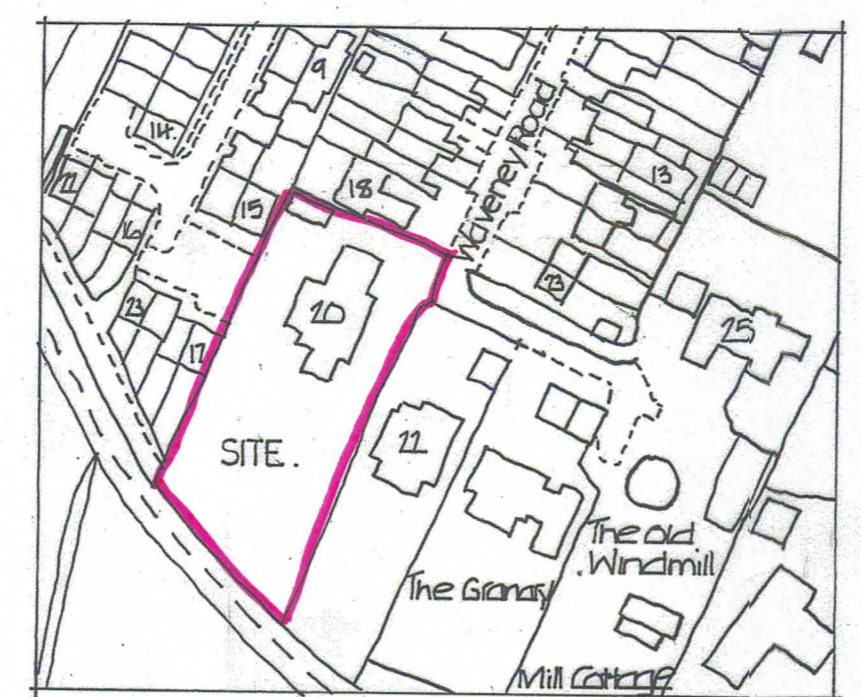
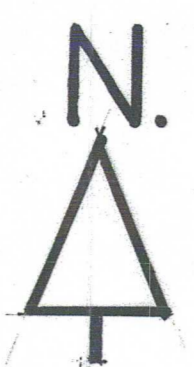
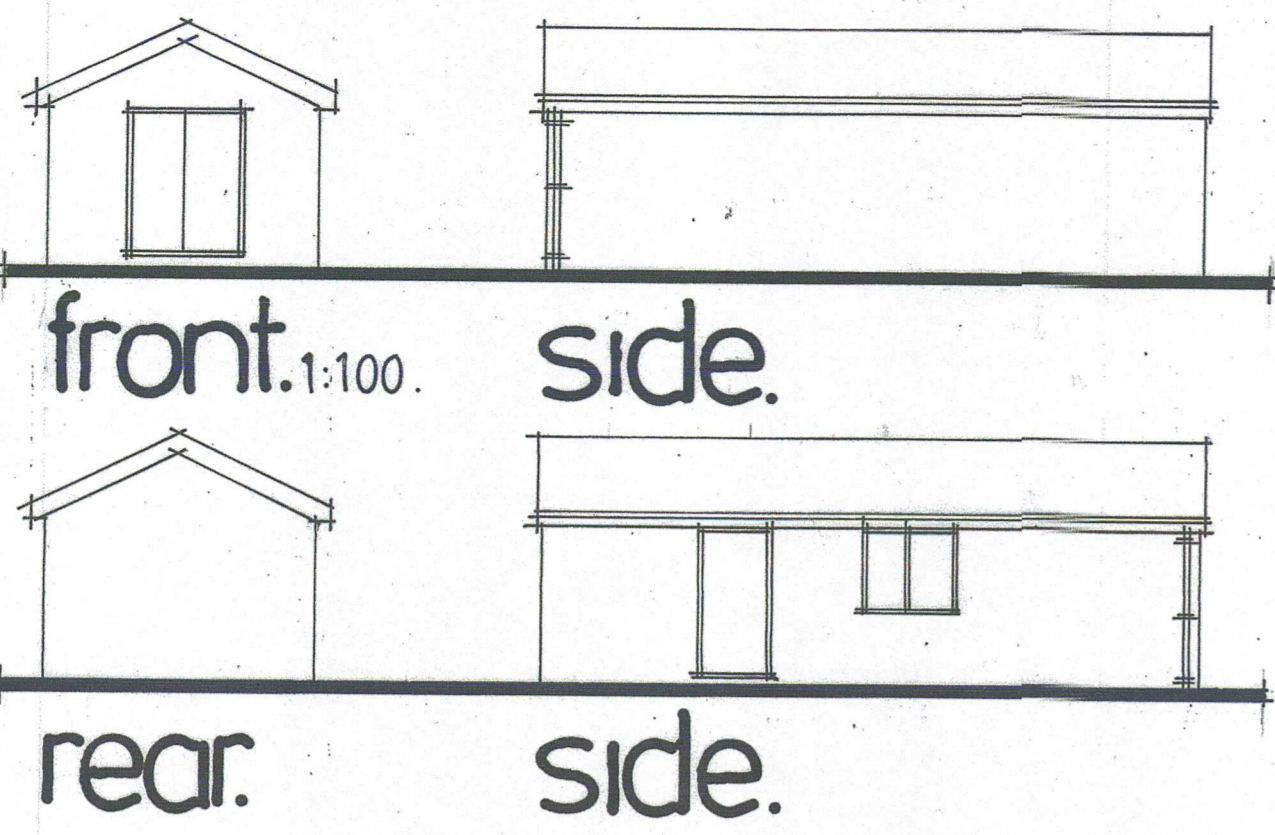
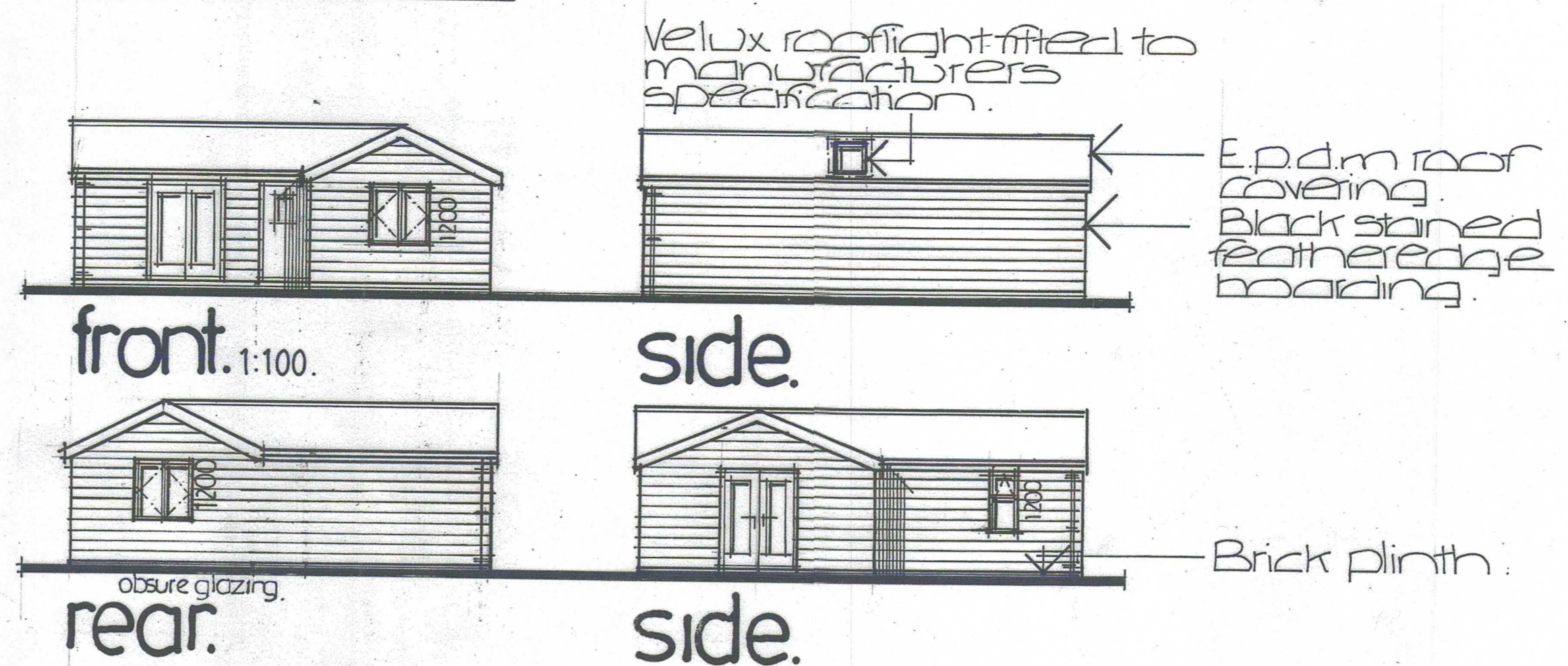


EXISTING.

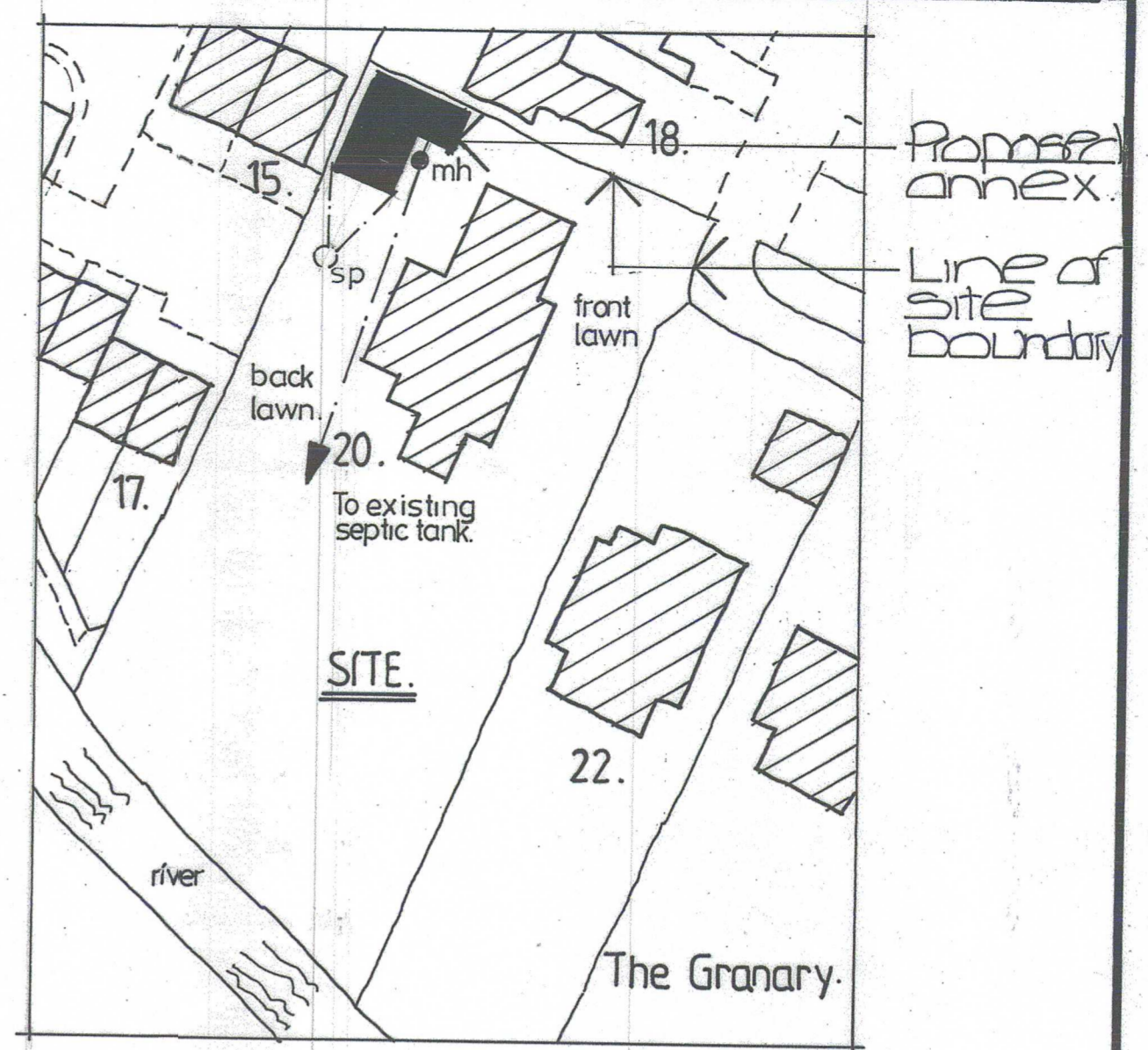


location plan. 1:1250.

PROPOSED.

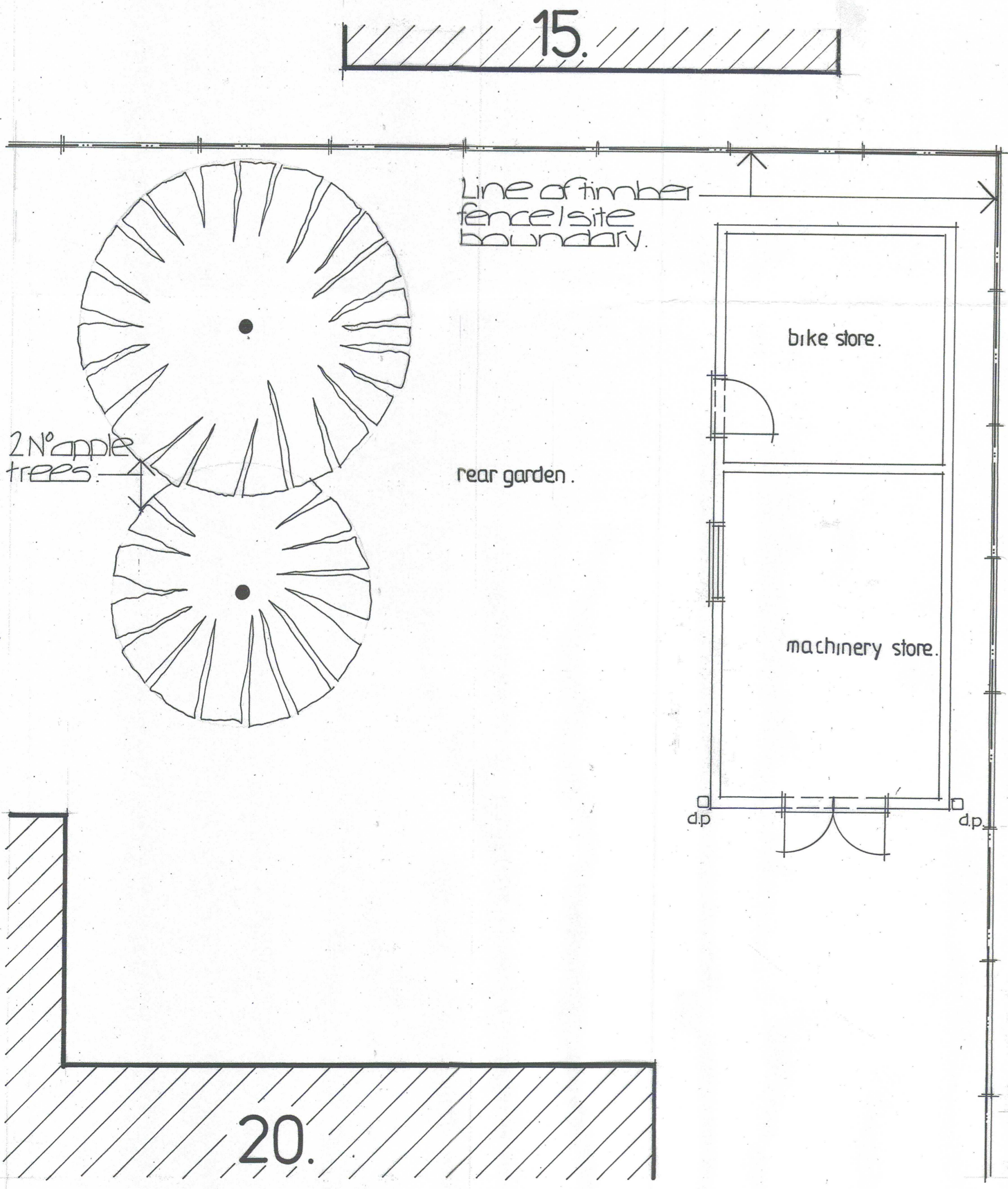


ELECTRICS: - All electrical work to be undertaken by electrical contractor to satisfy Part P of the building regs and provide the homeowner with completion certificate. 100% of new lighting to habitable rooms to be energy efficient light fittings. Ensure all electrical sockets and switches are to be fitted between 450mm x 1200mm above finished floor level.

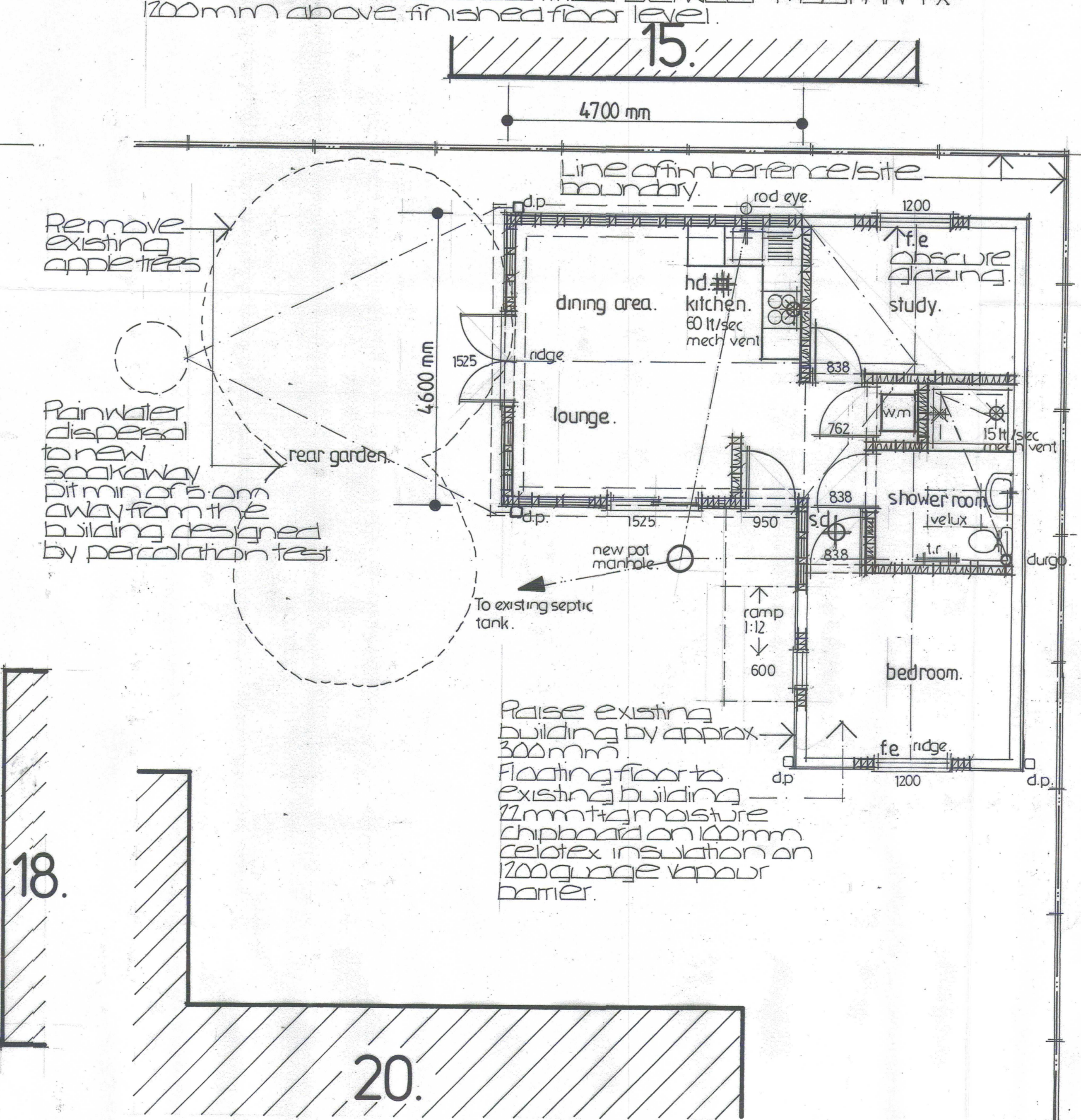


block plan. 1:500.

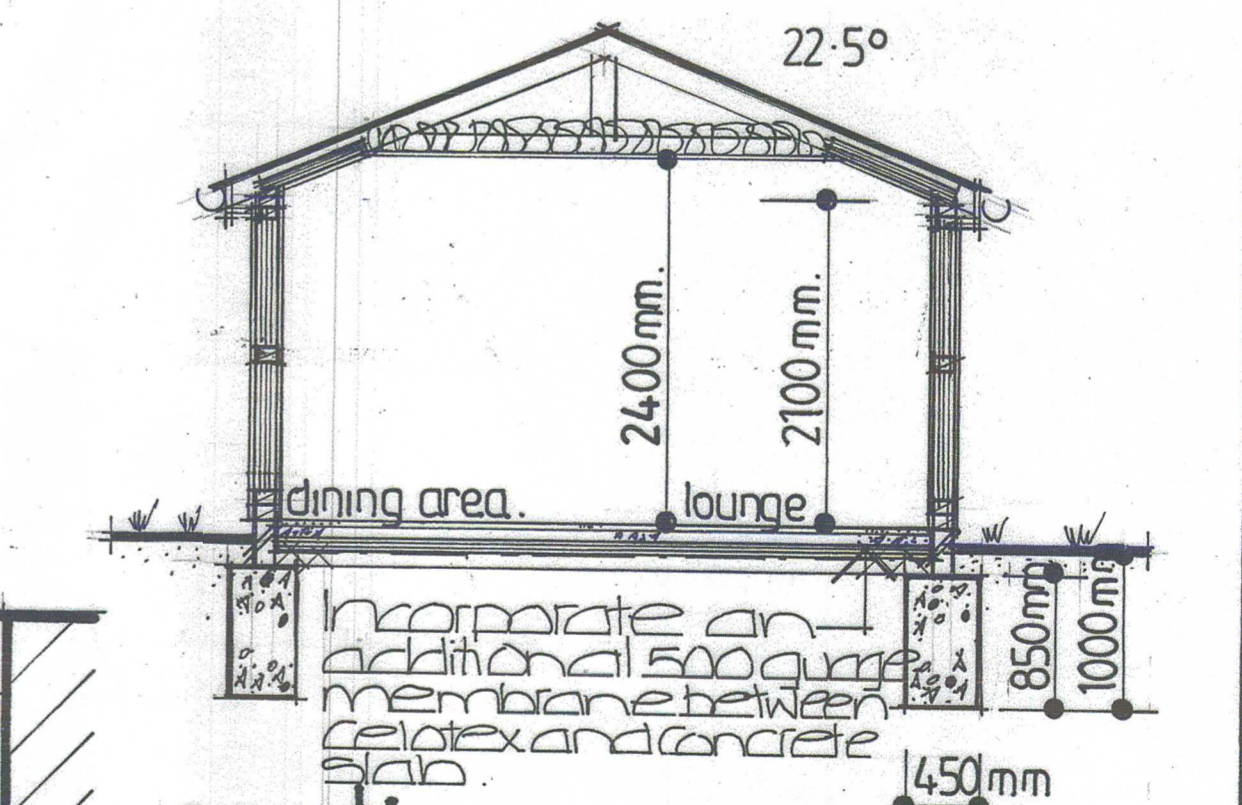
WINDOWS/DOORS+GLAZING: - All glazing to critical areas to be toughened. Double glazed sealed units constructed from 'K' glasses with 20mm air gap. New windows to achieve U value of 1.2 W/m²K and doors to achieve U value of 1.4 W/m²K. All safety glazing to comply with BS 6206 (1991). Fire escape windows to have a clear opening of 450mm x 850mm with sill max 1100mm above finished floor level. Background ventilation to new habitable rooms added will achieve at least 12,000mm² equivalent area the additional room and outside. Background ventilation to new wet rooms added will achieve at least 5000mm² equivalent area in addition to the intermittent extraction fan.



layout. 1:50.



layout. 1:50.



section. 1:50.
 sd ⊕ Permanently wired to the consumer unit and interlinked smoke detector fitted with battery back up.
 h.d # Permanently wired to the consumer unit heat detector.

NOTE:
 Builder to check all setting out details on site.

N.H BUILDING DESIGN.
 18 PLASSET DRIVE, ATTLEBOROUGH, NORFOLK, NR17 2NU. Tel: 01953-455715.

CLIENT: Proposed family annex building at 20 Waveney Road, Diss for Mr+Mrs Simmonds.		
SCALE: 1:50, 1:100.	DATE: September 2023.	DRAWING N°: NH/23/26/1 revA.