	
Scale	Drawn	Checked
1:50 at A3	RR	XX
Project number	Drawing number	Revision
0032	2002B	

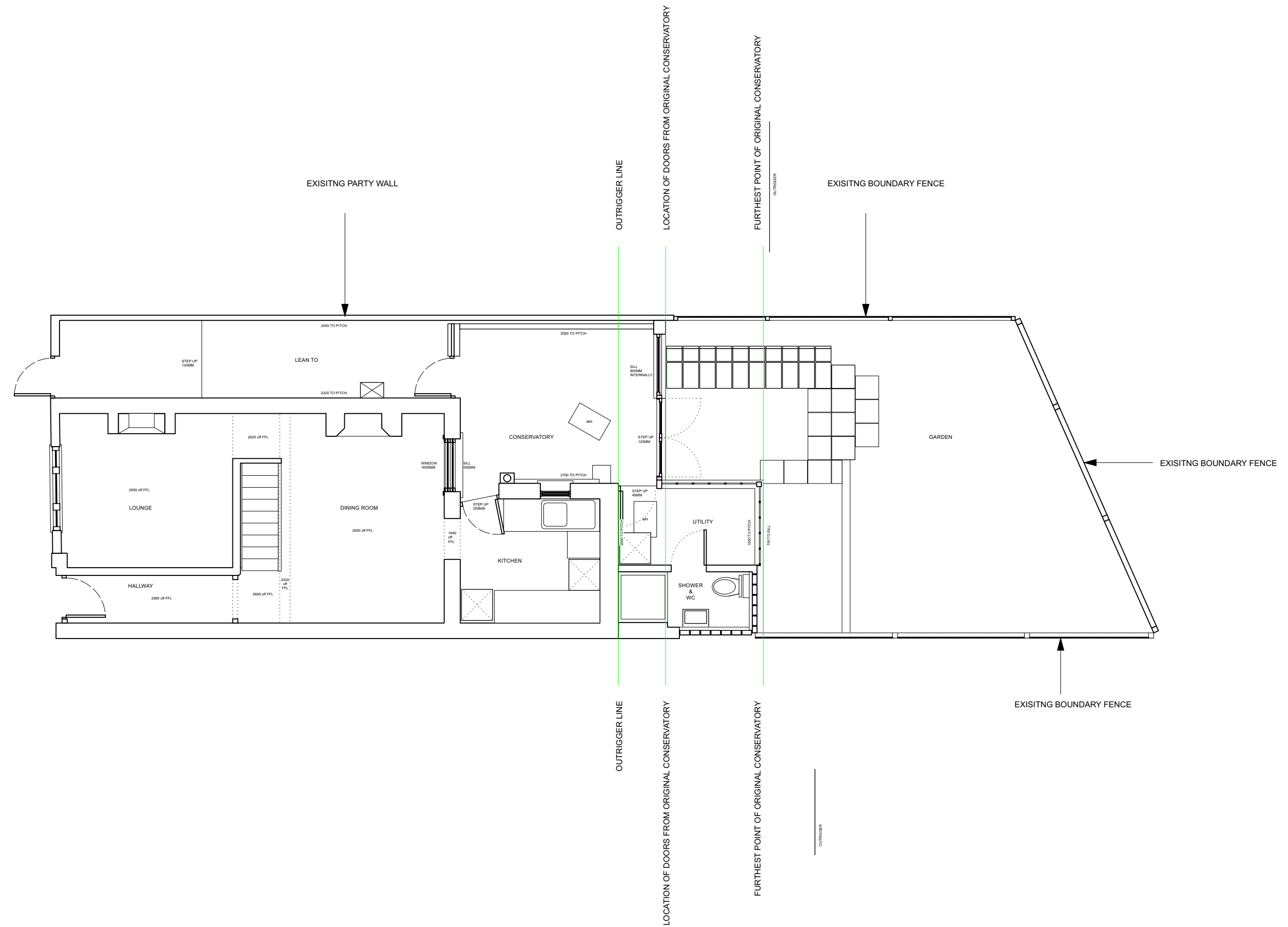
## Rich Ryan Studio

Eves, Pett Rd, Pett  
East Sussex TN35 4HG  
+ 44 (0) 7771 395252  
rich@richryan.co.uk



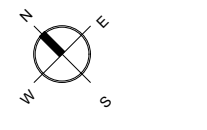
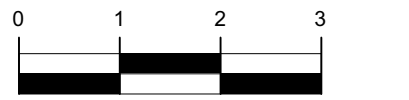
# Existing\_2D overview

Existing ground floor plan



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<b>Project</b>		
37 Cheltenham Rd		
<b>Drawing Title</b>		
Existing GF_GA Plan		
<b>Date</b>	<b>Status</b>	
05/06/2023	Client Info	
<b>Scale</b>	<b>Drawn</b>	<b>Checked</b>
1:75	RR	XX
<b>Project number</b>	<b>Drawing number</b>	<b>Revision</b>
0032	0000	

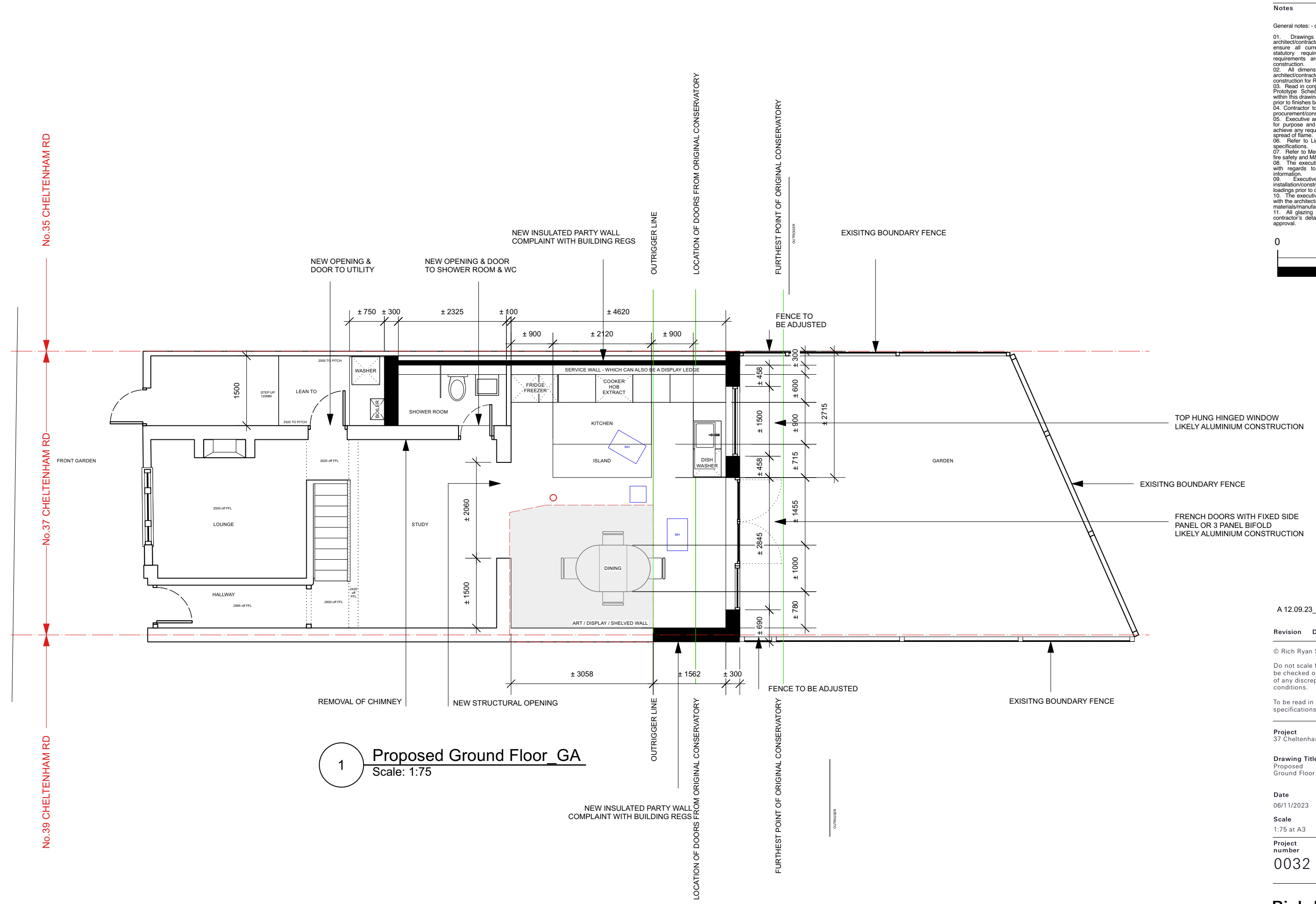
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Eves, Pett Rd, Pett  
 East Sussex TN35 4HG  
 + 44 (0) 7771 395252  
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# Proposed\_2D overview

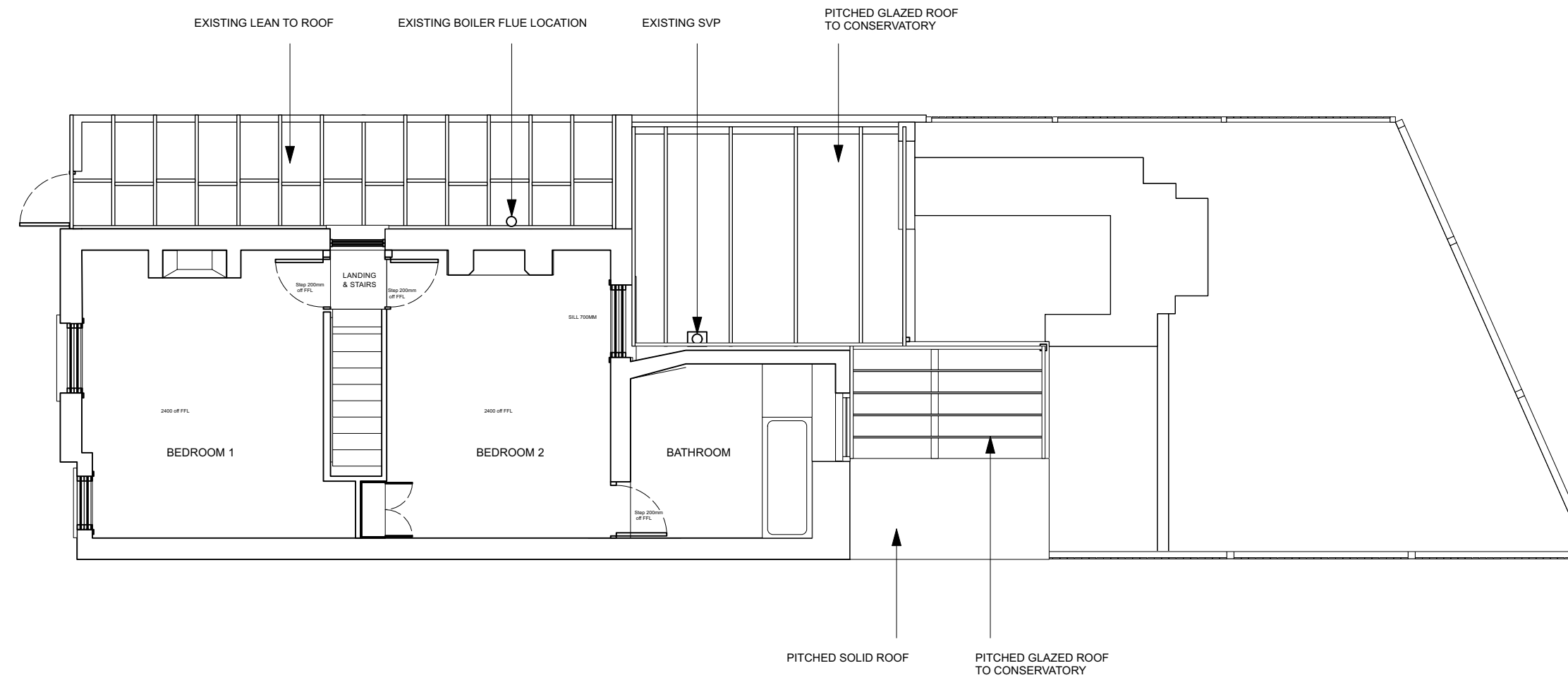
Proposed ground floor plan





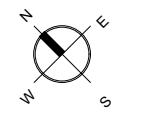
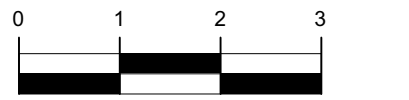
# Existing\_2D overview

Existing first floor plan



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<b>Project</b>		
37 Cheltenham Rd		
<b>Drawing Title</b>		
Existing FF_GA Plan		
<b>Date</b>	<b>Status</b>	
05/06/2023	Client Info	
<b>Scale</b>	<b>Drawn</b>	<b>Checked</b>
1:75	RR	XX
<b>Project number</b>	<b>Drawing number</b>	<b>Revision</b>
0032	0001	

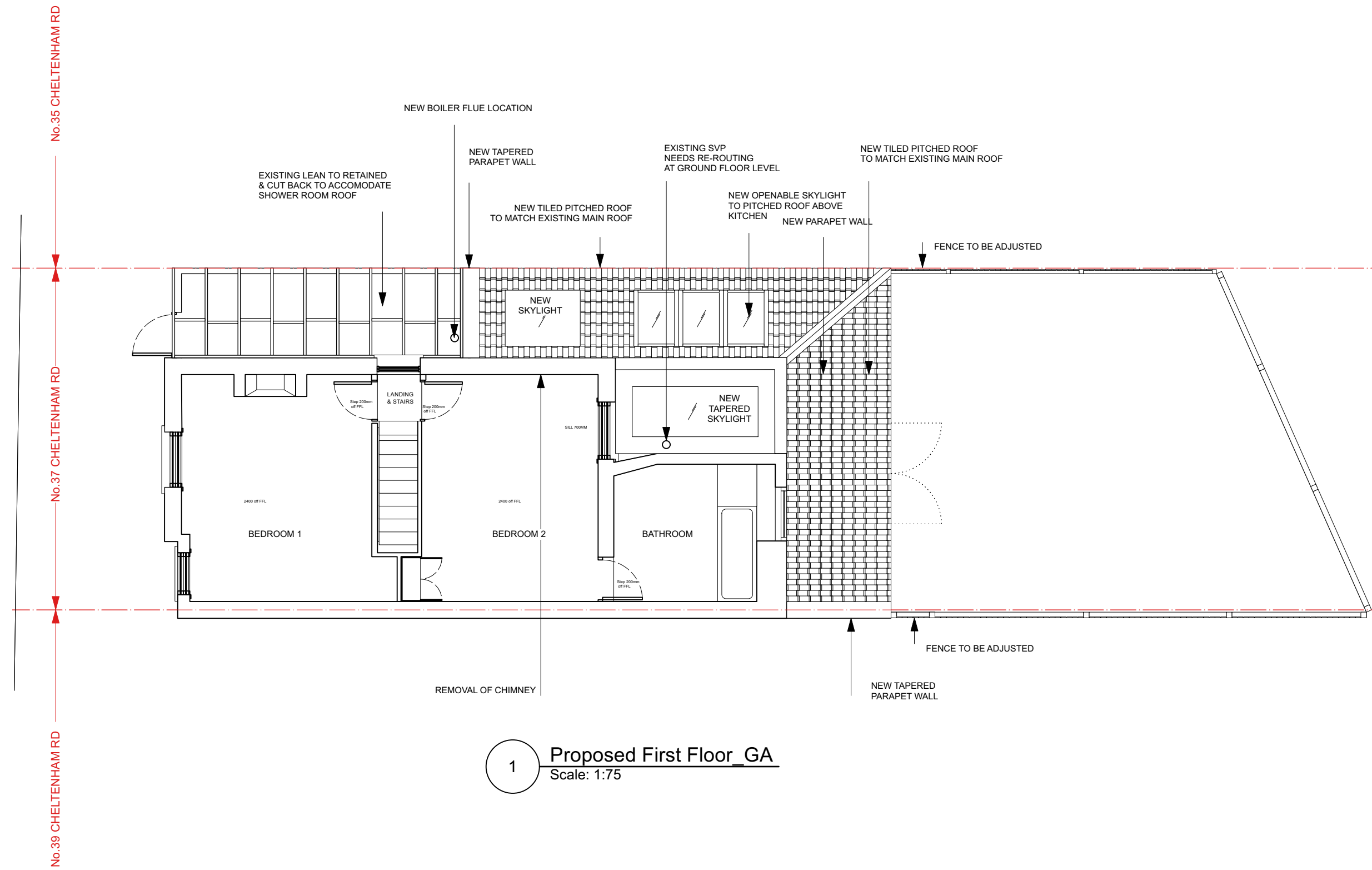
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East Sussex TN35 4HG  
+ 44 (0) 7771 395252  
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# Proposed\_2D overview

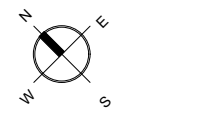
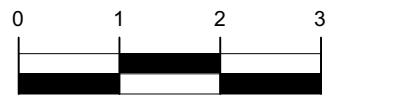
Proposed first floor plan



1 Proposed First Floor\_GA  
Scale: 1:75

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B 02.11.23 Design of GF roof extensions design adjusted to slope down to neighbours boundary

A 12.09.23\_Drawing description amended

Revision	Date	Description
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**Project**  
37 Cheltenham Rd

**Drawing Title**  
Proposed First Floor\_GA Plan

**Date**  
06/11/2023

**Scale**  
1:75 at A3

**Date**  
06/11/2023

**Project number**  
0032

**Status**  
Client Info

**Client Info**

**Drawn**  
RR

**Checked**  
XX

**Drawing number**  
1102B

**Revision**

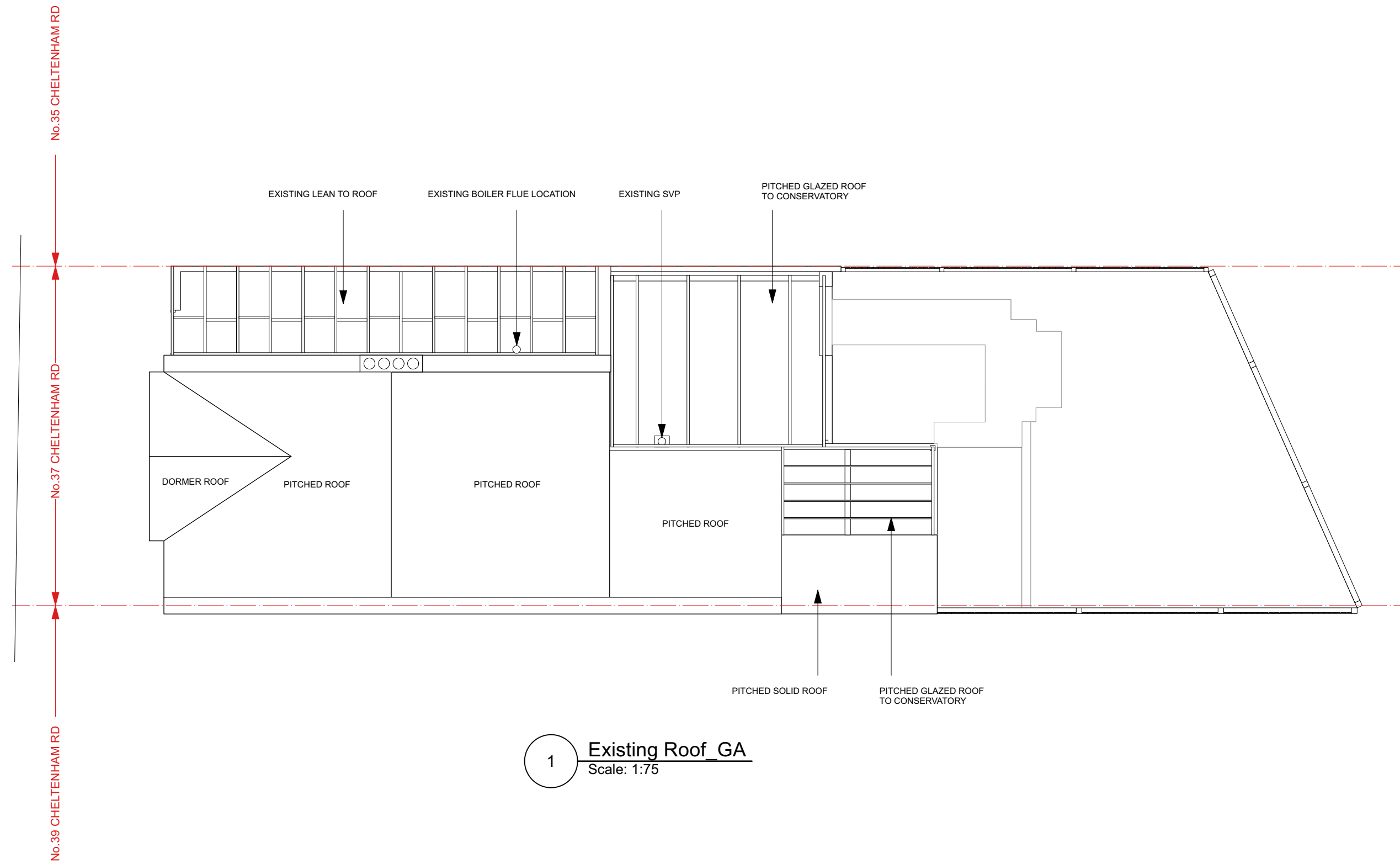
**Rich Ryan Studio**

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# Existing\_2D overview

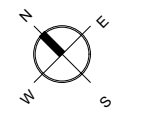
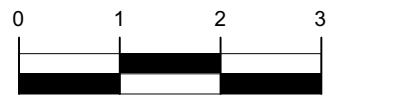
Existing roof plan



1 Existing Roof\_GA  
Scale: 1:75

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**Project**  
37 Cheltenham Rd

**Drawing Title**  
Existing Roof\_GA Plan

**Date**  
06/11/2023

**Status**  
Client Info

**Scale**  
1:75 at A3

**Drawn**  
RR

**Checked**  
XX

**Project number**  
0032

**Drawing number**  
0002

**Revision**

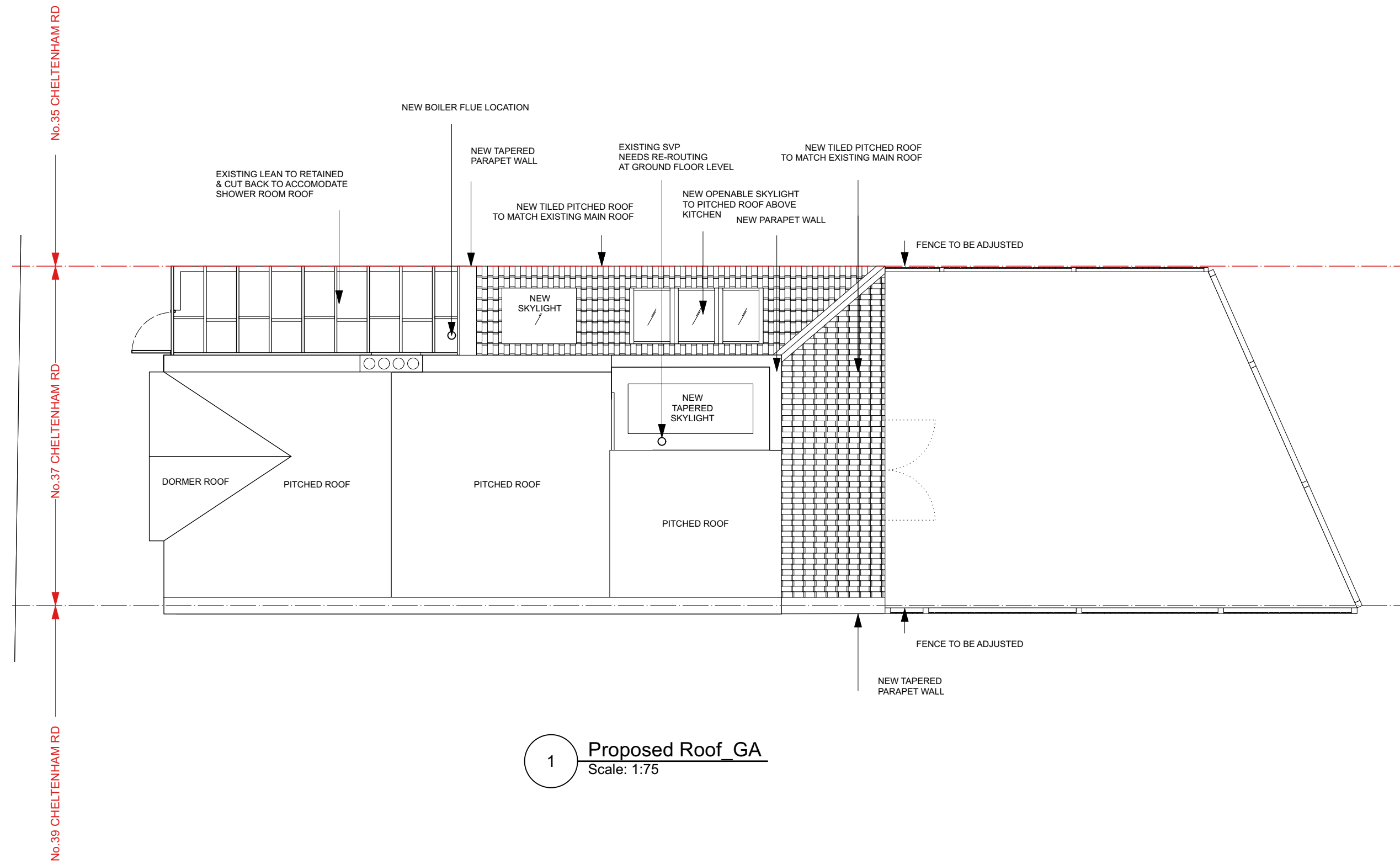
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# Existing\_2D overview

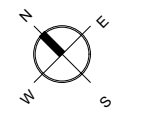
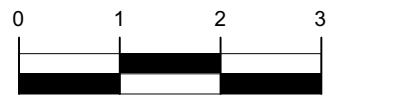
Proposed roof plan



1 Proposed Roof\_GA  
Scale: 1:75

## Notes

- General notes - design intent
01. Drawings indicate design intent only. The executive architect/contractor & relevant consultants & for sub-contractors ensure all current building regulations, standards, & city statutory requirements, codes of practice and land use requirements are implemented with design development construction.
  02. All dimensions to be checked on site. The executive architect/contractor is to produce full set out drawings prior to construction for RRS approval.
  03. Read in conjunction with RRS Finishes Schedule, Features or Fixings Schedule, which supersedes any notes contained within this drawing. Any discrepancies to be reported immediately prior to finishes being applied.
  04. Contractor to supply control samples of all finishes prior to procurement/construction for RRS approval.
  05. Executive architect/contractor to ensure all materials are for purpose and comply with regulation, and ensure all finishes achieve any requirements in terms of fire regulations and justify spread of flame.
  06. Refer to Lighting Designers info for all lighting layout specifications.
  07. Refer to Mechanical & Electrical (M&E) consultant's info for fire safety and MAE layouts & specifications.
  08. The executive architect/contractor is to satisfy themselves with regards to the structural stability of all design into information.
  09. Executive architect/contractor to confirm that all installation/construction is suitable for existing floor and wall loadings prior to construction.
  10. The executive architect/contractor is to agree any variation with the architect/client prior to construction or procurement of materials/manufacture.
  11. All glazing specifications and structure to be to special contractor's details. Shop drawings to be produced for RRS approval.



## A 02.11.23 Design of GF roof extensions design adjusted to slope down to neighbours boundary

Revision	Date	Description

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Do not scale from this drawing. All dimensions to be checked on site. Rich Ryan Studio to be notified of any discrepancies between the drawing and site conditions.

To be read in conjunction with all relevant specifications, schedules and drawings.

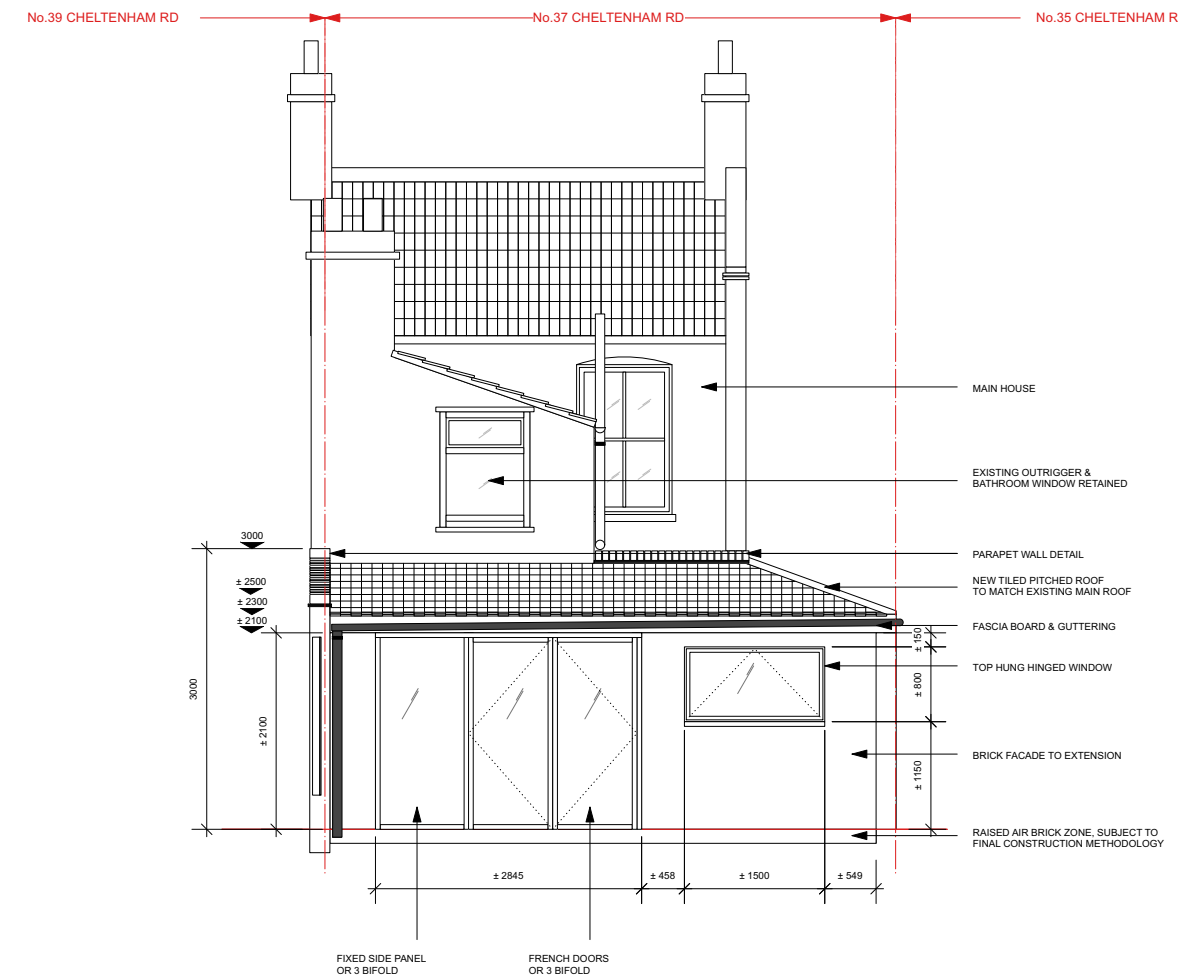
<b>Project</b>		
37 Cheltenham Rd		
<b>Drawing Title</b>		
Proposed Roof_GA Plan		
<b>Date</b>	<b>Status</b>	
06/11/2023	Client Info	
<b>Scale</b>	<b>Drawn</b>	<b>Checked</b>
1:75 at A3	RR	XX
<b>Project number</b>	<b>Drawing number</b>	<b>Revision number</b>
0032	1130A	

## Rich Ryan Studio

Eves, Pett Rd, Pett  
East Sussex TN35 4HG  
+ 44 (0) 7771 395252  
rich@richryan.co.uk



# Summary\_Overview



The proposed single storey rear & side extension is around 34 sqm in size, which is smaller than the current glazed conservatory footprint. The aim being to regain some more space in the garden. .

The new extension will create an internal space that is habitable in all seasons. The current all glazed conservatory fails in this of course.

The extent of roof past the line of the outrigger & main house will pitch down to a lower level to create a softer articulation to the roof form on two sides. The roof will be clad in cementitious tiles similar, if not the same as the tiles to the main roof. All rain water goods will be black in keeping with the existing vernacular.

The composition of the rear facade fenestration is driven by the height of the kitchen units behind & the doors linking the dining room to a potential alfresco dining offer in the garden,

