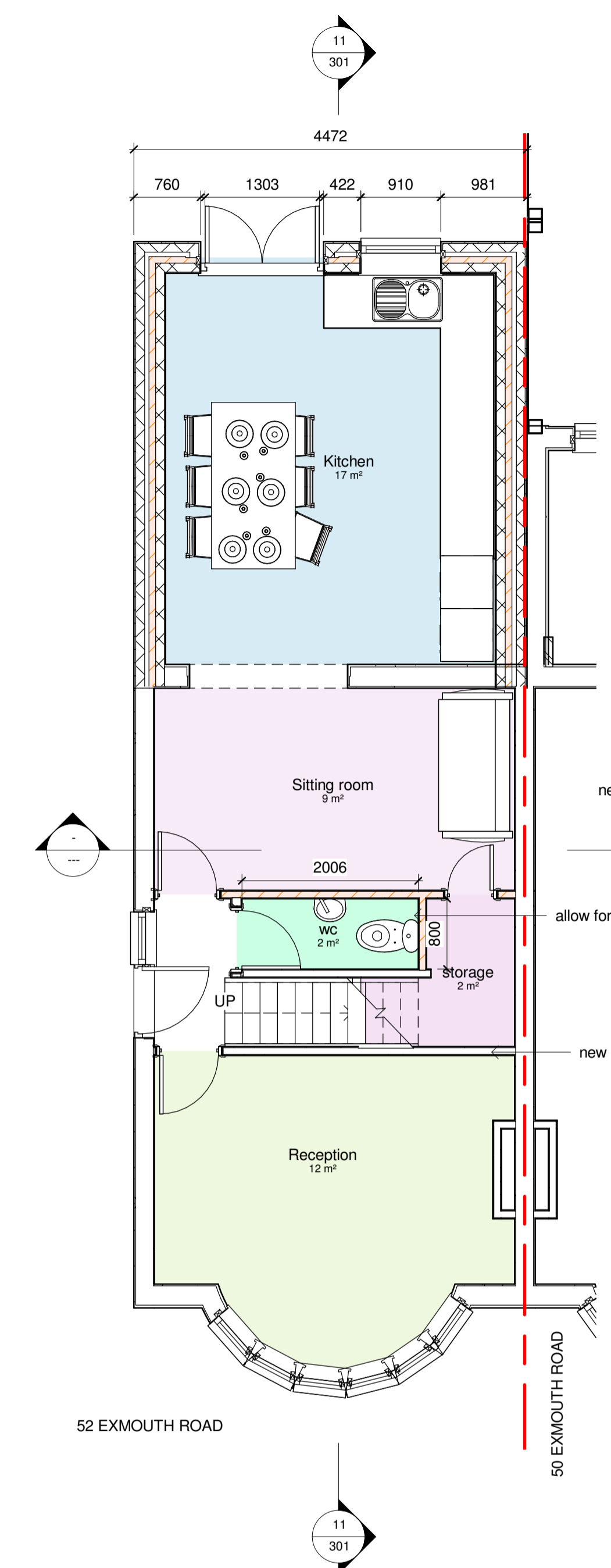
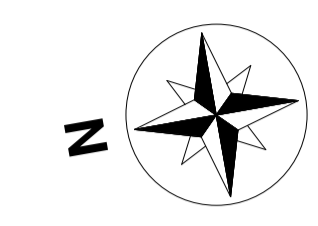




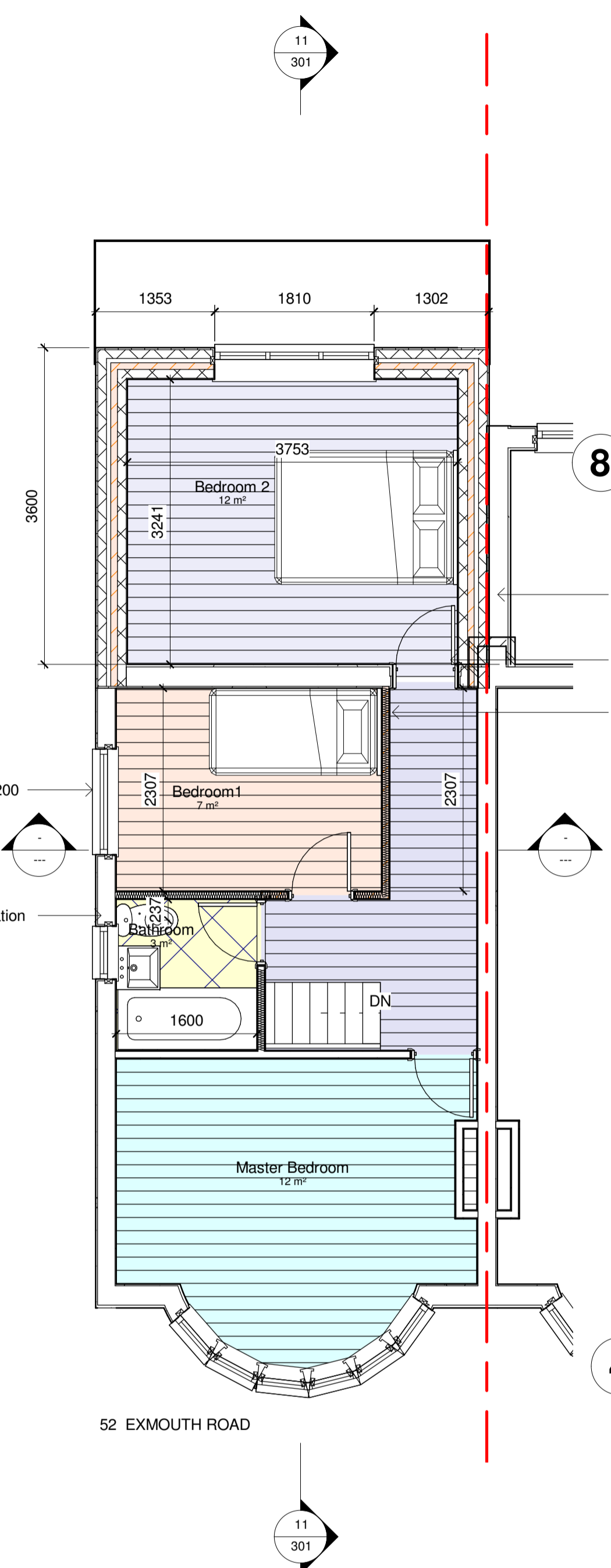
0m 2m 4m 6m 8m 10m
 VISUAL SCALE 1:100 @ A1
 0m 1m 2m 3m 4m 5m
 VISUAL SCALE 1:50 @ A1



42 Prince John Road
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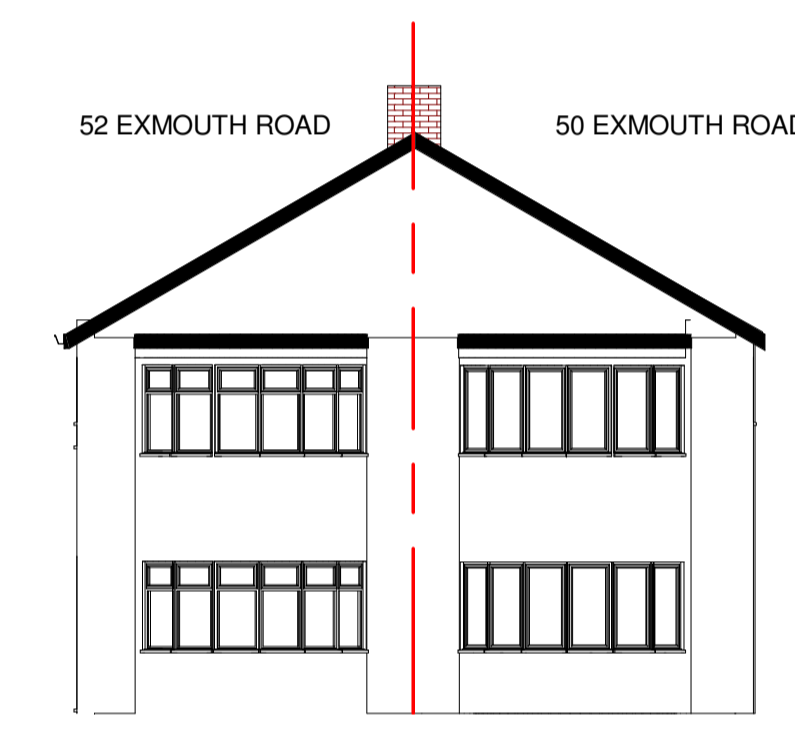
1 00 Proposed Ground Floor
 1 : 50



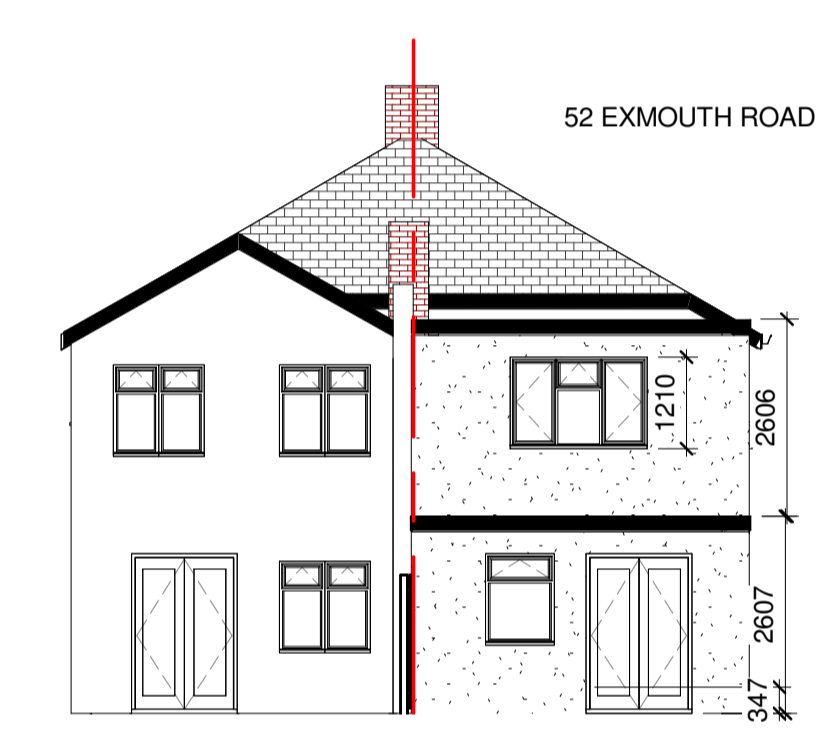
2 01 Proposed First Floor
 1 : 50

8 rear view
 1 : 1

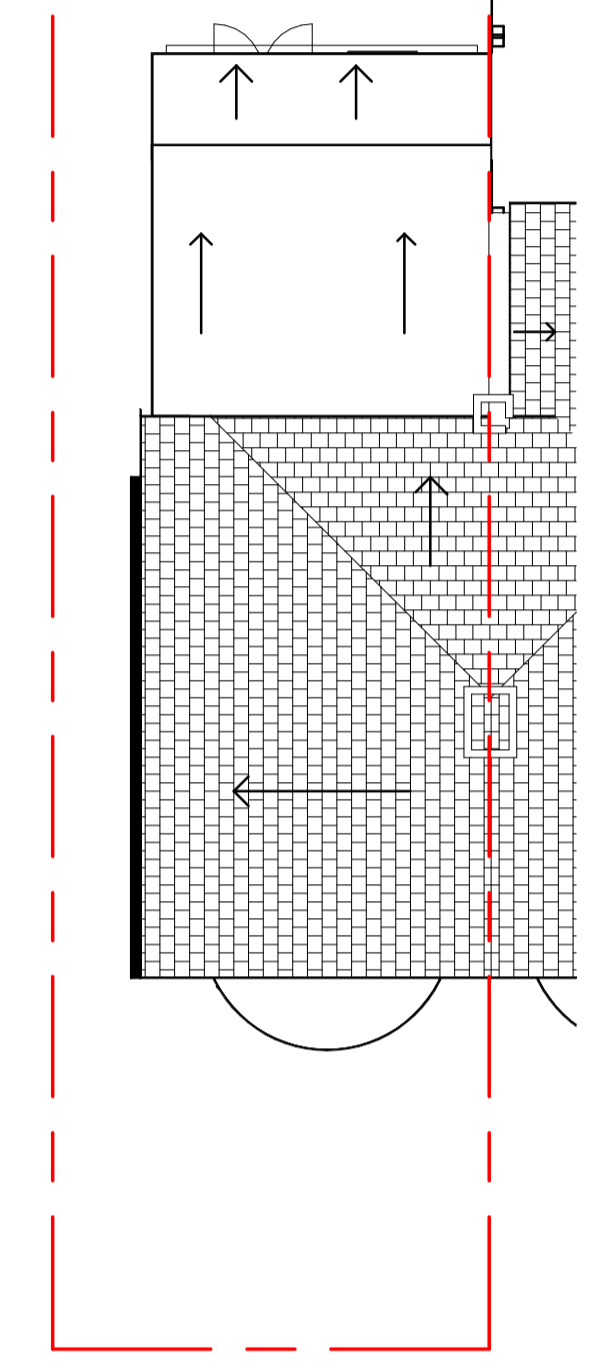
no encroachment over boundary line
 new door opening all doors min FD20
 new partition



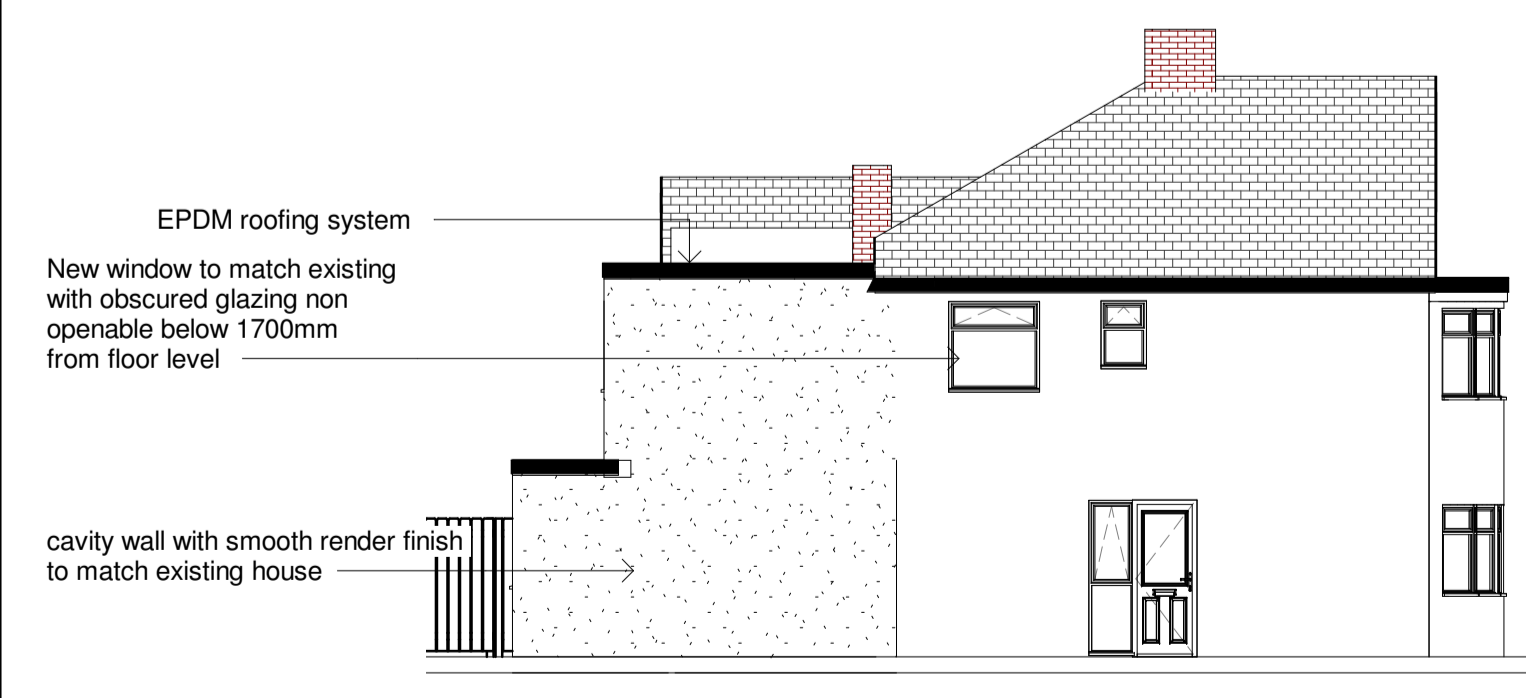
4 Proposed Front Elevation
 1 : 100



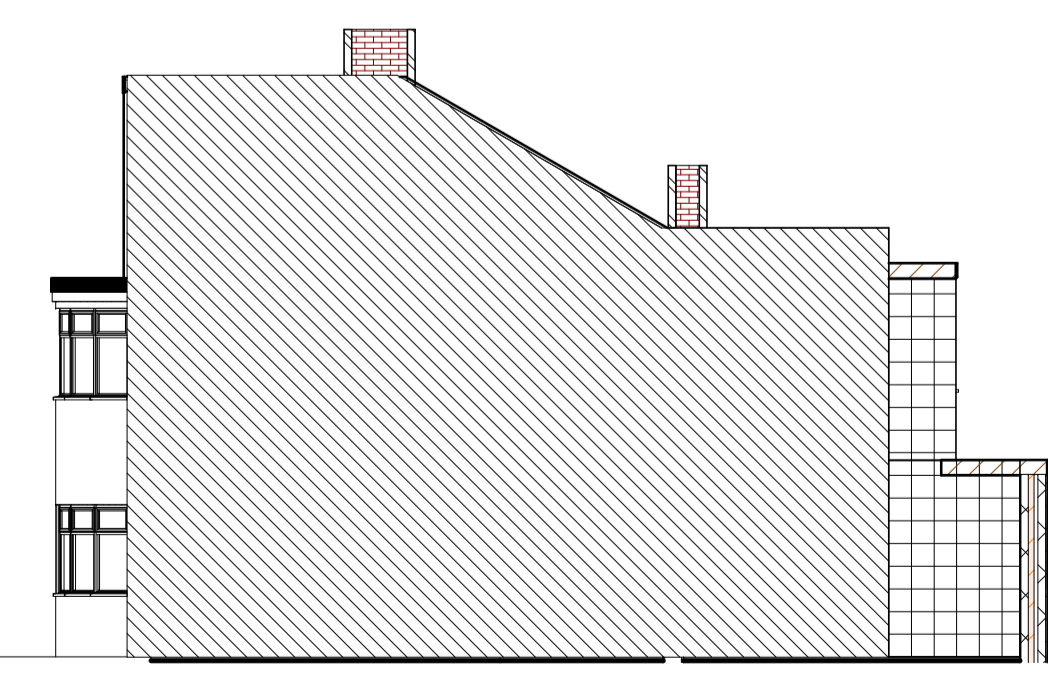
5 Proposed Rear Elevation
 1 : 100



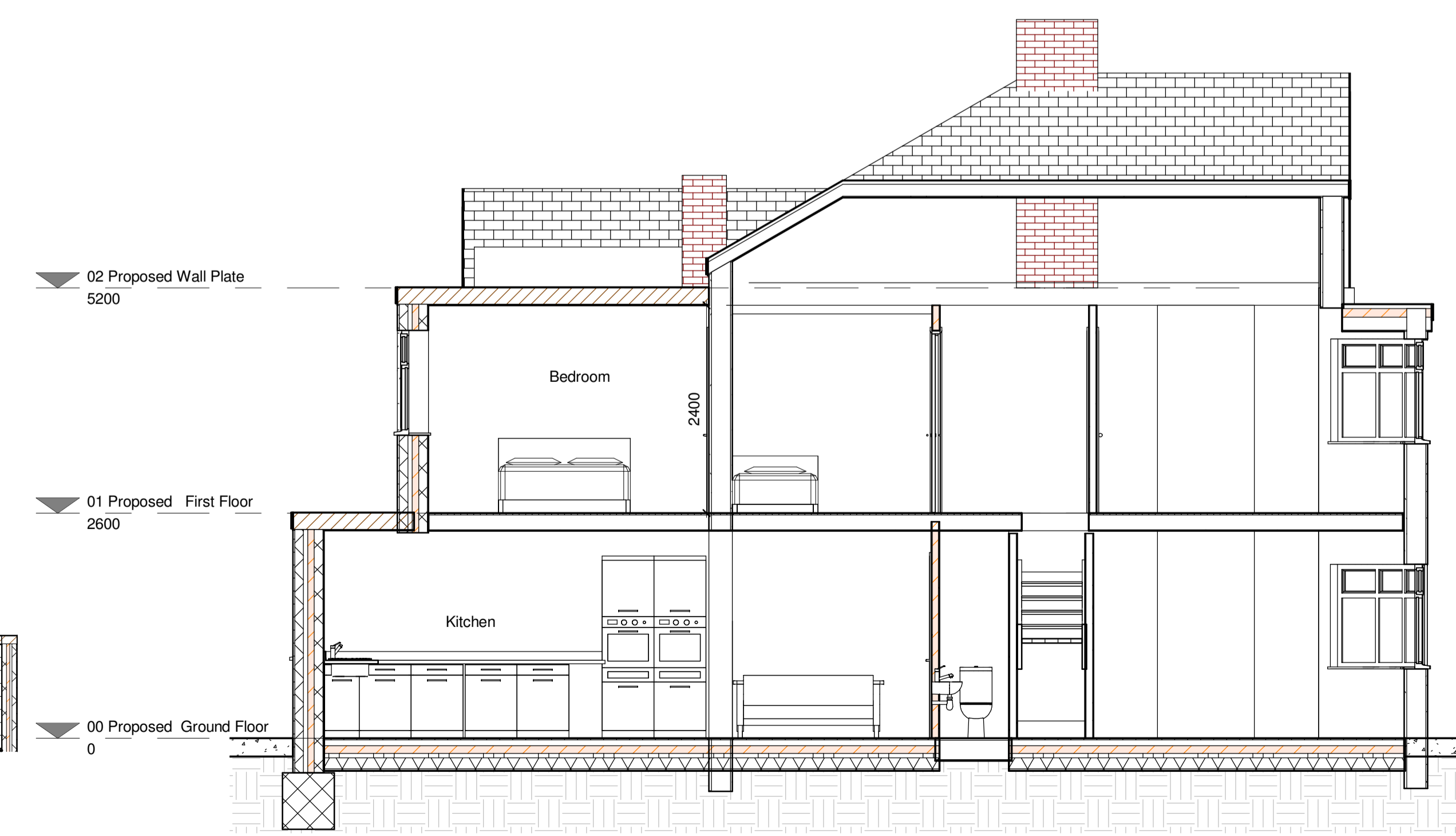
3 Proposed Roof Plan
 1 : 100



6 Proposed flank elevation
 1 : 100



7 Proposed Party Wall elevation
 1 : 100



11 Section 3
 1 : 50

- NOTES:
1. This drawing is to be read in conjunction with all relevant contract documentation from the design team, with any conflicting information to be brought to the attention of PolarDesign Architecture in writing before commencing on site.
 2. The contractor is to check and verify all levels and dimensions before construction. Any discrepancies are to be brought to the attention of PolarDesign Architecture
 3. All dimensions in mm, unless otherwise stated.
 4. All sub base and concrete design and specification to engineer's details. All diagrams provided here are purely indicative.
 5. Waterproofing of any element to be specified by others.
 6. All proprietary products shall be installed in accordance with manufacturers written instructions.

Demolition of existing single storey extension and erection of part single 5.0m deep and Double 3.6m extensions at 52 Exmouth Road Welling DA16 1EB

TITLE
 Proposed Plans and Elevations

CLIENT

DRAWN BY Ivar Selter	CHECKED BY PD	DATE 07/11/2023
SCALE (@ A1) As indicated	PROJECT NUMBER 52EXM/23	
DRAWING NUMBER	REV	