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**PLANNING (LISTED BUILDINGS AND
CONSERVATION AREAS ACT) 1990**

**ERECTION OF SINGLE STOREY SIDE
EXTENSION
AT BAYTREE COTTAGE, THE
QUARRY, EASTLEACH GL7 3NL**

HERITAGE IMPACT ASSESSMENT

Prepared by

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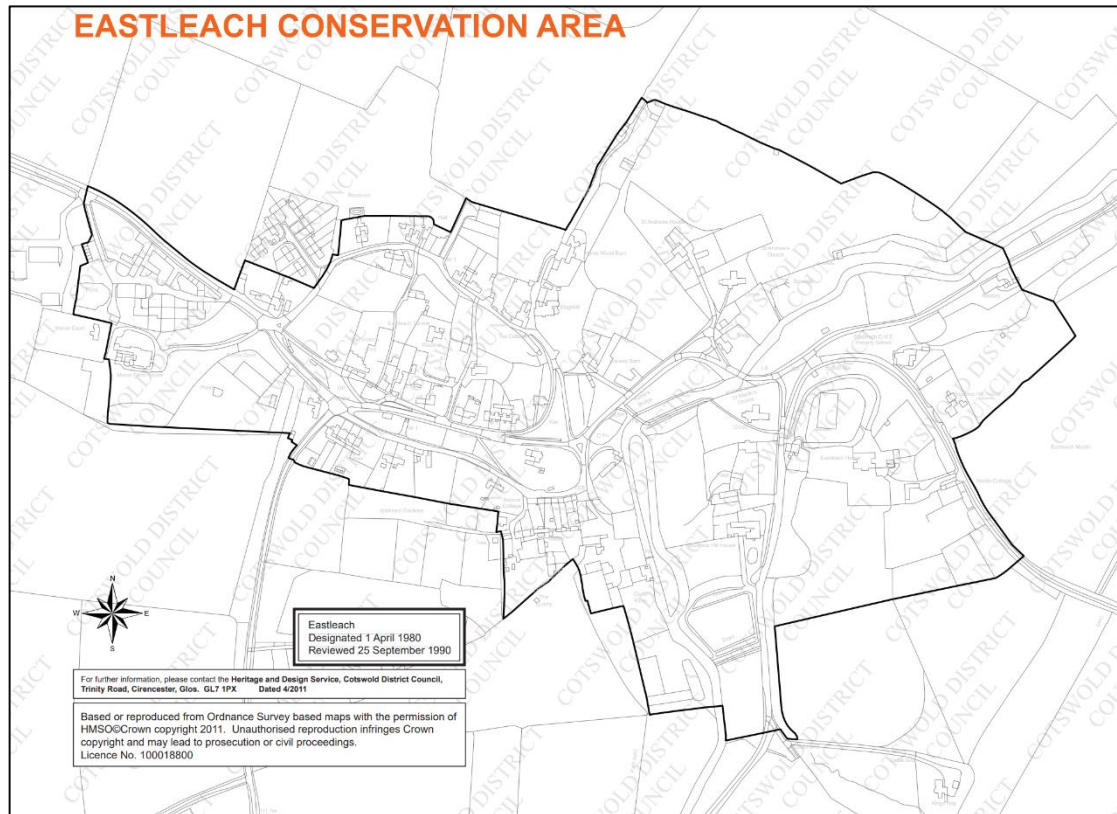
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1.0 INTRODUCTION

- 1.1 This Statement is submitted to accompany a planning application seeking to erect a single storey side extension at Bay Tree Cottage, Eastleach, Cirencester. The property lies within the Eastleach Conservation Area and Cotswolds Area of Outstanding Natural Beauty (AONB).
- 1.2 The purpose of this Heritage Impact Assessment is to consider the impact of the proposed development on any heritage assets. In this case, the heritage asset has been identified as the Eastleach Conservation Area.
- 1.3 Details regarding the proposal, the site description and the planning policy context have been included with the Planning, Design & Access Statement that accompany the application and it is not proposed to repeat its contents.

2.0 STATUTORY DESIGNATIONS

- 2.1 The relevant statutory designations in this case comprise the Eastleach Conservation Area which was designated by Cotswold District Council on 1st April 1980 and reviewed on 25 September 1990.
- 2.2 A map showing the whole of the Conservation Area boundary is provided on the following page.



3.0 RELEVANT LEGISLATION & POLICY CONTEXT

- 3.1 Under Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, requires that LPAs pay special attention in the exercise of planning functions to the desirability of preserving or enhancing the character or appearance of a conservation area or its setting or any features of special architectural or historic interest which it possesses.
- 3.2 The NPPF is also a material consideration. Paragraph 194 of the National Planning Policy Framework (NPPF) makes clear that any development that would result in harm to (or loss of) a designated heritage asset will require clear and convincing justification, Paragraphs 195 and 196 provide further detail on the approach that should be taken when balancing the public benefits of a proposal against the expected harm to designated heritage assets.

3.3 Historic England has produced a number of advice notes and guidance documents. Of particular relevance are:

- Conservation Principles, Policies and Guidance for the Sustainable Management of the Historic Environment
- Conservation Area Appraisal, Designation and Management Historic England Advice Note 1 (Second Edition)
- Managing Significance in Decision-Taking in the Historic Environment Historic Environment Good Practice Advice in Planning: 2
- The Setting of Heritage Assets Historic Environment Good Practice Advice in Planning Note 3 (Second Edition)

The Development Plan

3.4 Cotswold Local Plan Policy EN10 (Historic Environment Designated Heritage Assets) is relevant. This policy states that in considering proposals that affect a designated heritage asset or its setting, great weight will be given to the asset's conservation. The more important the asset, the greater the weight should be. It goes on to say that development proposals that sustain and enhance the character, appearance and significance of designated heritage assets (and their settings) and that put them to viable use, consistent with their conservation, will be permitted. Lastly, the policy states that proposals that would lead to harm to the significance of an asset, or its setting will not be permitted unless a clear and convincing justification of public benefit can be demonstrated to outweigh the harm.

4.0 EVALUATION OF PROPOSALS

4.1 Under Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 there is a duty to pay special attention to the

preservation or enhancement of the character and appearance of the surrounding Conservation Area.

- 4.2 In terms of the impact on the Conservation Area, no Conservation Area Statement or published Appraisal is available. However, a review of the designation map shows a wide variety of dwelling sizes and building lines. Over time the village has evolved, and new properties have organically emerged.
- 4.3 The proposal would not remove any existing natural feature, boundary wall or building. In addition, the siting and modest scale of the proposal has no material effect on any view or landscape quality.
- 4.4 Consequently, the proposed single storey extension would not be an uncharacteristic form of development in the Conservation Area. The location is relatively well secluded from public views and there will be minimal evidence of this, and there will be little in the way of external interventions to the Cottage itself.
- 4.5 It is therefore concluded that the proposals will preserve the character and appearance of the Eastleach Conservation Area.