

PROPOSED

NOTES:

Party Wall Notice's will need to be served on adjoining owners at least two months before the planned start date for work to the party wall. Refer to specification for further details.

SAP calculations will be required due to extent of new glazing.

Existing boiler to be re-installed in this location. Remove existing boiler from current location and set aside for re-use. Allow contingency to replace the boiler with new until its condition and suitability for reuse has been confirmed.

Predicted radon gas level is less than 3% (ukradon.org) - radon protection measures are not required.

- Masonry load bearing wall locations (hatched on general arrangement / steel beam bearing positions).
- Existing floors and terrace above ground floor are timber construction.
- Existing terrace joists and second floor joists span direction.
- Existing ground floor is suspended timber or ground bearing concrete slab construction.
- Proposed ground floor is ground bearing concrete slab construction.
- If ground is shrinkage clay and there are trees within 30m of the proposed development, then a tree survey to be forwarded to engineer, as foundations may need to be updated.
- Terrace / balcony finishes weight is not more than 100kg/m2.

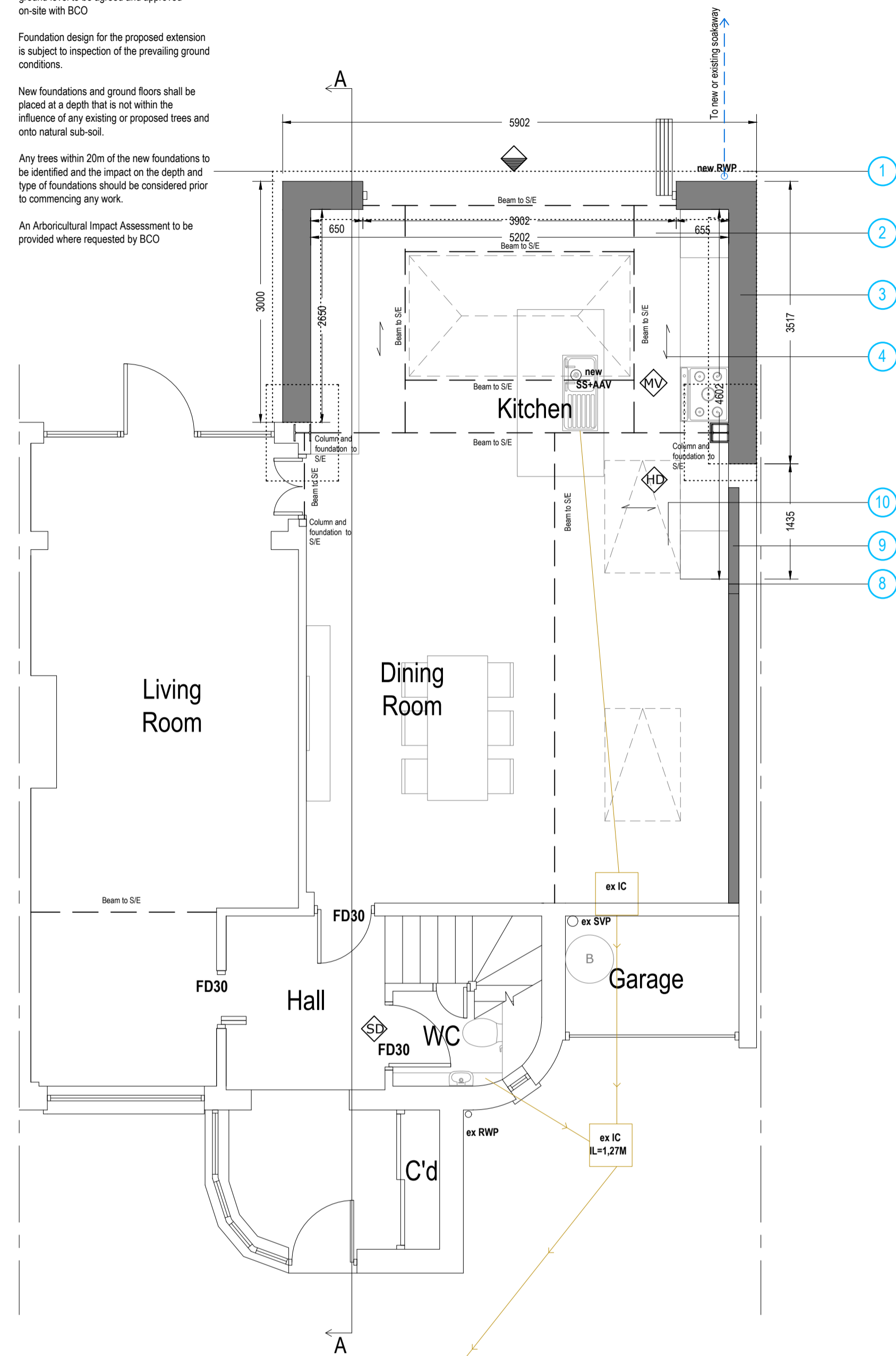
All new foundations to be S/E design, details and specifications. Formation level below ground level to be agreed and approved on-site with BCO

Foundation design for the proposed extension is subject to inspection of the prevailing ground conditions.

New foundations and ground floors shall be placed at a depth that is not within the influence of any existing or proposed trees and onto natural sub-soil.

Any trees within 20m of the new foundations to be identified and the impact on the depth and type of foundations should be considered prior to commencing any work.

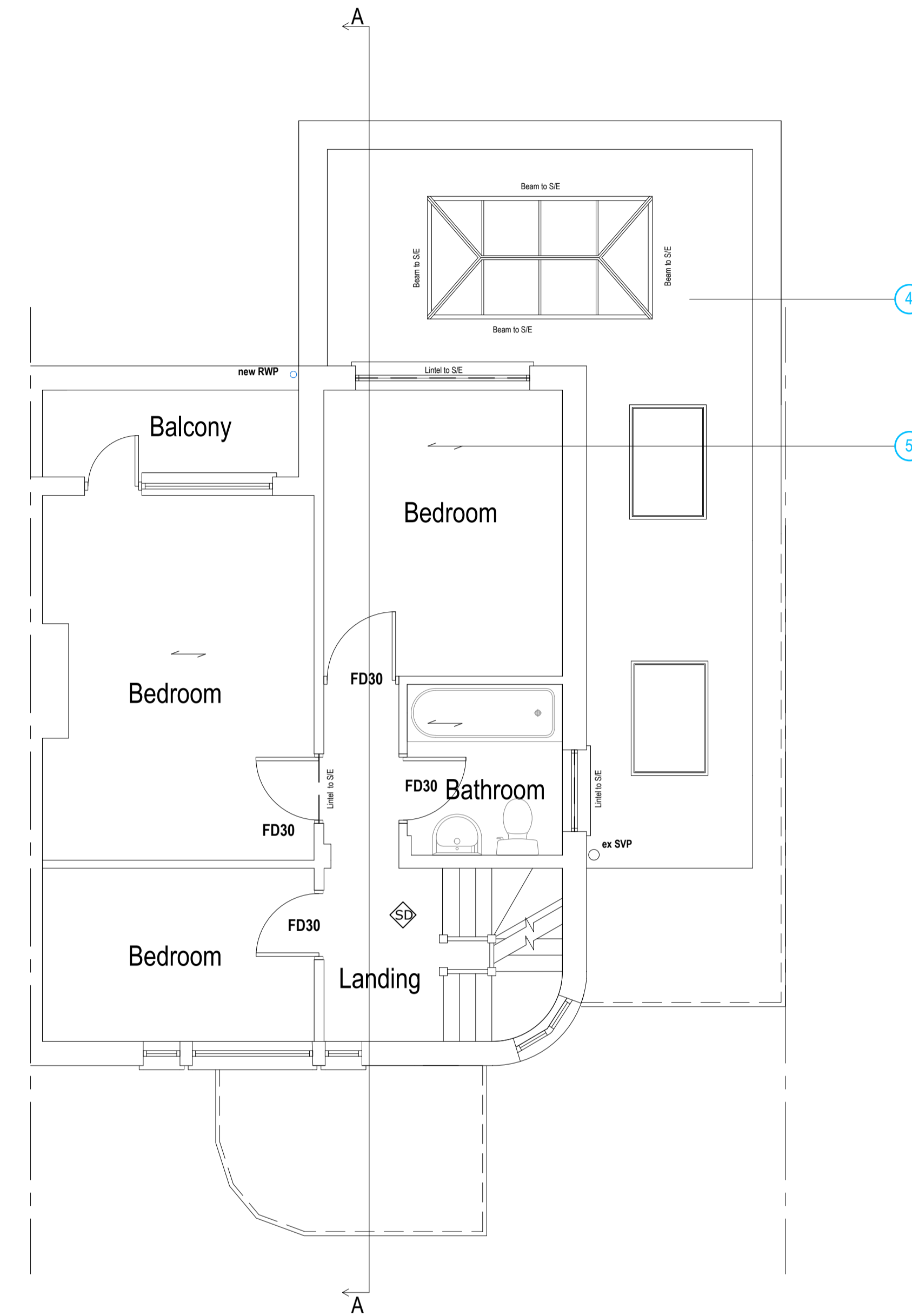
An Arboricultural Impact Assessment to be provided where requested by BCO



Ground Floor Plan

Area ca. 88.47 m²

Additional Area: 16.39m²



First Floor Plan

Area ca. 45.65 m²

Symbol Key:

- Proposed wall
- Boundary line
- Details above
- Waste drainage layout
- Rainwater layout
- New rainwater waste to be taken to new or existing soak away minimum 5metres away from any foundation. Contractor to specify new location on site.
- Timber/steel beam above sized and specified by Structural Engineer - fire proofed as per spec. and detail drawing

Symbol Key:

- Mains operated interlinked smoke detector
 - Mains operated interlinked heat detector
 - Escape door / window
 - Mechanically ventilated
- Proposed Materials:**
Walls: Render to match existing
Flat roof: Ply membrane



Note to Contractor: Contractor is recommended to carry out an intrusive site investigation prior to commencing works on site to ensure all details designed for this project are appropriate. Contractor to cross reference with Structural Calculations package for suitability, to assess site levels and confirm any design assumptions within the calculations package prior to works commencing on site. If the Contractor requires any additional information, please send a Request For Information to hello@planituk.co.uk before ordering materials and starting the works - requests will be acknowledged and responded to as soon as possible. Please ensure that the drawings have been submitted to Building Control for a Full Plans submission and the compliance report has been discharged before starting works on site.

Drawn by:
FD

Project:
99 The Drive, Bexley, DA5 3BY

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26.09.2023

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23-0277

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