

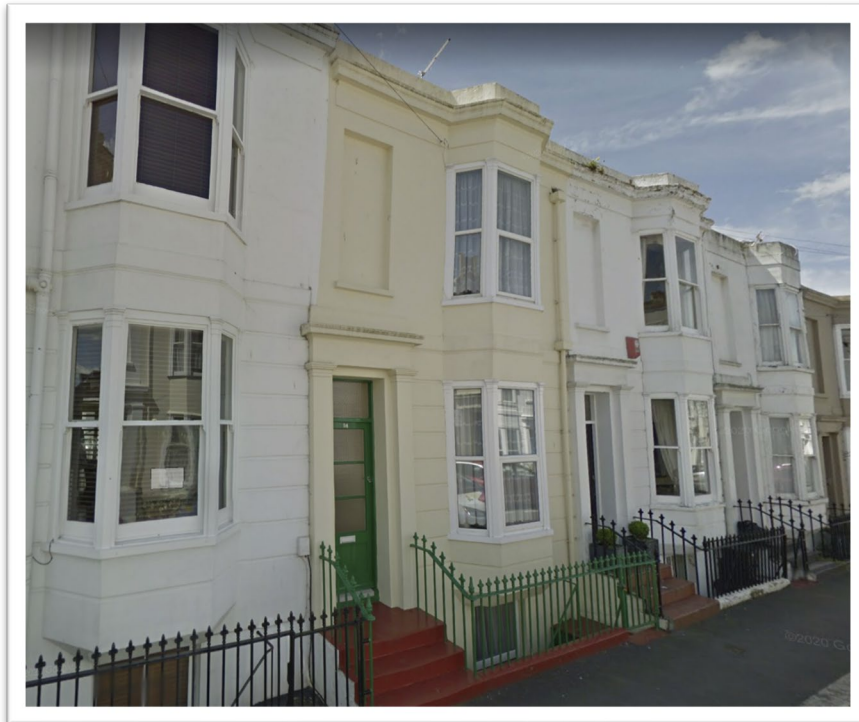
Planning and Heritage Statement

Small terrace built into rear outrigger roof, front porch and installation of first floor window;

24 Great College Street, Brighton

Planning and Heritage Statement

June 2021



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1 Introduction

- 1.1 This householder planning application seeks planning permission for a small rear roof terrace, a front porch at the lower ground floor and the provision of a sliding sash window to the first floor at 24 Great College Street, Brighton.
- 1.2 Although labelled as a 'roof' terrace in the architects drawings, it is important to note from the outset that this terrace would be built into (as opposed to be set on top) of the existing roof.
- 1.3 Please note that this application is an alternative to the application to raise the rear extension up by one floor, also with porch and additional window which was submitted on 11 June 2021. The online planning portal reference for this application was PP-09933461
- 1.4 The application seeks a modest alteration to the existing rear projection to provide a roof terrace accessed from the first floor. Essentially the roof would be removed from the rear outrigger, and the terrace would be built into the former roof area, retaining the east side wall to ensure privacy. This arrangement is visible immediately to the west. The terrace will be accessed internally and also from a new proposed staircase in the rear garden of the property.
- 1.5 As per PP-09933461, the LG door would be rearranged to create a porch. Also, and again as per PP-09933461 the proposal also seeks approval for a sliding sash window to be placed in the existing blind window opening in the first-floor front elevation. The blind window opening is currently rendered to match the existing finish of the building. However, the existing ground and first floor bay windows are UPVC in the style of sliding sash.
- 1.6 The property is a not listed, however, it does sit within the East Cliff Conservation Area. The Conservation Area contains principally Regency terraces with small green spaces. However, the site sits within an area of fairly uniform terraces of two storey Victorian houses, stuccoed with canted bays and sash windows and minimal mouldings.

2 Site context

- 2.1 The site is located at 24 Great College Street (see Image 1), located close to the sea front in Brighton. The property is a two storey plus basement, stucco rendered mid-terrace building and associated curtilage. The front elevation benefits from a ground and first floor bay window, with a small flight of steps to the front door on the ground floor level, and a larger flight of stairs down to the basement level. Iron railings provide a boundary treatment with the existing footpath of Great College Street.

- 2.2 The sites northern boundary is made up of its frontage onto Great College Street, it is bounded to the west and east by the adjacent properties at 22 and 26 Great College Street and to the south by terraced properties on College Gardens.
- 2.3 The application site has a rear courtyard at the lower ground level. There is an existing rear extension at lower and ground floor levels. The area is characterised by the stucco terraces. Approximately 200m southeast of the site lies the Brighton and Sussex University Hospital, Sussex House (Image 3). Brighton Seafront lies some 400m due south of the proposal site.
- 2.4 There is no planning history associated with the site.



Image 1: Site location Plan

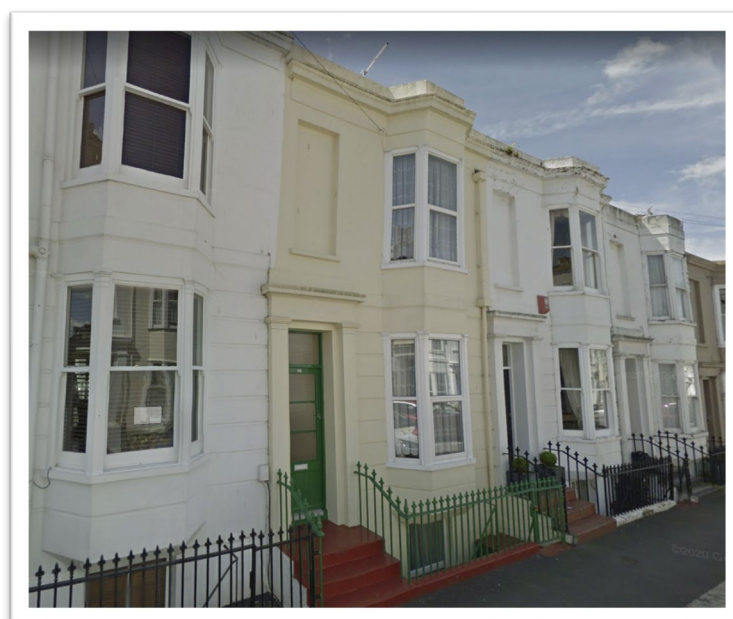


Image 2: The façade of the proposal site



Image 3: Sussex House

2.5 The site is located within the East Cliff Conservation Area (see Image 4 above).

3. Policy Position

The following policies are applicable to the assessment of the application.

3.1 **National Planning Policy Framework (NPPF)**

The NPPF requires good quality design. Planning policy and decisions should ensure that developments function well and add to the overall quality of the area, be visually attractive as a result of good architecture, layout and appropriate and effective landscaping, be sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (Paragraph 127).

3.2 **Brighton & Hove City Plan Part One**

SS1 Presumption in Favour of Sustainable Development

When considering development proposals, the Council will take a positive approach that reflects the presumption in favour of sustainable development contained in the NPPF. It will always work proactively with applicants to find solutions which mean that proposals can be approved wherever possible, and to secure development that improves the economic, social and environmental conditions in the area.

The policy goes further to advise that planning applications that accord with the policies in this Local Plan will be approved without delay.

Policy CP15 Heritage

Policy CP15 states that the Council will work with partners to promote the city's heritage and to ensure that the historic environment plays an integral part in the wider social, cultural, economic and environmental future of the city.

The city's historic environment will be conserved and enhanced in accordance with its identified significance, giving the greatest weight to designated heritage assets and their settings and prioritising positive action for those assets at risk through, neglect, decay, vacancy or other threats. The council will further ensure that the city's built heritage guides local distinctiveness for new development in historic areas and heritage settings.

3.3 **Brighton & Hove Local Plan (retained policies March 2016)**

Policy HE6 Development within or affecting the setting of conservation areas

Policy HE6 requires proposals to preserve or enhance the character and appearance of the area.

Policy QD14 Extensions and alterations

Policy QD14 provides policy guidance with respect of extensions and alterations to existing buildings. The main aim of the policy is to promote good design, preserve residential amenity, preserve the visual amenity, and preserve the amenity and character of the local area.

QD27 Protection of Amenity

Policy QD27 outlines that proposals should preserve the amenity to the proposed, existing and / or adjacent users, residents and occupiers.

3.4 **Brighton & Hove City Plan Part Two (Proposed Submission October 2020)**

We understand that the Regulation 19 consultation took place on the Submission Brighton & Hove City Plan Part Two ended on 30 October 2020. The Plan however has yet to be submitted for examination and therefore carries limited weight in the determination of this application.

As outlined above policies in the Proposed Submission City Plan Part 2 do not carry full statutory weight but are gathering weight as the Plan proceeds through its stages. Since 23 April 2020, when the Plan was agreed for submission to the Secretary of State, it has gained weight for the determination of planning applications.

As the emerging Plan for the area, the policies proposed indicate the direction of policy within the Brighton and Hove Area. While the proposed policies cannot be given determining weight, they should be considered material to the consideration of the proposal.

Policy DM18 High quality design and places states that development proposals must demonstrate a high standard of design and make a positive contribution to a sense of place and the visual quality of the environment.

Policy DM20 Protection of Amenity seeks to ensure that protection of amenity of neighbours as well as future users, residents and occupiers.

Policy DM21 Extensions and alterations, seeks to ensure high quality designed extensions and alterations that respond creatively to the site and its context will be supported where they meet the policy.

Policy DM26 Conservation Areas seeks to ensure that development within the Conservation Area should be of the highest design quality and should take the opportunity to enhance the special interest of the area wherever possible.

3.5 Supplementary Planning Documents

SPD 09 provides detailed policy guidance on the repair, restoration and enhancement of historic buildings.

SPD 12 provides guidance on the design for extensions and alterations, section 5 specifically sets out guidance on extensions and alterations, including balconies and roof terraces, in historic buildings and conservation areas.

4. Conservation and Heritage Context

4.1 The site is located within the East Cliff Conservation Area. The East Cliff Conservation Area Study and Enhancement Plan was published by BHCC in September 2002. It contains an appraisal of the special architectural and historic interest of the conservation area and sets out action that should be taken in order to preserve and enhance the special character and appearance of the area.

4.2 Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 is up to date with all changes known to be in force on or before 03 November 2019. The section places a general duty on the local planning authority to pay special attention to the desirability of preserving or enhancing the character or appearance of that area.

4.3 Section 16 of the National Planning Policy Framework 2019 (NPPF) provides the following provisions of relevance to development within a conservation area:

- Conserving and enhancing the historic environment (paragraphs 184-188)
- Proposals affecting heritage assets (paragraphs 189-192)
- Considering Potential Impacts (paragraphs 193-202)

4.4 The site's location within the East Cliff Conservation Area is shown below:

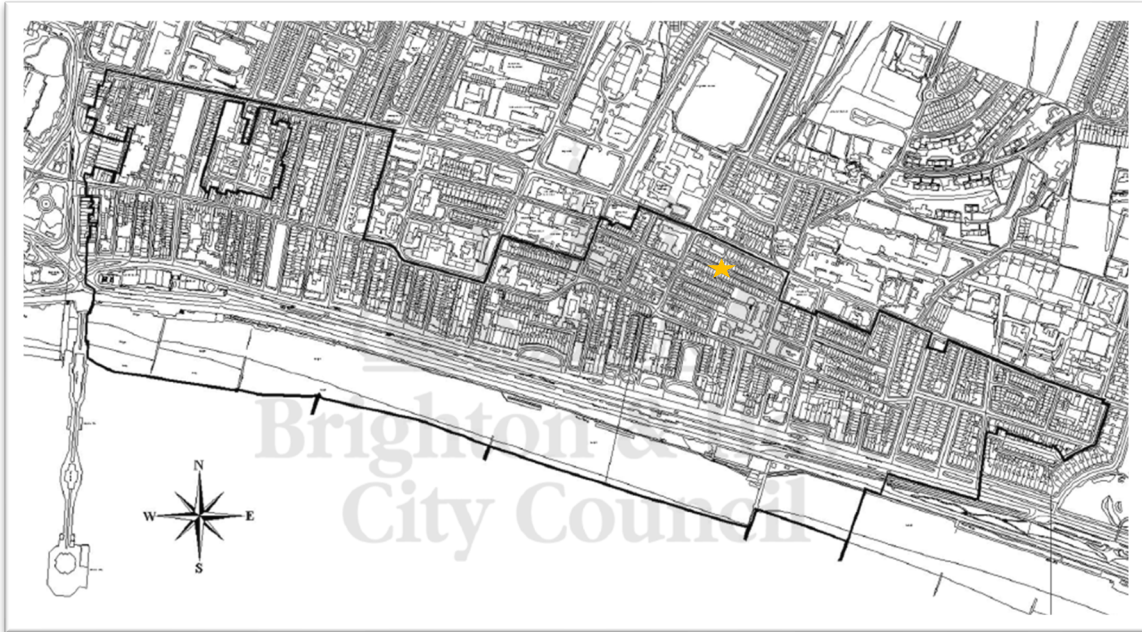


Image 4: Site Location in East Cliff Conservation Area

- 4.5 The context of the area is described in the East Cliff Conservation Area Study and Enhancement Guide. The Conservation Area resulted directly from the rapid growth of Brighton after 1750 and its architecture, particularly on the seafront, is very typical of the Regency style. The site is located in a sub area of Kemp Town Village and Victorian Residential Streets. The CA advises:

This sub-area is markedly different in appearance from the other two. It is typified by the series of straight residential streets, mostly running east-west, which lie between Montague Place and Sudeley Place. They predominantly consist of fairly uniform terraces of two storey Victorian houses, stuccoed with cant bays and sash windows and minimal mouldings.

- 4.6 The East Cliff Conservation Area Study and Enhancement Guide further adds

This area is very largely residential in use and character. The residential use is lower density than the other two sub-areas as many of the houses are small scale and have remained in single dwelling use. This part of East Cliff is comparatively unaffected by the seasonal influx of tourists which occurs elsewhere and it is generally much quieter. The street pattern is generally different here, with many residential streets running east-west rather than north-south. This reflects the greater freedom that later developers had as they reached the outer edges of the old arable field system. The relationship of East Cliff to the sea is much less in evidence here.

- 4.7 This context has been fully considered and respected throughout the design process, as described in the following section.

5. Assessment

- 5.1 The main element of the proposal seeks planning approval for a small rear roof terrace. The terrace seeks to add outdoor amenity space to complement the existing courtyard. The roof terrace will sit at first floor level and extend to the area of the existing rear outrigger. The terrace would retain and utilise the existing east wall, to ensure privacy and also so that there is not any additional massing or height created.
- 5.2 The LG entrance would be rearranged to create a porch.
- 5.3 The proposal also seeks approval for a sliding sash window to be placed in the existing blind window opening in the first-floor front elevation. The blind window opening is currently rendered to match the existing finish of the building. However, the existing ground and first floor bay windows are UPVC in the style of sliding sash.
- 5.4 In considering this proposal the Local Planning Authority must have regard to the impact of the proposed development on the appearance and character of the building, the wider street scene and the amenities of adjacent occupiers.
- 5.5 The Local Planning Authority has a statutory duty to pay special attention to the desirability of preserving or enhancing the character or appearance of a Conservation Area. Case law has held that the desirability of preserving the character or appearance of a conservation area must be given "considerable importance and weight".

Design and Appearance

- 5.6 The proposed roof terrace is modest in scale, being built into the former sloped roof area. The east wall is to be retained (adjacent no.26 Great College Street), to ensure privacy and preservation of amenity. There would not be any increase in height as compared to what already exists.
- 5.7 It is noted there are similar in the locality, notably the property to the west.

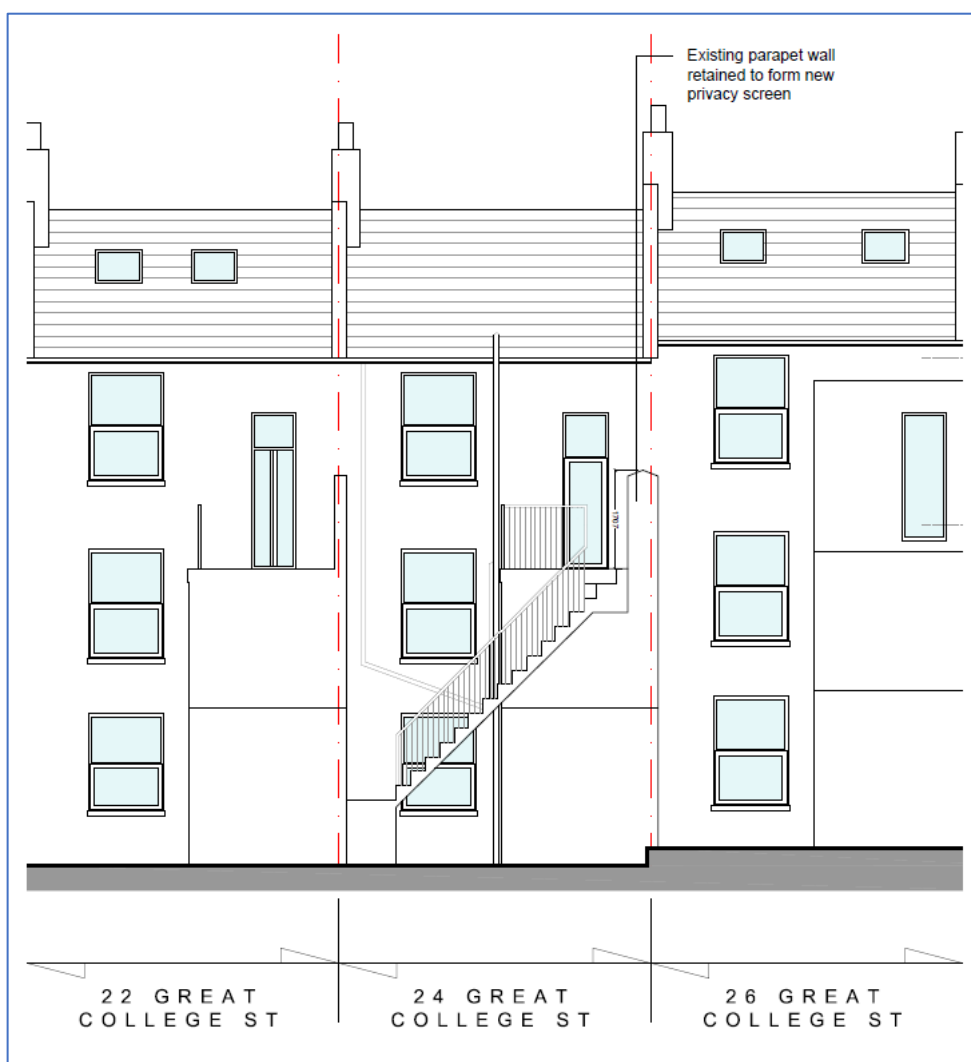


Image: Note existing terrace on no.22

- 5.8 The scale and form therefore accords with the character of the area and the proposal cannot be considered incongruous.



Image: Note presence of terrace to the west of no.24 (at no 22)

- 5.9 The terrace would be set into the roof of the existing rear outrigger, and as outlined above the eastern wall would be retained to preserve the amenity of adjacent properties.
- 5.10 Properties in College Gardens suffer from a degree of overlooking from the existing window openings in the rear elevation of existing properties. It is considered that this small roof terrace will not give rise to any unacceptable overlooking. The proposal will not give rise to any significant noise disturbance. Should any noise issues exist, such issues would fall under the remit of environmental health legislation and so all residents remain protected.
- 5.11 The proposals are compliant with Policy DM21 Extensions and alterations of the Brighton & Hove City Plan Part Two, in that are of a high-quality design, taking account of the existing surroundings and the character of the area. The roof terrace will retain the white render. While the City Plan Part Two has not yet been adopted, its proposed policies are still a material planning consideration.
- 5.12 The introduction of a sash window within the first-floor blind window should be considered in the context of Supplementary Planning Document 09 Architectural Features. The policy advises that this type of development will only be permitted where the proposals relate to and do not disrupt the rhythms and proportions of the overall architectural design of the building and the unity of historic groups.
- 5.13 Property No. 39 Great College Street benefits from a sash in the first-floor window. See Image 10.



Image 10: Showing Sash Window across from proposal site

- 5.14 Planning approval Reference: BH2020/02065 for a similar scheme at 45 Great College Street, was approved on 22 September 2020. The Case Officers notes:

There are other examples of similar window openings within the vicinity of the site. In addition a potential fall-back position must be acknowledged. The property is a single dwelling and the site is not covered by an Article 4 direction, therefore a similar alteration could be made without planning permission under the General Permitted Development Order. This is a material consideration in the assessment of this application. It would not be reasonable to refuse permission for the proposed front....sash window are considered suitable additions to the building that would not harm its appearance or that of the wider conservation area.

- 5.15 Given the fall-back position, the precedent set by planning approval reference BH2020/02065 and the presence of sliding sash windows in similar properties within the street, the opening of the window would be acceptable.

Conservation and Built Heritage

- 5.16 The character and appearance of the East Cliff Conservation Area arose directly as a result of the rapid growth Brighton after 1750 and its architecture, particularly on the seafront, is very typical of the Regency style. The site is located in a sub area of Kemp Town Village and Victorian Residential Streets. This sub-area is markedly different in

appearance from the other two. It is typified by the series of straight residential streets, mostly running east-west, which lie between Montague Place and Sudeley Place. They predominantly consist of fairly uniform terraces of two storey Victorian houses, stuccoed with canted bays and sash windows and minimal mouldings.

- 5.17 Policy CP15 Heritage, seeks to promote the city's heritage and to ensure that the historic environment plays an integral part in the wider social, cultural, economic and environmental future of the city. The city's historic environment should be conserved and enhanced in accordance with its identified significance, giving the greatest weight to designated heritage assets and their settings and prioritising positive action for those assets at risk through, neglect, decay, vacancy or other threats.
- 5.18 Policy HE6 provides a criteria-based assessment for new development within the conservation area, with the principle aim of preserving or enhancing the character and appearance of the area.
- 5.19 As outlined in above the proposals have been designed to ensure they are of the highest quality, the roof terrace is to be built into the existing rear projection of the building ensuring that the scale and appearance of the proposal does not conflict with the existing development patterns within the Conservation Area.
- 5.20 The proposals seek to retain the white render, the sliding sash window proposed in the front elevation will reflect the Victorian heritage and will harmonise with existing and approved sliding sash windows in the blind window openings.
- 5.21 For the reasons noted previously there would be no harmful impact on either the townscape or roofscape of the conservation area. There will be no views of the terrace from within the public domain.
- 5.22 The proposed development sits into the existing rear projection and thus there will be no impact on natural vegetation, trees or boundary screening. As such the established, characteristic relationship between built form and open space in the area will be fully retained.
- 5.23 When considered in the round, we believe that the proposals would not have an adverse impact on the character or appearance of a conservation area and therefore they fully comply with both Policy CP15 and Policy HE6.
- 5.24 Policy DM26 advises that developments will be permitted where they preserve or enhance the distinctive character and appearance of that conservation area. It has been clearly outlined above that the proposal seek to preserve and enhance the both the character and appearance of this area of the East Cliff Conservation Area.

Impact on residential amenity

- 5.25 Policy QD27 requires proposals to preserve the amenity to the proposed, existing and / or adjacent users, residents and occupiers. Policy DM20 of the Brighton and Hove City Plan Part 2 confirms this policy.
- 5.26 As outlined above the proposed roof terrace sits into the existing rear projection of the property. It will be accessed internally via a new door opening from the first floor and externally by a proposed stairwell. The east wall would be retained, maintaining the privacy enjoyed by the residents of No. 26. There will be limited views into the rear amenity space of No. 22 given the location of its existing rear extension.
- 5.27 It should be acknowledged that this area of Brighton is highly urbanised, with properties lying back-to-back and there is already a high degree of mutual overlooking from existing rear windows. The proposed terrace will not result in an unacceptable increase.
- 5.28 The provision of the sash window on the front elevation will not give rise to significant harm in terms of daylight, sunlight, outlook and privacy. The proposals when viewed in totality will not give rise significant impact on the amenity of neighbouring properties.

Private amenity space

- 5.29 The proposals will not result in the loss of any amenity space. The existing courtyard area is to be retained and the proposed roof terrace will increase the amenity space at this mid terrace dwelling – thus representing an improvement to the property.

6. Conclusion

- 6.1 The application seeks full planning permission for the creation of a roof terrace, a front porch at the lower ground floor and the provision of a sliding sash window to the first floor. The proposals are modest in scale and sensitive to the East Cliff Conservation Area.
- 6.2 The scheme also represents an opportunity to introduce a high-quality scheme which will complement the existing dwelling without adverse impact on the special characteristics of the Conservation Area.
- 6.3 The proposal represents an opportunity to increase amenity space within the dwelling, and accords with the spirit of HO9.
- 6.4 Due to the scale and form of the proposal, as compared to the existing, there will not be any residential amenity impacts. As such, the proposal is fully compliant with the

relevant policies of the Development Plan, QD14 (Extensions and Alterations), QD27 (Protection of amenity), and HE6 (Development within or affecting the setting of conservation areas).

- 6.5 In the spirit of paragraph 38 of the NPPF, should you have concerns regarding any element of this proposal, please do not hesitate to contact us.