



WELLINGTON HOUSE
DESIGN AND ACCESS STATEMENT

NOVEMBER 2023

reach.

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1. INTRODUCTION

This design and access statement has been prepared by Henley Construct in support of the Application for Planning Permission and Listed Building Consent for the roof plan of Wellington Hotel, 134 - 136 Wellington Street and 101-113 (Odd No's) Bath Street, Glasgow.

Following the consent to transform the existing building into a high quality hotel within Glasgow city centre, and consent for the roof plant and air handling unit, this document sets out the proposed changes to the roof plan in relation the latest consented scheme – 21/02710/FUL

1.1 OVERVIEW

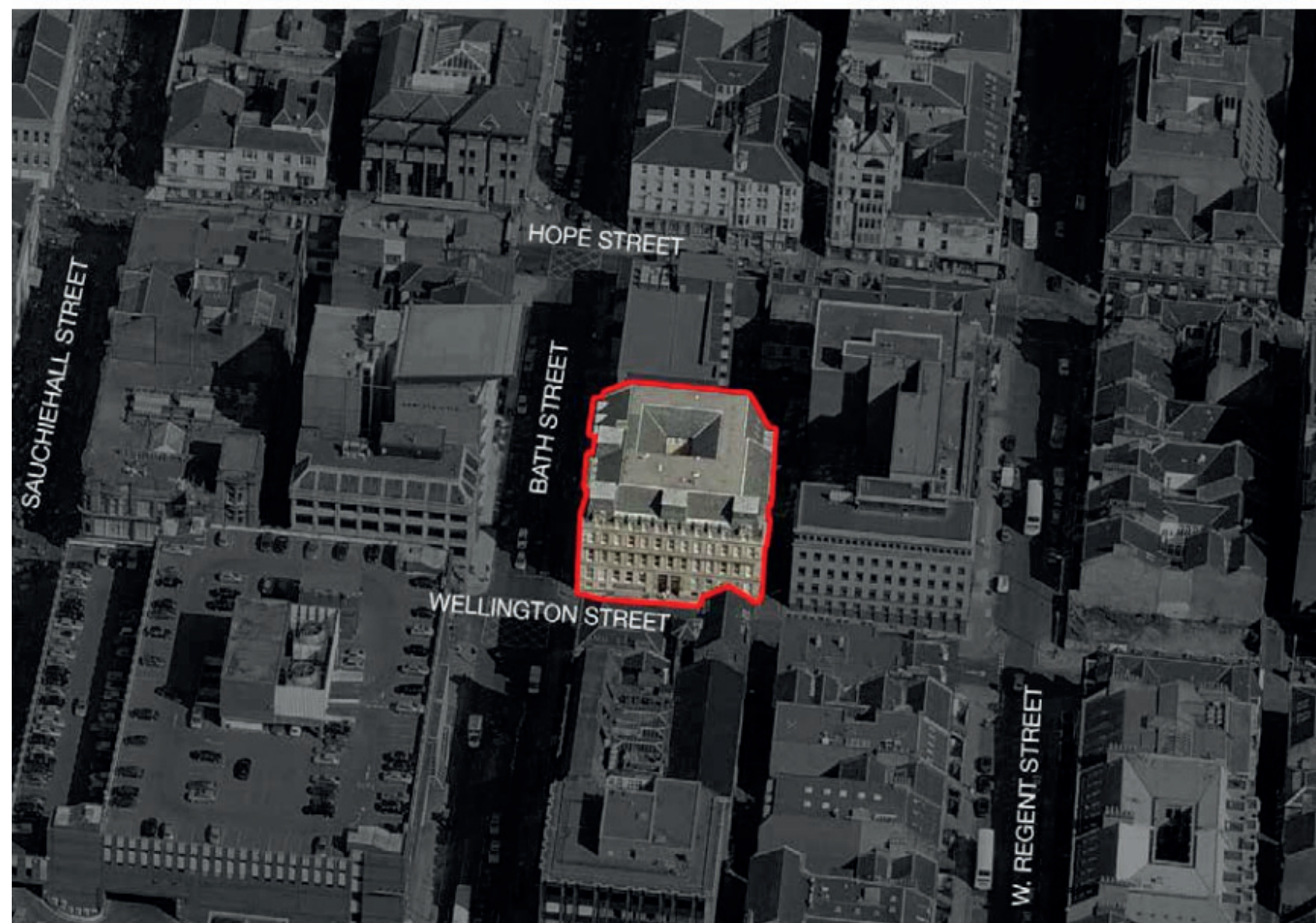
Following the consented conversion to the scheme, this application ties up the anomalies from the previously approved scheme.

This document refers to the following applications in relation to the proposed development:

- Planning Application and listed building consent for the roof plan.

1.2 SITE CONTEXT

The site for the proposed development is in central Glasgow and comprises the existing buildings located at 134 - 136 Wellington Street and 101-113 (Odd No's) Bath Street, Glasgow. Wellington House is located within the Glasgow Central Conservation Area, in the Business District and in Blythwood Character Area.

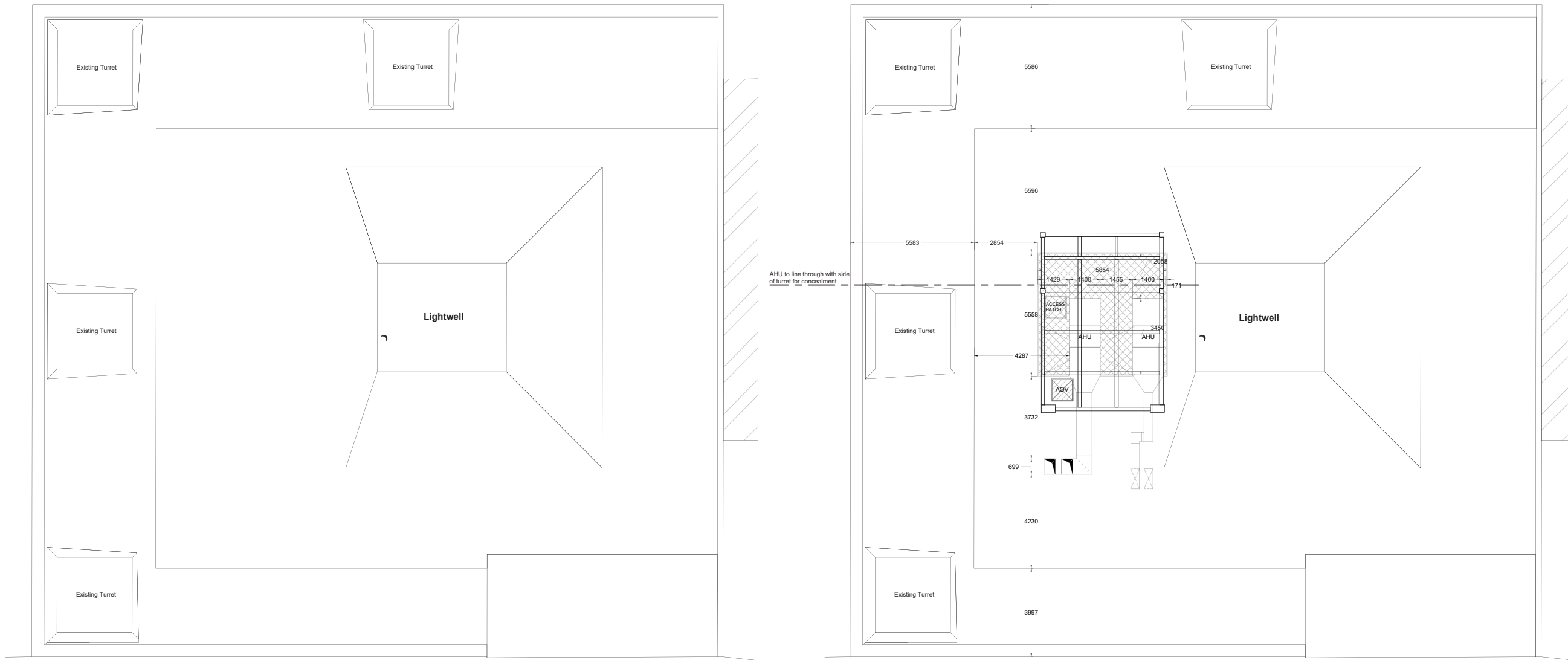


Aerial view of Wellington House and the surrounding context

Location Map

2.1 CONSENTED ROOF PLAN

notes:
Do not scale from drawings. All discrepancies to be reported to Henley Construct immediately.
Dimensions to be verified by contractor on site prior to any works.
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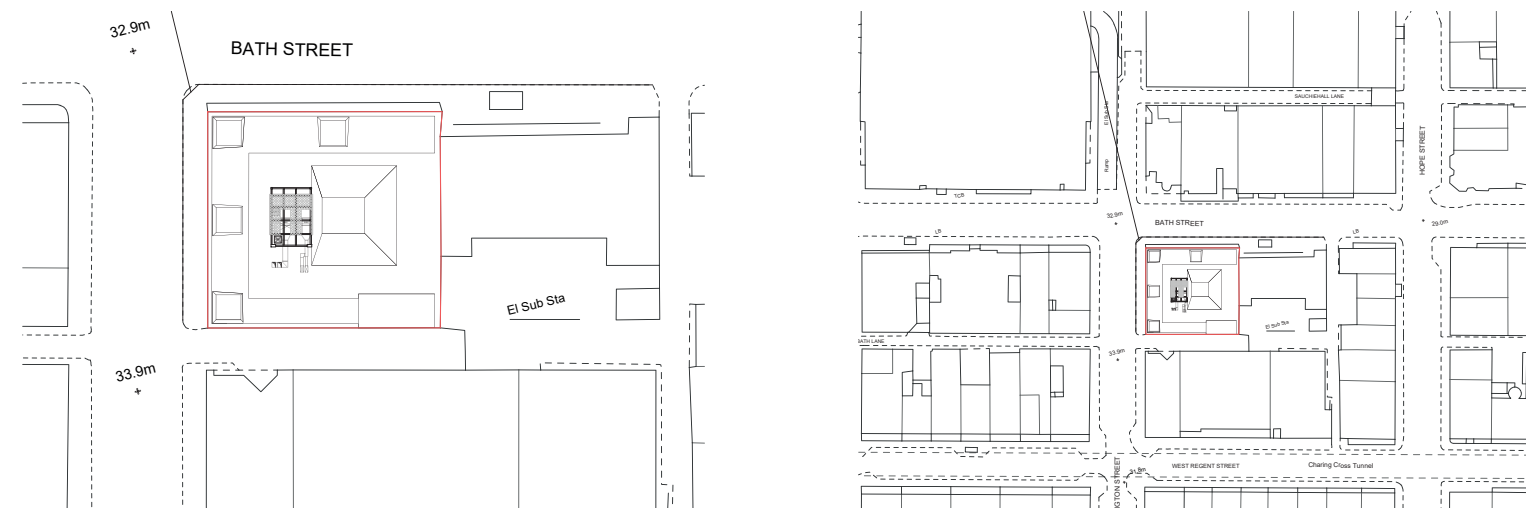


Air handling unit and ductwork has been located to back edge of roof on Bath Lane side. This is to minimize views of the plant from the elevated section of Bath street to the west. Wellington street has an apex, roughly around, the entrance to Wellington House which helps to minimize views of the roof plant from street level to the north or south. Due to constraints in roof depth and structure the unit could not be placed back against party wall.

1 Wellington House - Existing Roof Plan
1 : 100

2 Wellington House - Proposed Roof Plan
1 : 100

The consented application 21/02710/FUL and listed building consent 21/02997/LBA allowed for the arrangement of the plant on the roof, including a balustrade around this and the installation of air handling units above.



Rev	Date	Description	Dwn	Ckd
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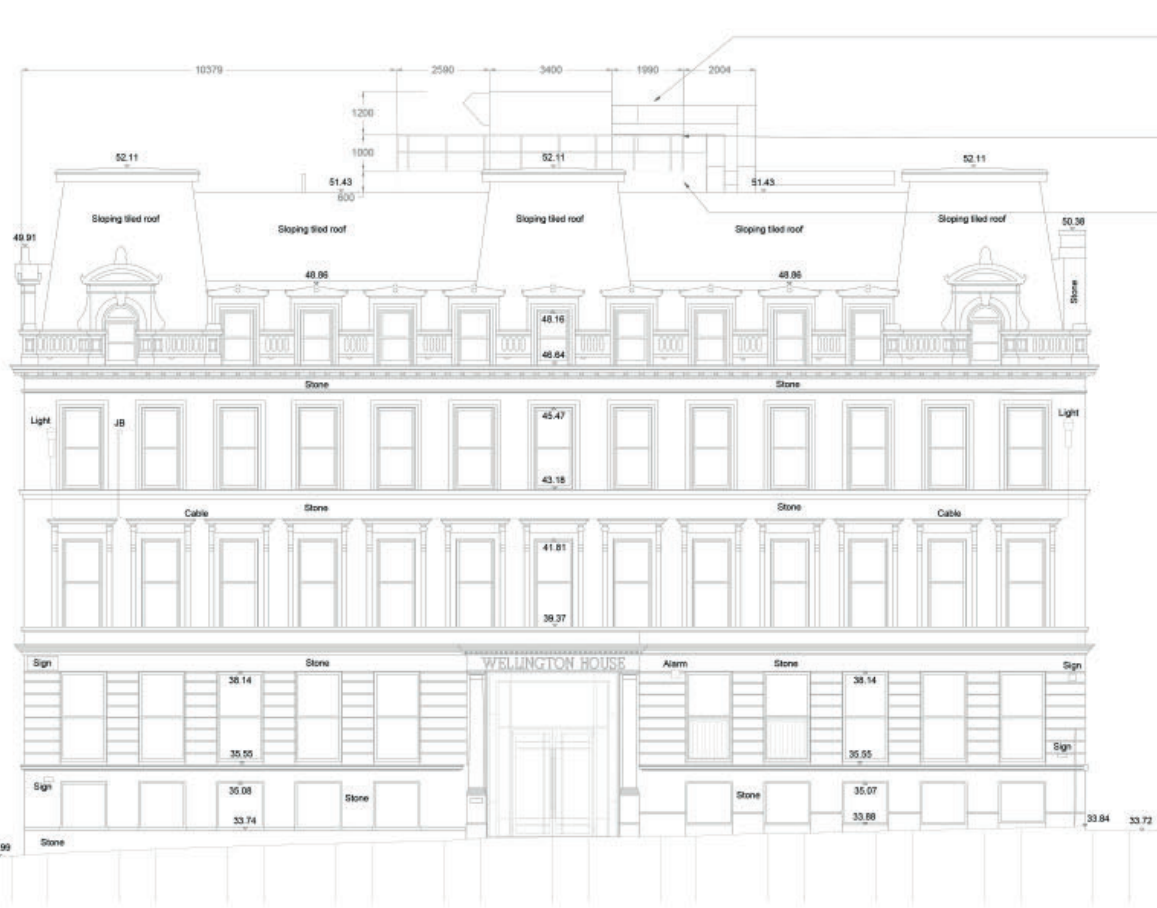
HENLEY

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www.henleyconstruct.com

project **The Wellington**

CONSENTED ROOF PLAN

REF. CONSENTED PLANNING APP. **21/02710/FUL**



1 Wellington Street - Proposed Elevation



3 Bath Street - Proposed Elevation



2no. Air handling unit 8.0m (l) x 1.35m (w) x 2.4m (h)

Maintenance balustrade to all edges of AHU plant deck. Max. height 1m open tubular form construction

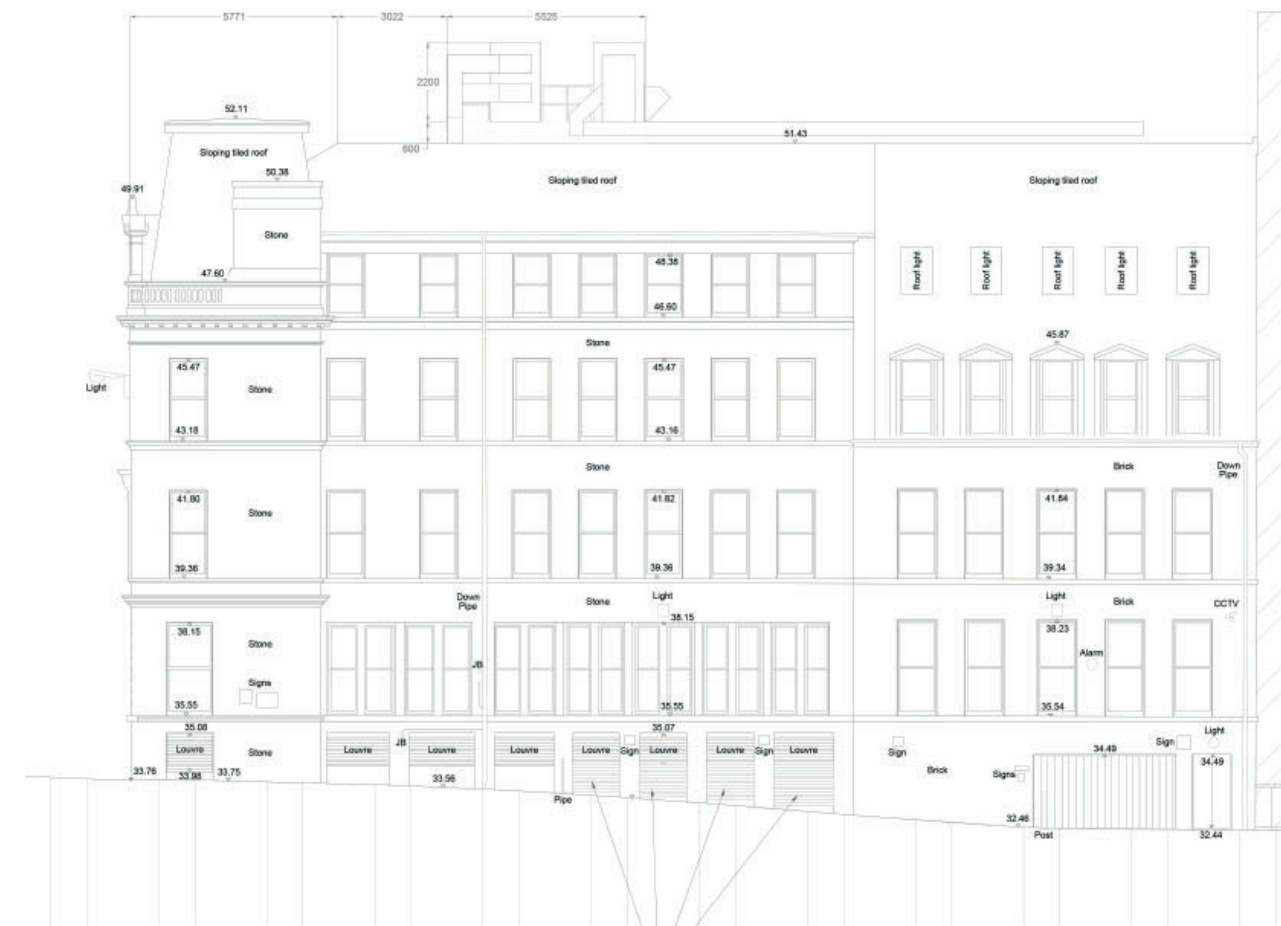
Raised steel structure to support proposed AHU



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2 Bath Lane - Proposed Elevation



Rev	Date	Description	MC	AT	Dim	Ckd
01	16/01/2023	Updated Plan & Plant Deck				

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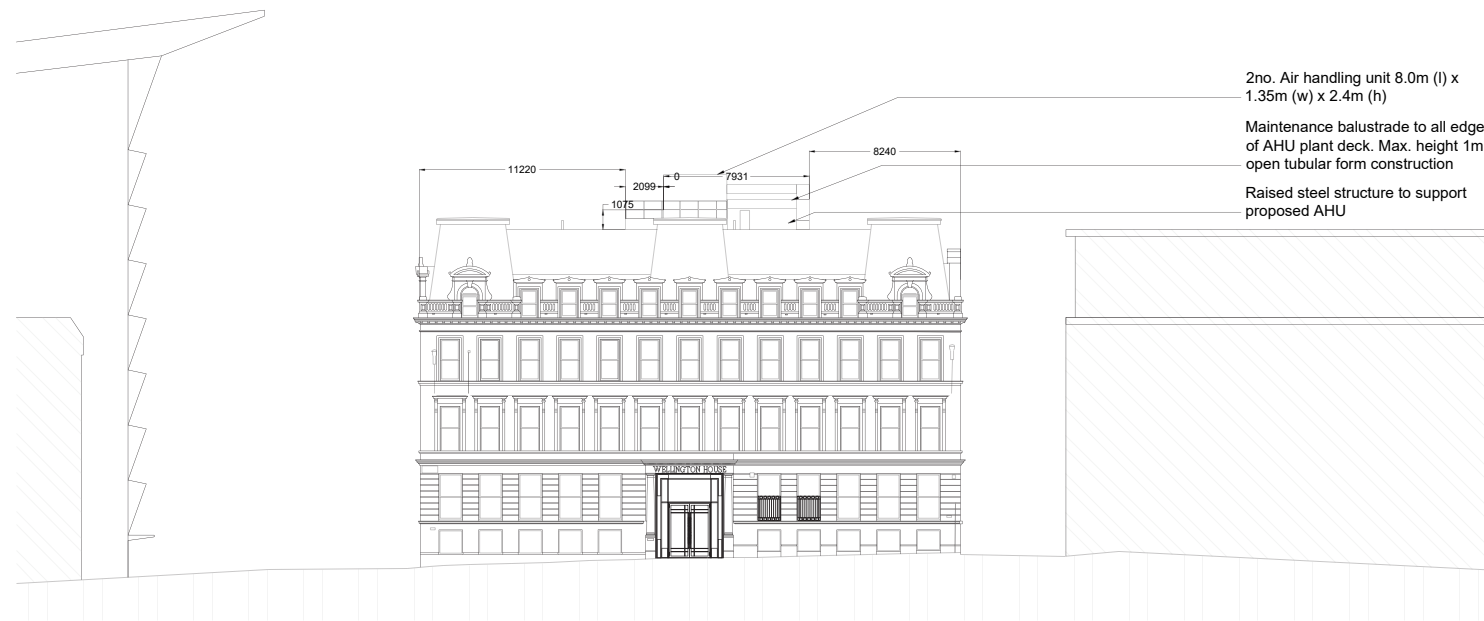
type **PROPOSED ELEVATIONS**

date 16/08/2021

Drawn JW Checked -- Scale @ A1 1:100 Scale @ A3

PROJECT	DATE	FILE	REV	REV BY	REV DATE	REV DESCRIPTION
WH39 - HD - XX - ELE - DR - A - PL03	01					

PLANNING ELEVATIONS

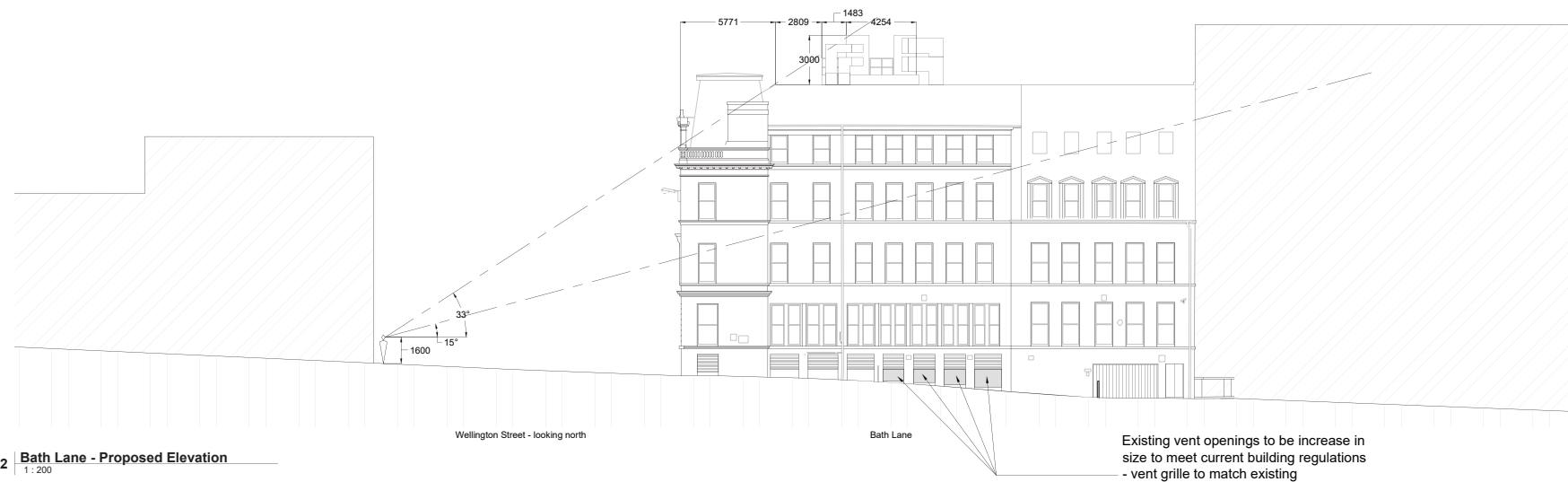


1 Wellington Street - Proposed Elevation
1:200

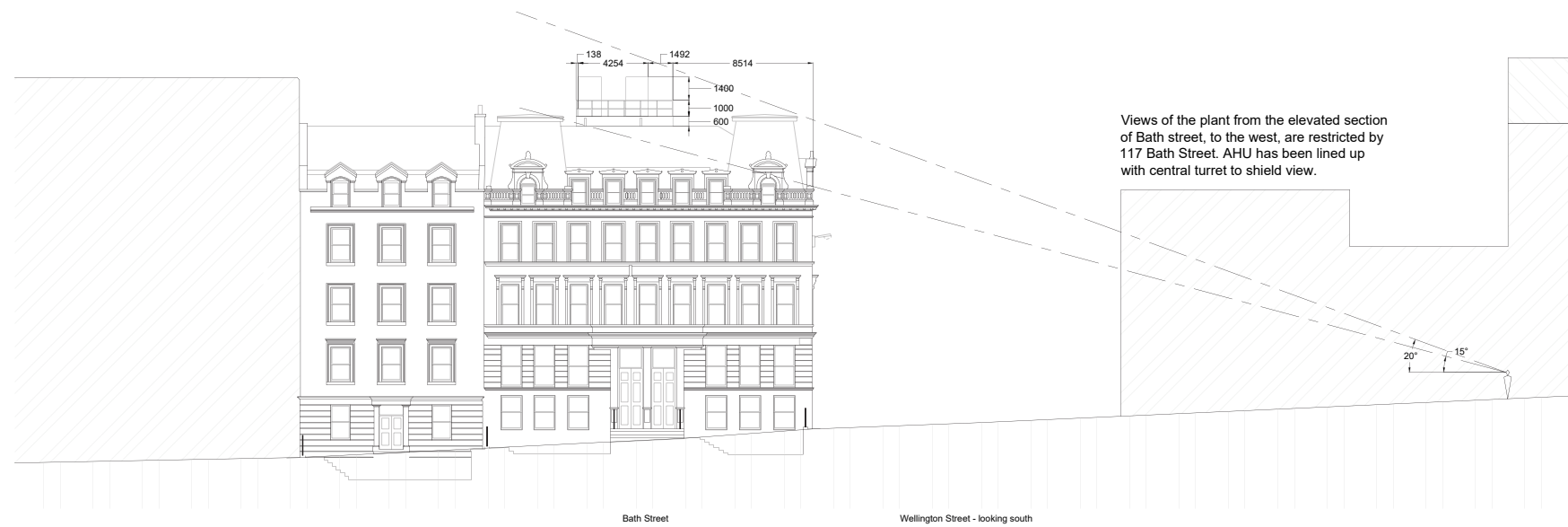
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2 Bath Lane - Proposed Elevation
1:200



3 Bath Street - Proposed Elevation
1:200

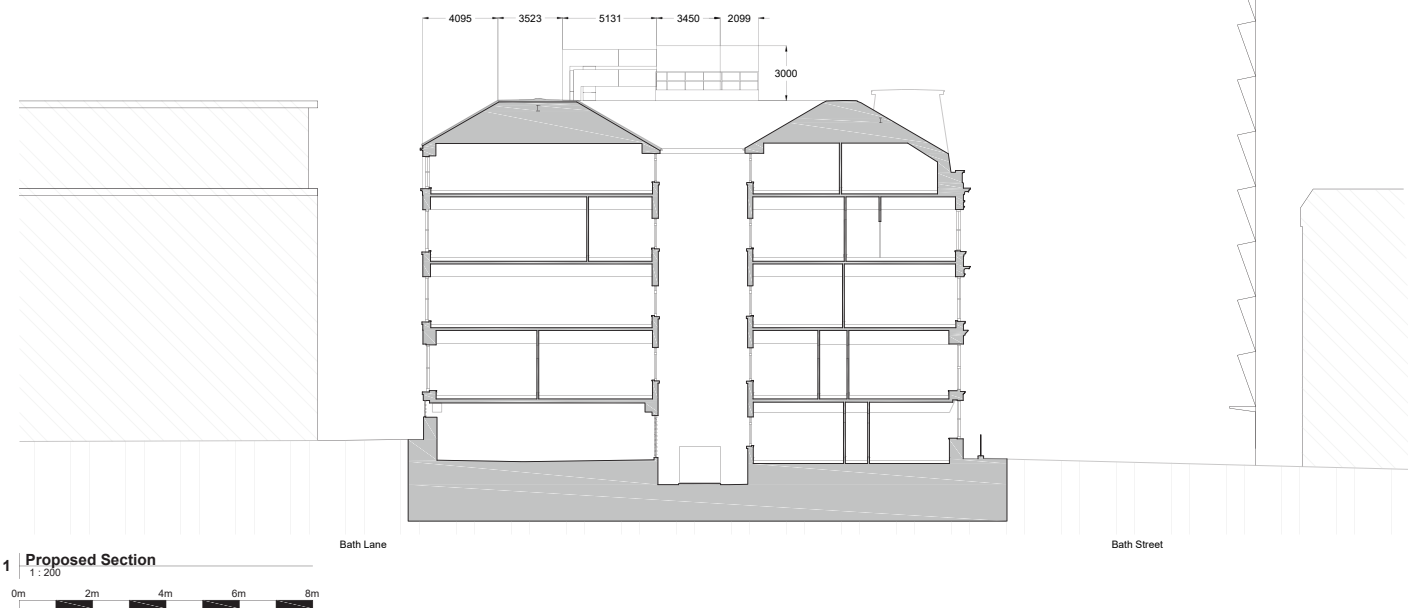


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134 Wellington st, Glasgow G2 2XL
title **PROPOSED STREET ELEVATIONS**
date **16/08/2021**
Drawn JW Checked -- Scale @ A1 1:200 Scale @ A3

PROJECT	CATEGORY	PHASE	LEVEL	DOC TYPE	DISCIPLINE	SHEET	REVISION
WH39	HD	XX	ELE	DR	A	PL05	---
PURPOSE OF ISSUE PLANNING ELEVATIONS							

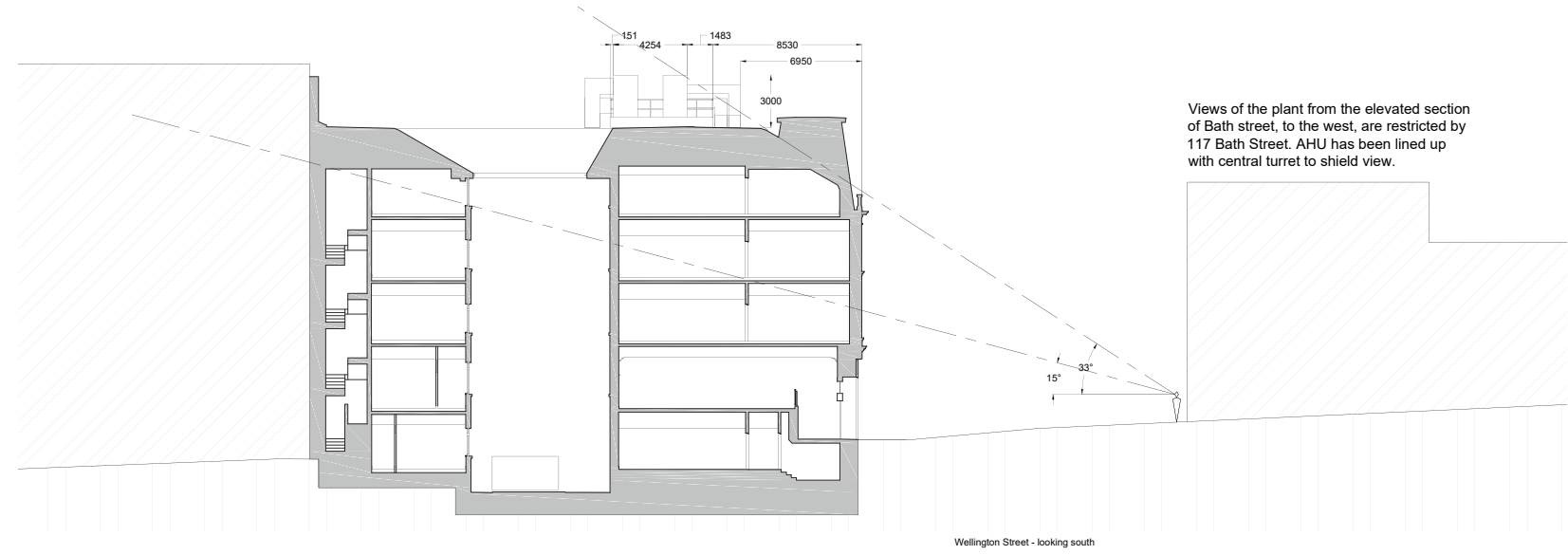
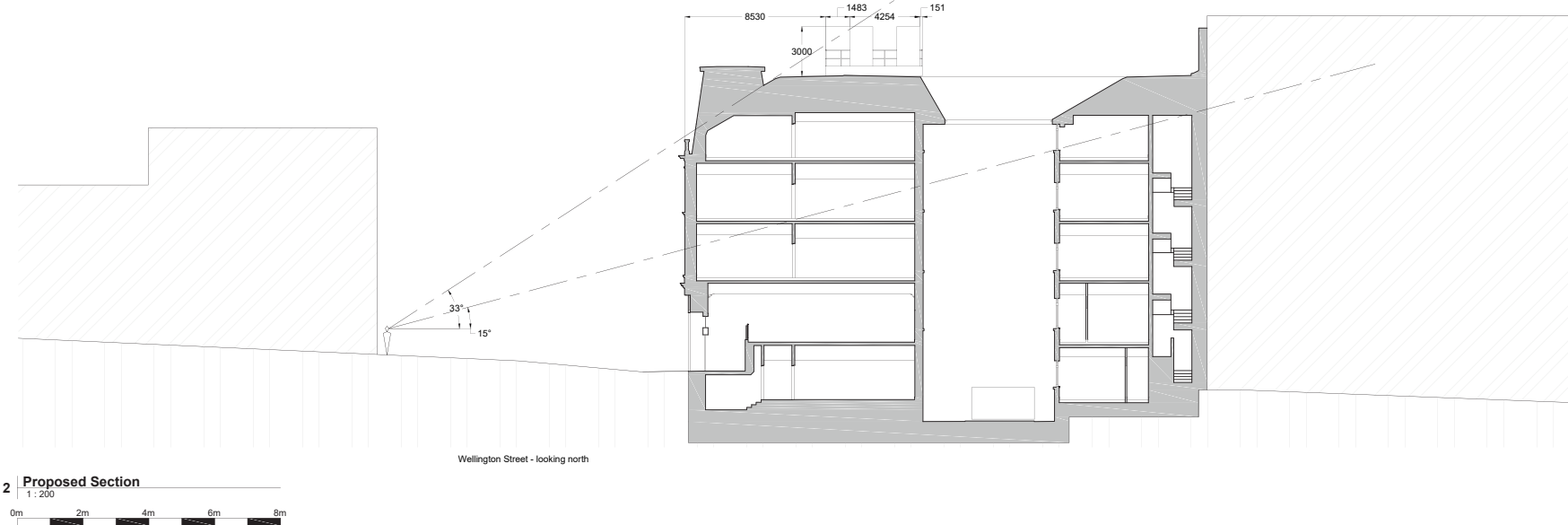
CONSENTED STREET ELEVATIONS
REF. CONSENTED PLANNING APP. **21/02710/FUL**



Air handling unit and ductwork has been located to back edge of roof on Bath Lane side. This is to minimize views of the plant from the elevated section of Bath street to the west. Wellington street has an apex, roughly around, the entrance to Wellington House which helps to minimize views of the roof plant from street level to the north or south. Due to constraints in roof depth and structure the unit could not be placed back against party wall.



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Views of the plant from the elevated section of Bath street, to the west, are restricted by 117 Bath Street. AHU has been lined up with central turret to shield view.

Rev	Date	Description	Dwn	Ckd			
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project The Wellington							
134 Wellington st, Glasgow G2 2XL							
title PROPOSED SECTIONS							
date 16/08/2021							
Drawn JW Checked -- Scale @ A1 1: 200 Scale @ A3							
PROJECT	COMPANY	PHASE	LEVEL	DOC TYPE	DISCIPLINE	SHEET	REVISION
WH39-	HD	- XX	- SEC	- DR	- A	- PL12	---
PURPOSE OF ISSUE PLANNING SECTIONS							

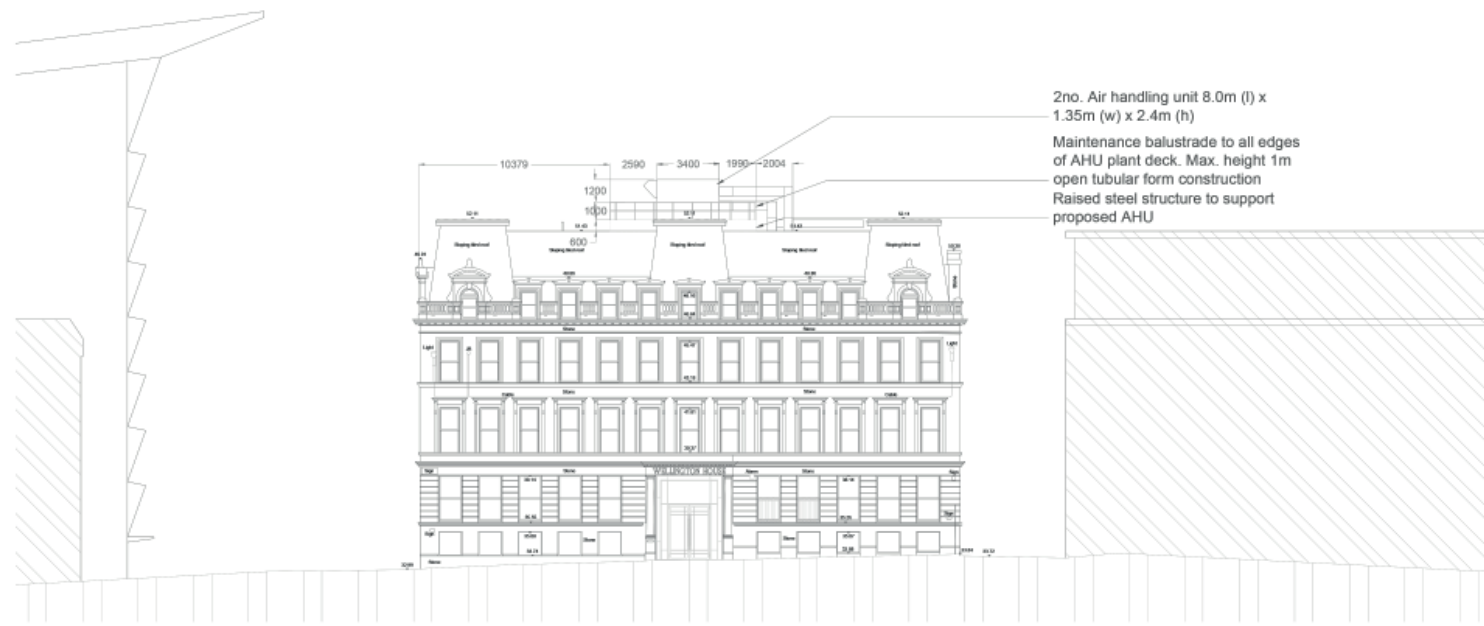
CONSENTED STREET SECTIONS
REF. CONSENTED PLANNING APP. **21/02710/FUL**

2.2 ROOF PLANT DUTCWORK

The ductwork route was originally designed to be within the attic level, however due to site conditions it was proposed to be moved to roof level.

See below a statement from Craig Martin (Preah), appointed project manager on the project.

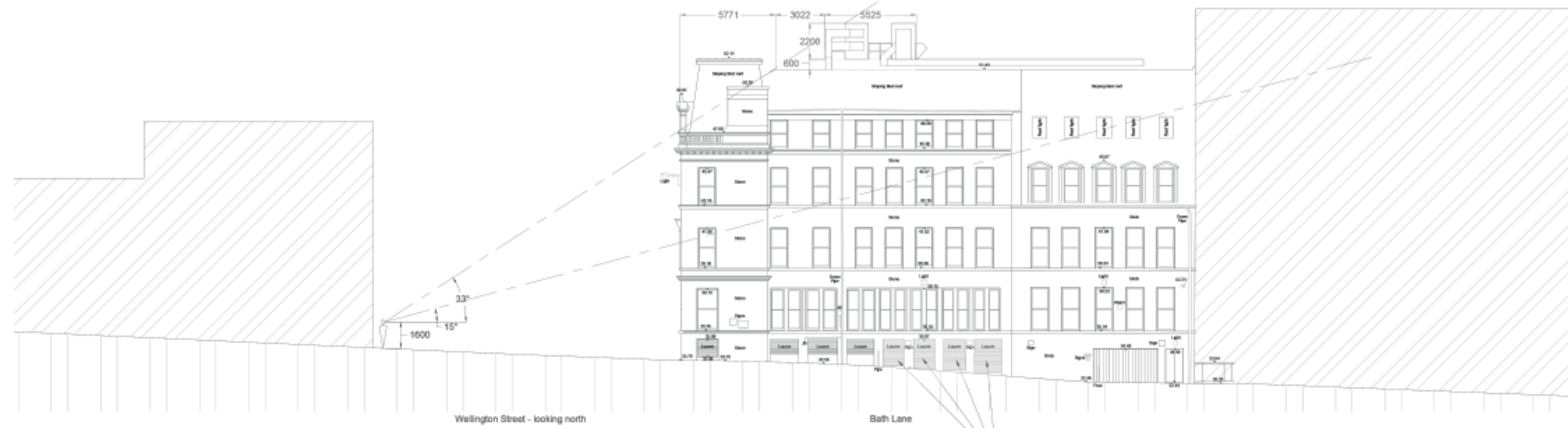
“The ventilation ductwork route changed from attic level to roof level; access would have been non-existent to the ductwork, VCD and FSD, on the 3rd Floor there is a double height ceiling. The ventilation was to be installed above the electrically and mechanical containment serving the rooms which intern blocked off the access to the mainline ducts. It would be impossible for future maintenance to be undertaken to FSDs and balancing valves if required in future. Upon reviewing this on site with Cundall’s and Henley site team, the roof seemed the only alternative for the ductwork.”



2no. Air handling unit 8.0m (l) x 1.35m (w) x 2.4m (h)
 Maintenance balustrade to all edges of AHU plant deck. Max. height 1m open tubular form construction
 Raised steel structure to support proposed AHU

1 Wellington Street - Proposed Elevation

1:200
 0m 2m 4m 6m 8m



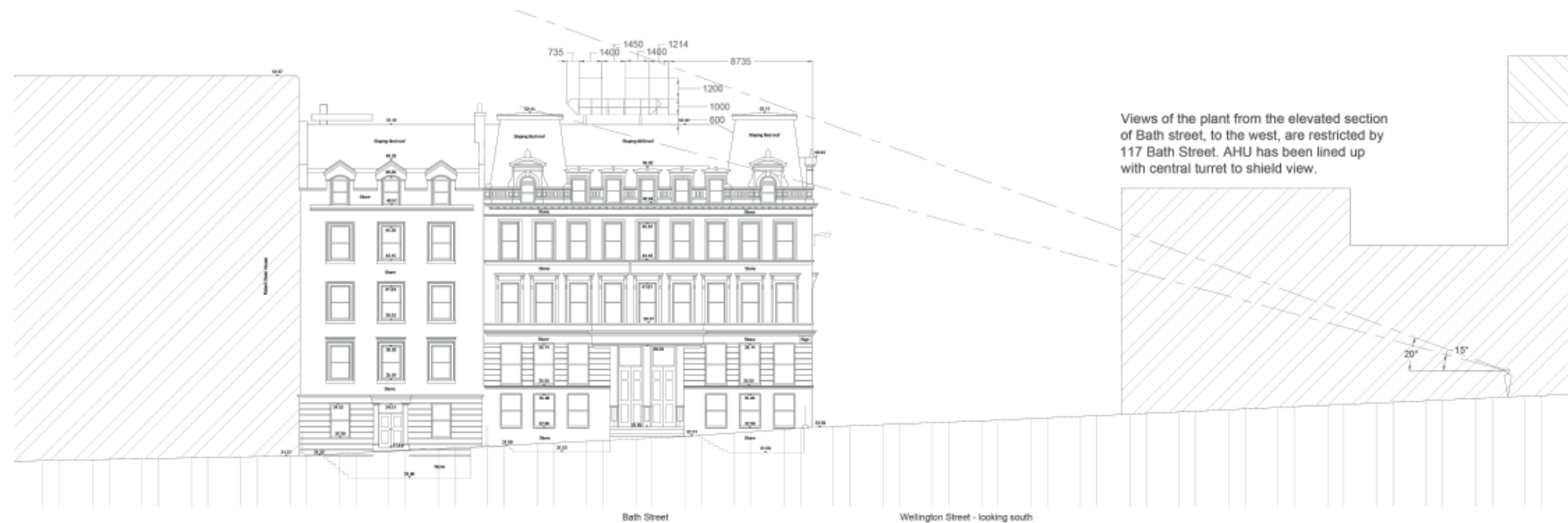
Wellington Street - looking north

Bath Lane

Matching Ventilation Louvers

2 Bath Lane - Proposed Elevation

1:200
 0m 2m 4m 6m 8m



Bath Street

Wellington Street - looking south

Views of the plant from the elevated section of Bath street, to the west, are restricted by 117 Bath Street. AHU has been lined up with central turret to shield view.

3 Bath Street - Proposed Elevation

1:200
 0m 2m 4m 6m 8m



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Rev	Date	Description	Drawn	Chkd
01	15.01.2021	Updated Plant & Plant Deck	MC	AT



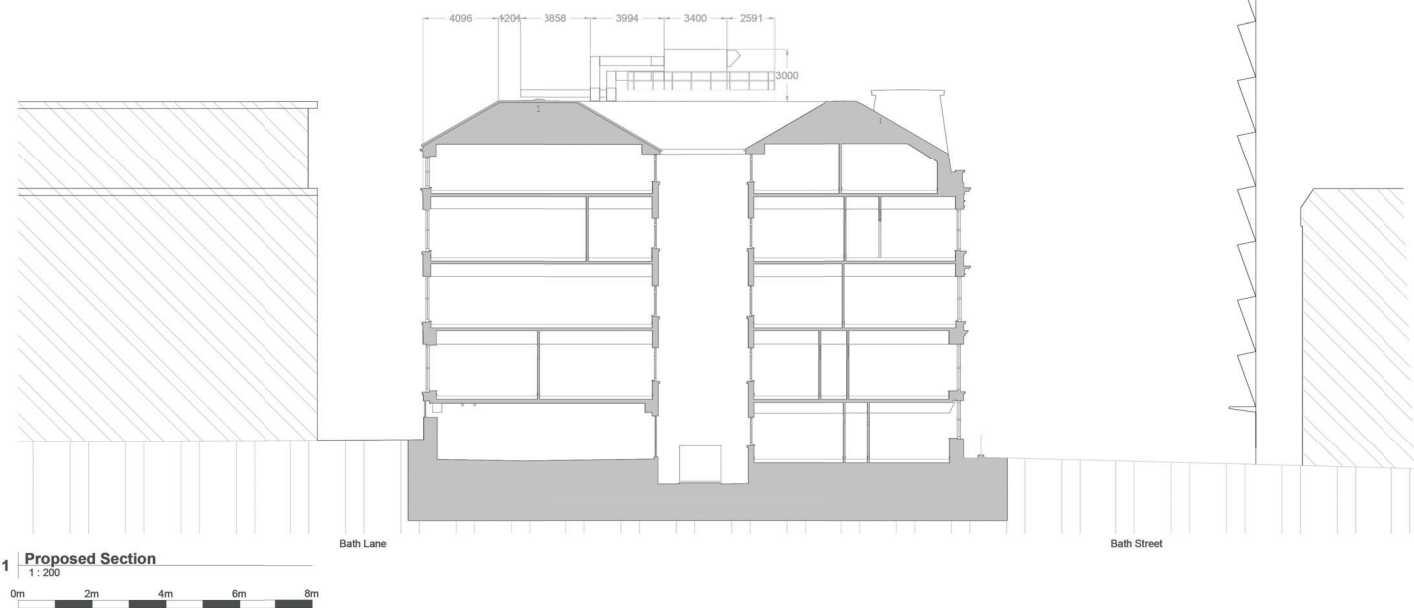
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 site **PROPOSED STREET ELEVATIONS**
 date **16/08/2021**
 Drawn JW Checked -- Scale @ A1 1:200 Scale @ A3

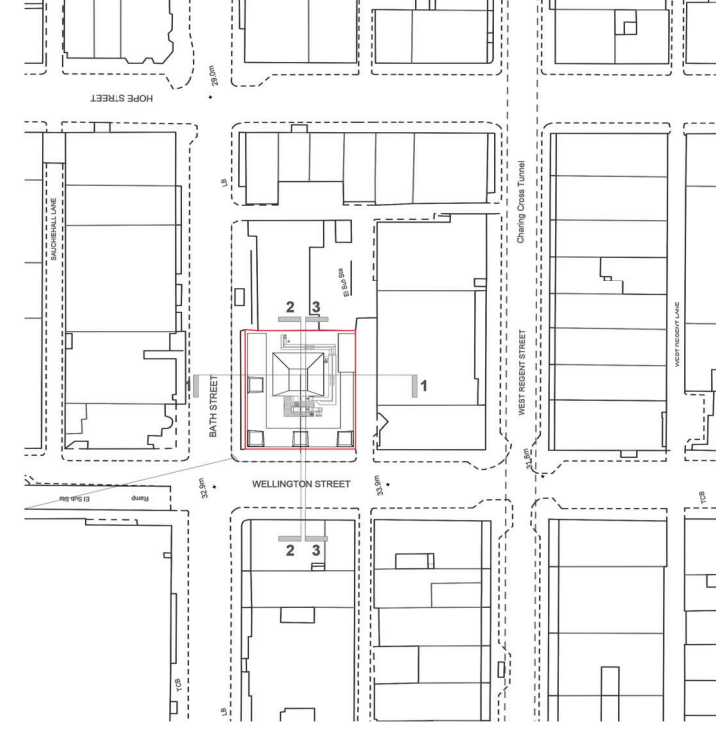
PROJECT	DISCIPLINE	PHASE	DATE	ISSUE NO.	DESCRIPTION	STATUS
WH39	HD	XX	ELE	DR	A	PL05 01

PLANNING ELEVATIONS

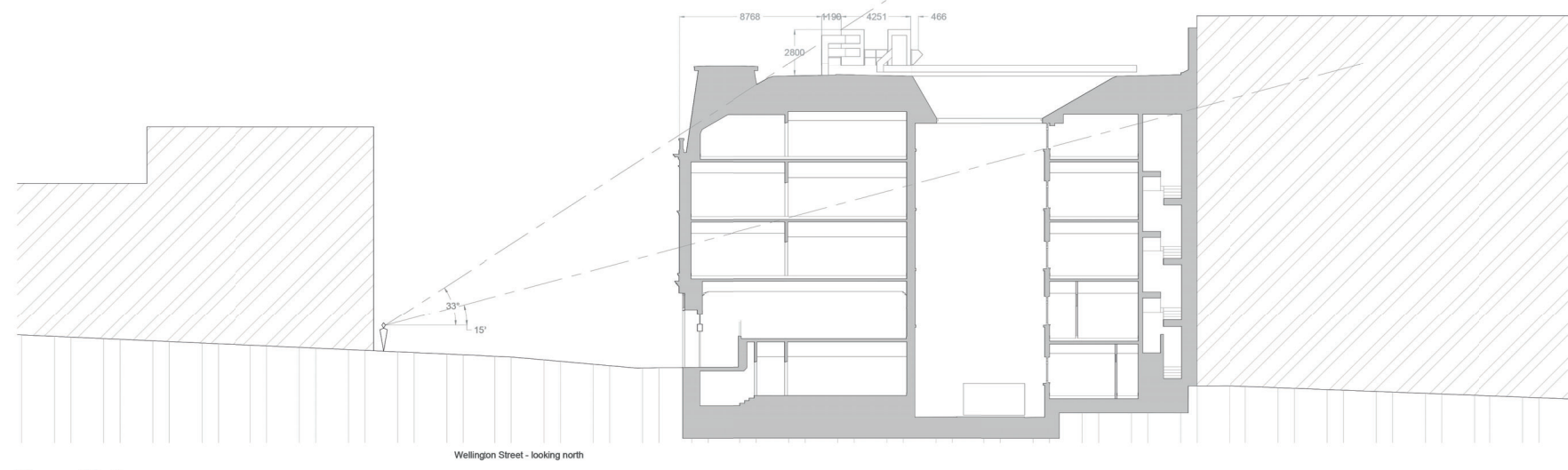
PROPOSED STREET ELEVATIONS



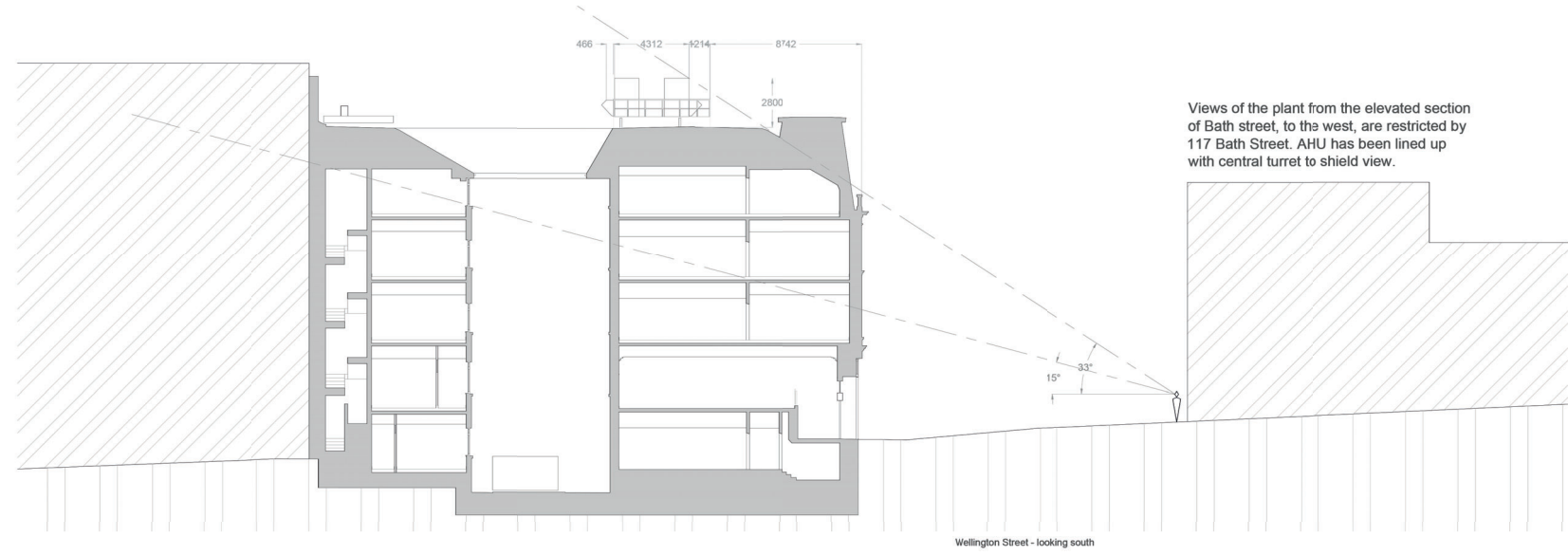
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2 Proposed Section
1:200



Views of the plant from the elevated section of Bath street, to the west, are restricted by 117 Bath Street. AHU has been lined up with central turret to shield view.

3 Proposed Section
1:200

P01	19.01.2023	Proposed Sections	MC	AT
Rev	Date	Description	Dwn	Ckd



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PROJECT	CATEGORY	PHASE	LEVEL	DOC TYPE	DISCIPLINE	SHEET	REVISION
WH39	HD	XX	SEC	DR	A	PL12	P01
PURPOSE OF ISSUE PLANNING SECTIONS							

PROPOSED STREET SECTIONS

3. CONCLUSION

This application is connected to the consented Planning Application 21/02710/FUL and Listed Building Consent 21/02997/LBA.

Street elevations and sections illustrated in the document show that the ductwork would not impact views from the street level.

