

40 West End

Minchinhampton, Gloucestershire, GL6 9JA

Design & Access Statement



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pg. 5	1. Introduction Purpose of the Report Project Brief
pg. 7	2. Context Site Location Existing Building Conservation Area Listed Buildings Site Photos
pg.14	3. Design & Access Use Amount Layout Scale Landscaping Access Appearance

Introduction

1. Introduction

Purpose of the Report

This report is a document that runs parallel to the design process up to Stage 3, and builds up to an accompanying document as part of the planning submission, which aims to set out the narrative of the site, the brief, and the evolving design process.

The report will be used to seek planning approval from Stroud District Council for the proposed demolition, alterations and extension to the existing property.

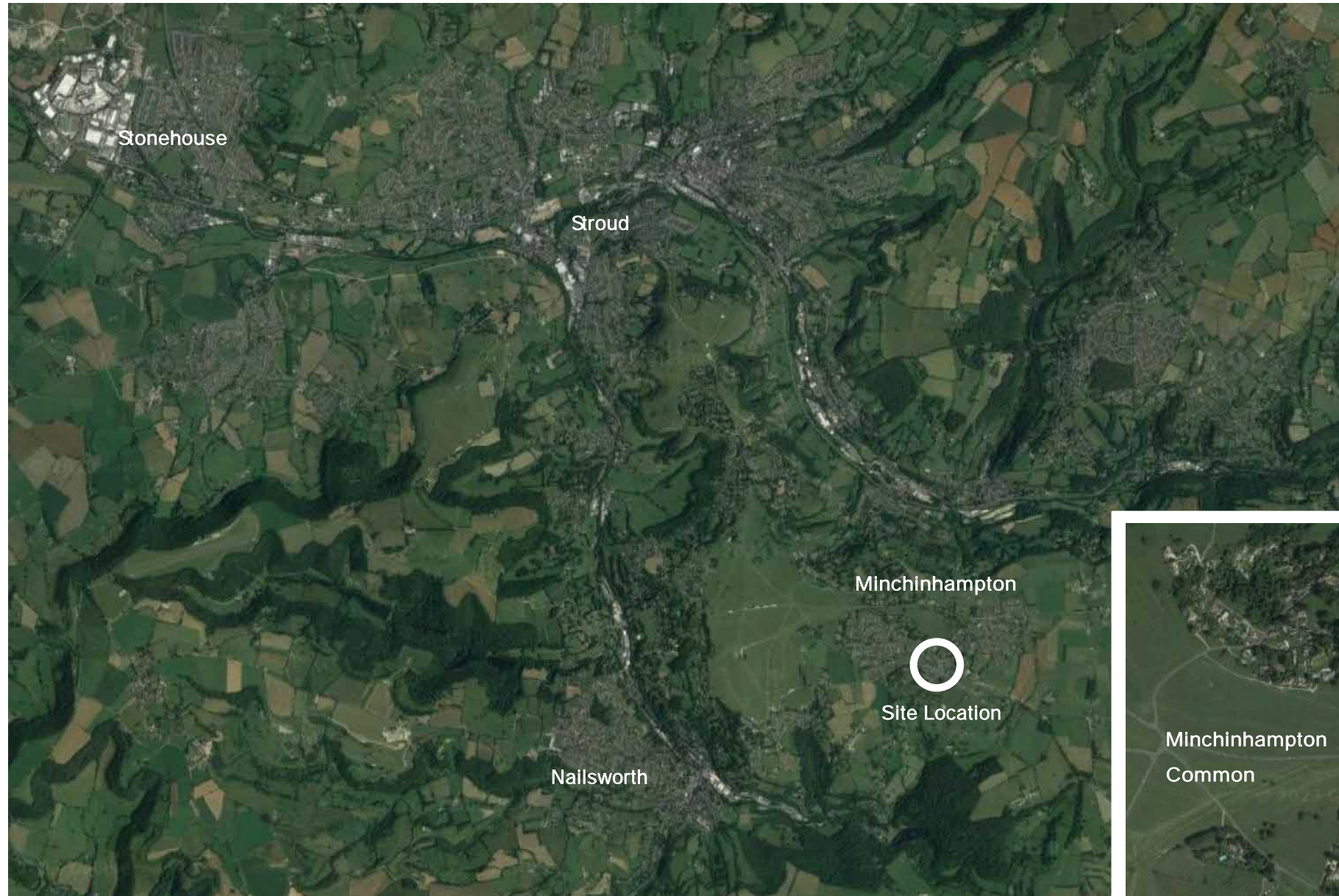
Project Brief

Our understanding of the clients requirements are listed below:

1. Extend the property to the rear to create additional bedrooms.
2. Creation of a master suite to the second floor.
3. Replace the existing poor performing single storey extension to the side, creating space for a Utility / Boot Room and an ensuite on the first floor.
4. Enlarge the existing kitchen / dining room and improve the connection to the garden with greater daylight.
5. Remodel the existing bedrooms to form more usable spaces.
6. Creation of home office spaces.
7. Improve the thermal performance of the building.

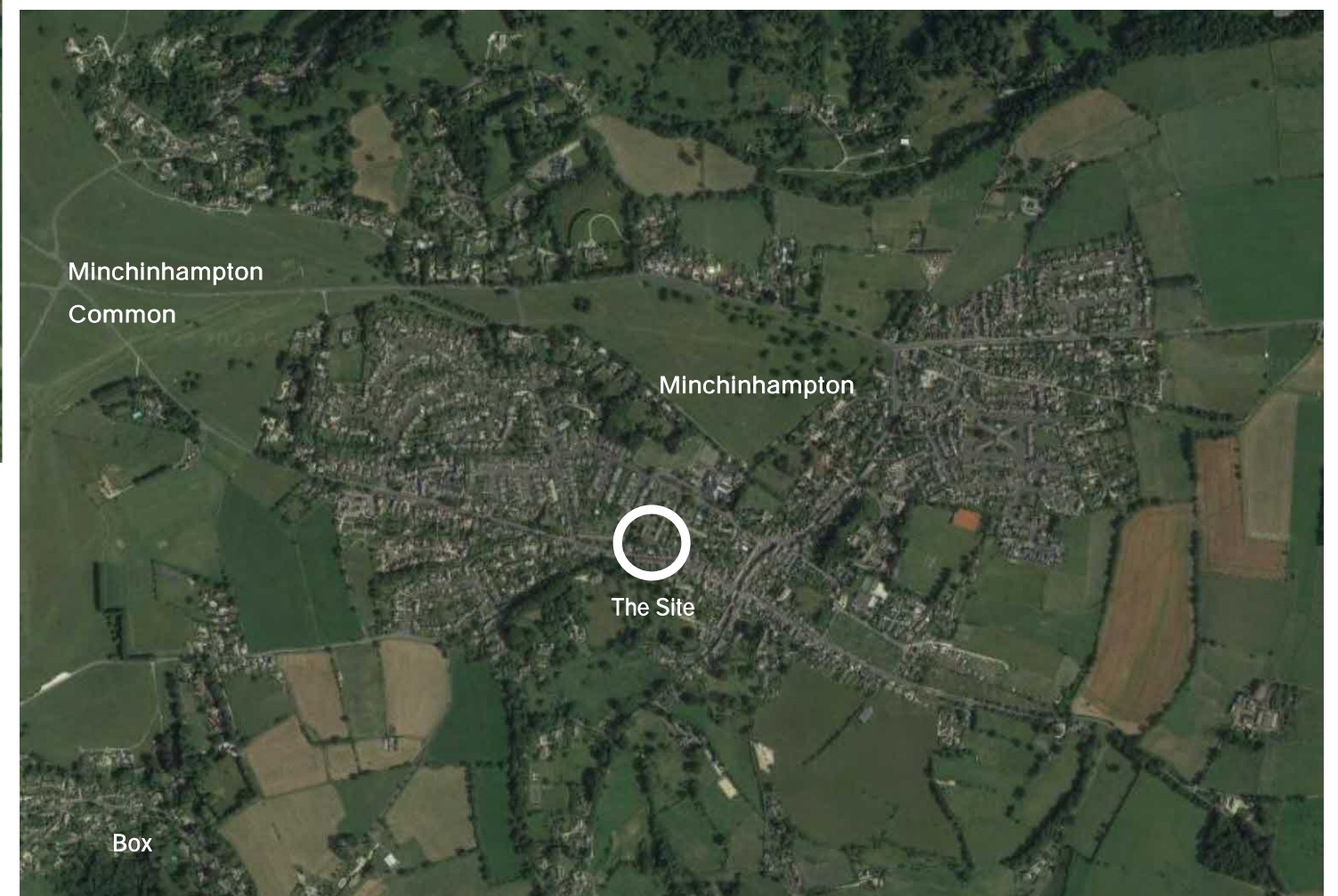
Context

2. Context



Site Location

40 West End is located close to the centre of the Market Town of Minchinhampton, in the Stroud District of Gloucestershire, South West England. The town is located on a hilltop, 4 miles south-east of Stroud. West End runs from the centre of Minchinhampton in a north westerly direction out towards the common. The road is lined with terraced properties which predominantly face onto the road, which many have been listed towards the centre of the town.



2. Context

Existing Buildings

The existing property is a three storey semi detached dwelling, with single storey extensions to the rear and east of the building. The building is of masonry construction. The building has cotswold slates to the main front roof pitch, concrete plain tiles to the main rear roof pitch and concrete interlocking tiles to the single storey rear extension. A fully glazed conservatory sits to the east of the main property and behind the garage.

The property is set back from the road behind a high walled front courtyard.

The existing garage forms the eastern boundary of the front courtyard, sitting forward of the main property and adjoins two neighbouring garages.

Conservation Area

The property is located within and on the north western edge of the Minchinhampton Conservation Area, as highlighted on the plan opposite.

Minchinhampton was first designated as a conservation area in November 1973. No further boundary changes have been made since. It is understood that the conservation area does not have an adopted Conservation Area Statement.



2. Context

Listed Buildings

Whilst the existing property is not listed there are a significant number of listed properties in close proximity. The adjacent map shows listed properties within the surrounding area.

A summary of the closest listings are provided below:

1. West End Stores

Grade: II
List Entry Number: 1091086
Date first listed: 24th March 1988

House with attached shop. Early C19. Ashlar limestone, random rubble to sides and shop; ashlar and concrete block rebuilt chimneys; stone slate and concrete tile roofs. Three-storey house with 2-storey rear wing; attached single-storey shop on east side. Front: 3-window fenestration, 12-pane sashes to ground and middle floors, central 6-pane to upper floor - outer sashes replaced by metal casements. Central doorway with plain architraves, 6-panel fielded door with rectangular light over. Middle floor level sill band. Gable end chimneys. Plain rubble-built shop to right with 3-light timber shop window. Rear wing has west-facing ground floor casement and 6-pane sash above. Interior not inspected.

2. 22-26 West End

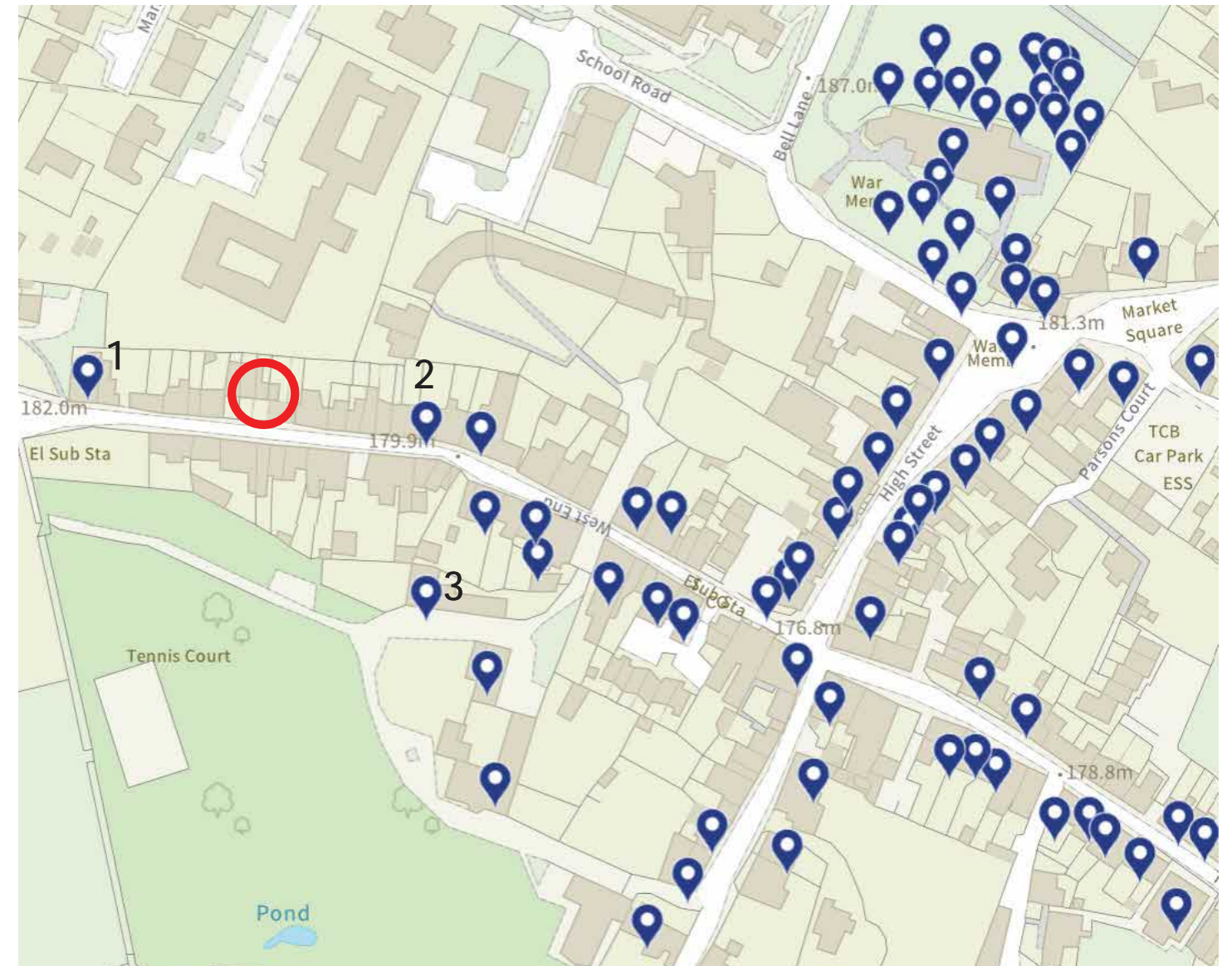
Grade: II
List Entry Number: 1152020
Date first listed: 24th March 1988

Row of 3 houses. C17 or early C18, refronted or reconstructed early C19. Coursed and random rubble limestone; ashlar and brick rebuilt chimneys; stone slate roof, partly concrete tile to rear. Two-storey, attics to Nos 22 and 24. Front: 2-window fenestration to each house of various dates. No 22: 16-pane sashes with deep stone lintels; doorway to right with 6-panel fielded door, blocked doorway to left of ground floor sashes. Two gabled attic dormers with timber casements. No 24: keyed segmental arched openings, single 16-pane sash to ground floor, 2 small-paned upper floor casements. Doorway to left with C20 door. Eaves-level raised with central gabled dormer. Plain upper floor level band carried onto No 26 to left. No 26: two 12-pane upper floor sashes, ground floor sash replaced by C20 casement with false glazing bars. Formerly central doorway moved to right into former window position. Interiors not inspected. Included for Group Value.

3. Stables and Coach House Approximately 50m North of The Lammas

Grade: II
List Entry Number: 1152020
Date first listed: 24th March 1988

Stables and coach house. Early C19 with later alterations. Random rubble and coursed limestone; ashlar chimney; stone slate roof. Two-storey; long return wing at west end. Front: central part with parapet, flanked by gables. Central 3-centred coach archway with lunette recess above containing carved stone lion couchant; small flanking casements to each floor, mostly leaded. Three-centred coach archway below each gable, right now blocked, left with loft doorway over. Later garage addition at east end with sliding plank doors. Interior not inspected. Included for Group Value.



Extract from historicengland.org.uk listed building search map



Street view of the property from the south.



Front elevation showing the ground floor.



Front elevation showing the upper floors.



Side elevation of existing garage from the front courtyard.



Rear elevation of upper floors.



Side elevation of property from the garden.



Single storey kitchen roof to rear and neighbouring two storey extension.



Rear upper courtyard between single storey kitchen and northern boundary.



Rear single storey lean to extension proposed to be demolished.



Existing side conservatory proposed to be demolished.



Eastern boundary to 36 West End.



View across garden from rear upper courtyard

Design & Access

3. Design & Access

Use

The existing property is of domestic use and forms the client's primary residence. This will be unaffected by the proposed refurbishment

Amount

The proposal involves the demolition of the existing single storey conservatory to the side and the lean to to the rear. These will be replaced with a new three storey extension to the rear, a two storey extension to the side and a single storey porch to the front. The footprint of the building will increase from 108.5m² to 135.2m².

Layout

The layout of the existing building will be remodelled to best connect the new living and ancillary spaces. Additional bedrooms will be created on the first floor within the rear extension and a new ensuite within the side extension. The roof space of the rear extension will form a new ensuite serving the master bedroom.

Scale

The demolition of the existing single storey extension to the rear will allow the kitchen / dining space to be extended into the garden. A two storey extension will be built over the existing kitchen, which will extend in line with the neighbours existing rear extension. The existing conservatory will be demolished and replaced with a two storey extension to the side of the property. A single storey pitched roof porch will be added to the front. All extensions will be subservient to the original part of the property.

Landscaping

The proposal will improve the gardens relationship with the dwelling, providing direct connections from the living spaces.

Access

Access to the property will be unaltered and will remain as existing.

3. Design & Access

Appearance

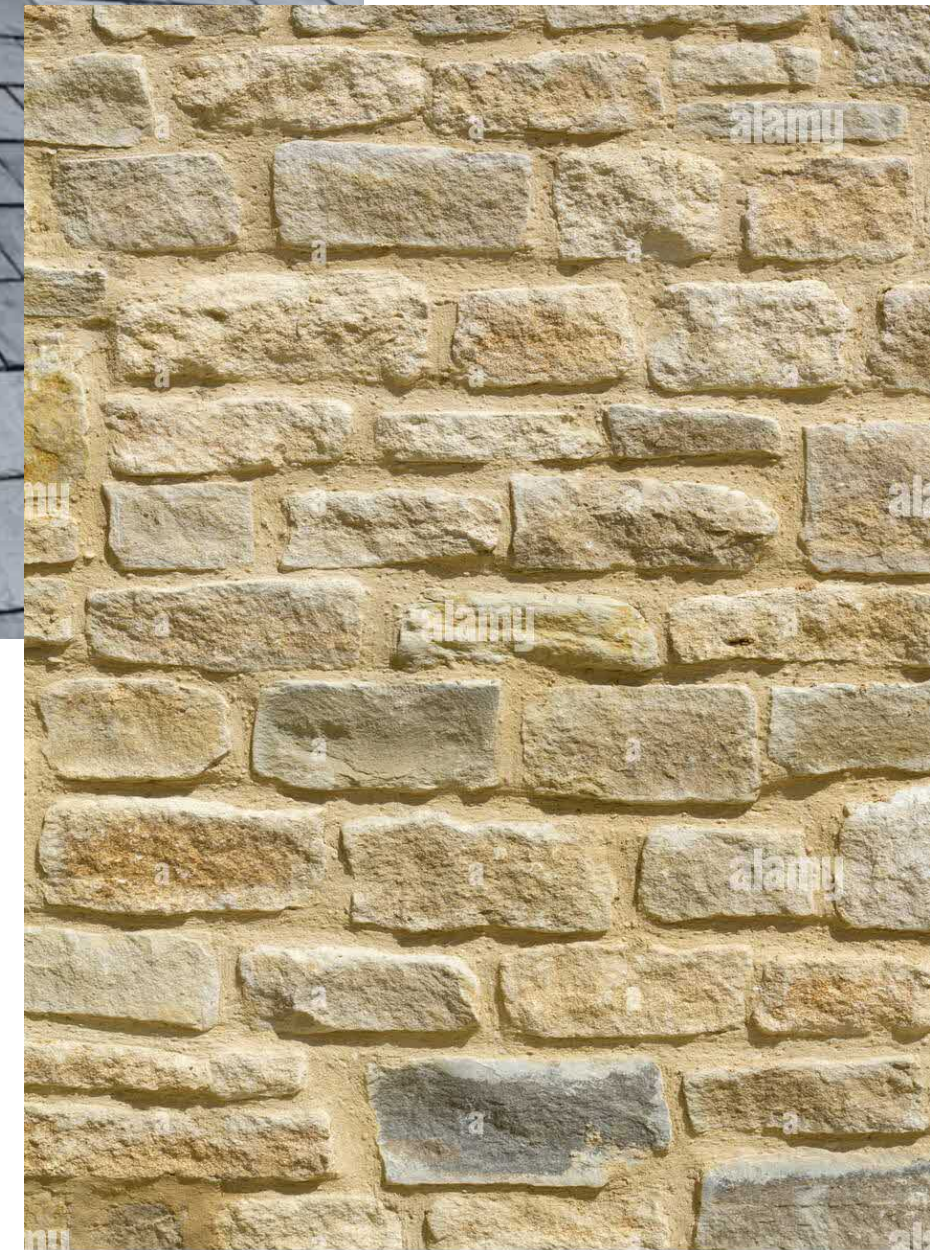
The proposed extensions to the rear and side have been designed to reflect the appearance and detailing of the existing property. External walls of both extensions are proposed to be faced with stone to match the existing. The new porch will be rendered to provide a contrast with the existing stone front elevation. The side extension roof will have concrete replica cotswold slates to best match the existing cotswold slates on the main roof. The rear extension and porch are proposed to have slates to match the neighbouring extension. Windows and doors have been designed to reflect the style of the existing painted timber windows and doors.



Painted timber windows and doors to match existing



Spanish Grade A slates



Cotswold stone to match existing

Sense
ARCHITECTS