

Signature Design

Design & Access Statement

PROJECT TITLE: *946, Warwick Road,
Knowle,
Solihull,
B91 3HW*

PROJECT PROPOSITION:
Proposed new detached residential use triple garage

APPLICANT: *Mr K Brown*

PREPARED BY: *Signature Design
Hall Green
Birmingham B28*

DATE PREPARED: *Nov 2023*

SECTION ONE – Context

Proposal

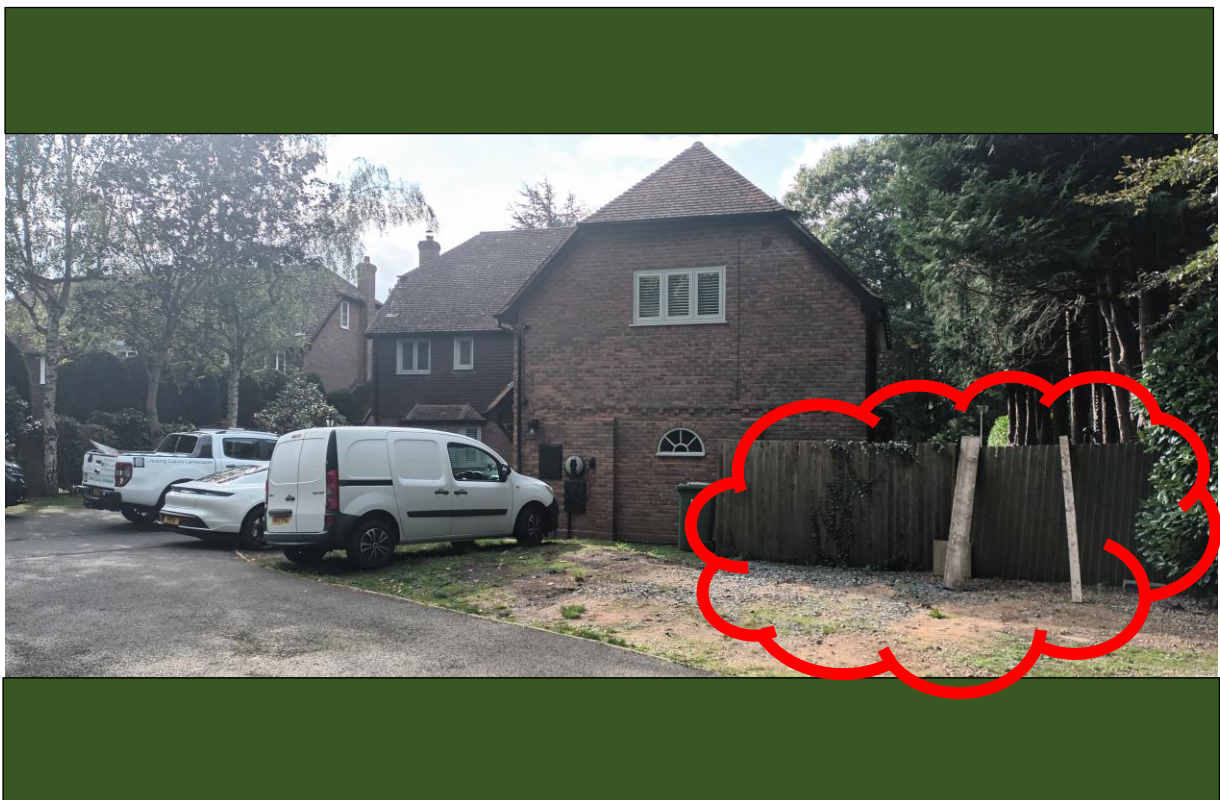
Proposed detached open front aspect triple garage for residential car parking use.

Roofing tiles to match existing and composite horizontal cladding to the external and internal walls to complement the colouring of the existing main dwelling windows.

Existing

Existing open parking space to be utilised for the triple garage.

Overview of site





Use

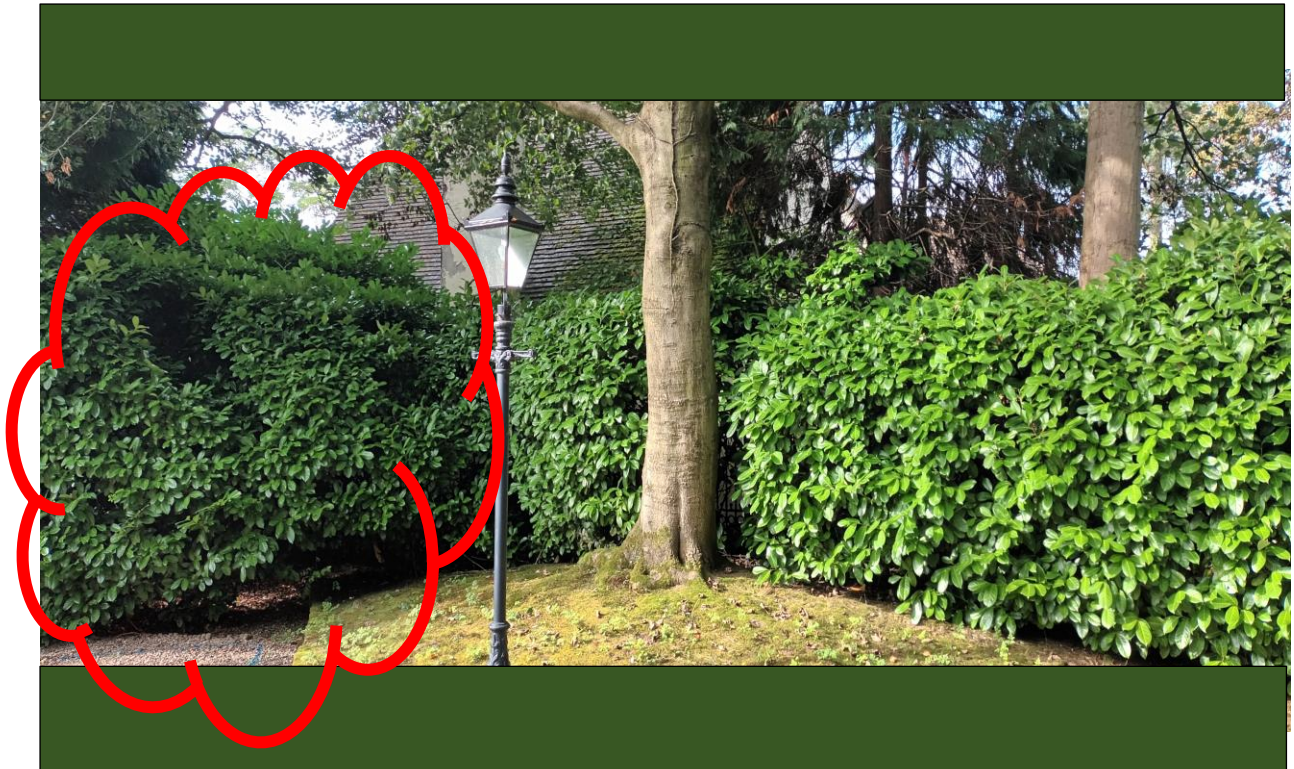
The current existing building is two storey dwelling house with a private in and out access drive.

Scale

The existing residential buildings in this locality of Warwick Road, Knowle are characterised individually designed detached residential dwellings.

Existing main dwelling and extension pitched roof designs are prevalent.

The existing dwelling property is bounded by spruce trees to the righthand side and also laurel and a silver birch tree.



Visual appearance

The visual appearance of the existing property will not be affected by the triple garage as it is proposed to build the garage in front of the existing dropped hip end wall with no bedrooms and family rooms.

