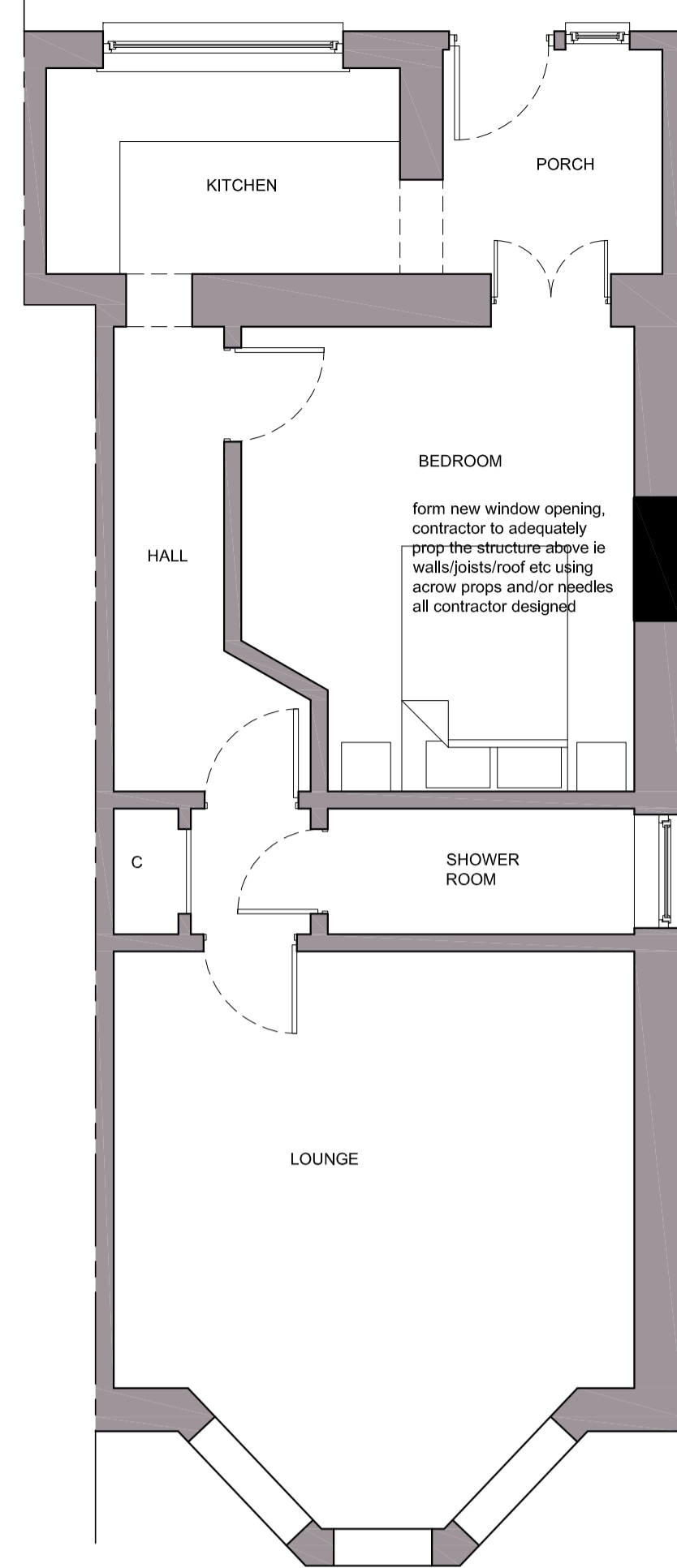


The purpose of these drawings are solely for the purposes of obtaining planning approval. The drawing may be suitable for construction purposes but it may be necessary to augment/and or amend this information for this purpose. No liability will be accepted for any omission on this drawing should the drawing be used for construction purposes.



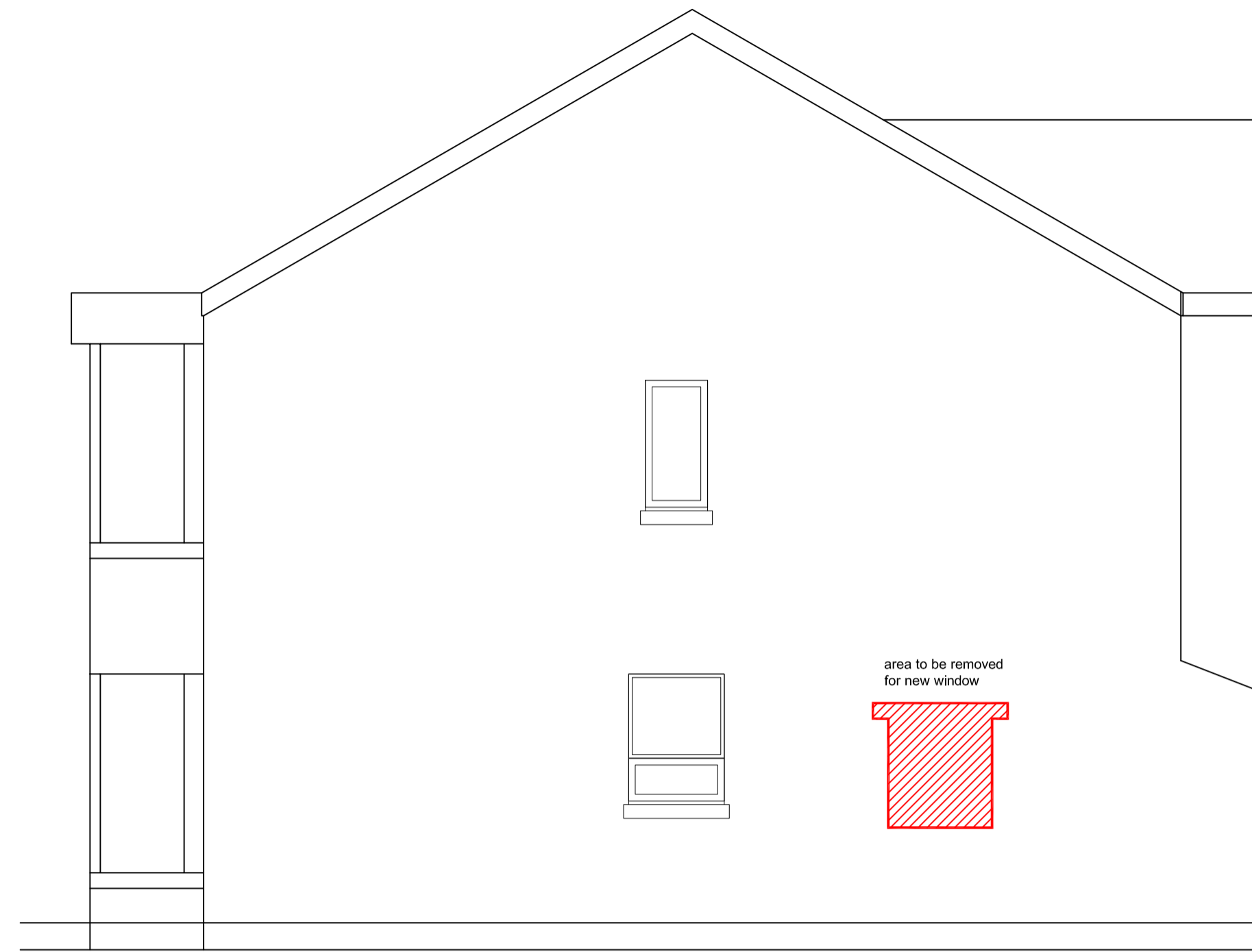
**LEGEND**

- Existing walls
- - - Walls to be removed

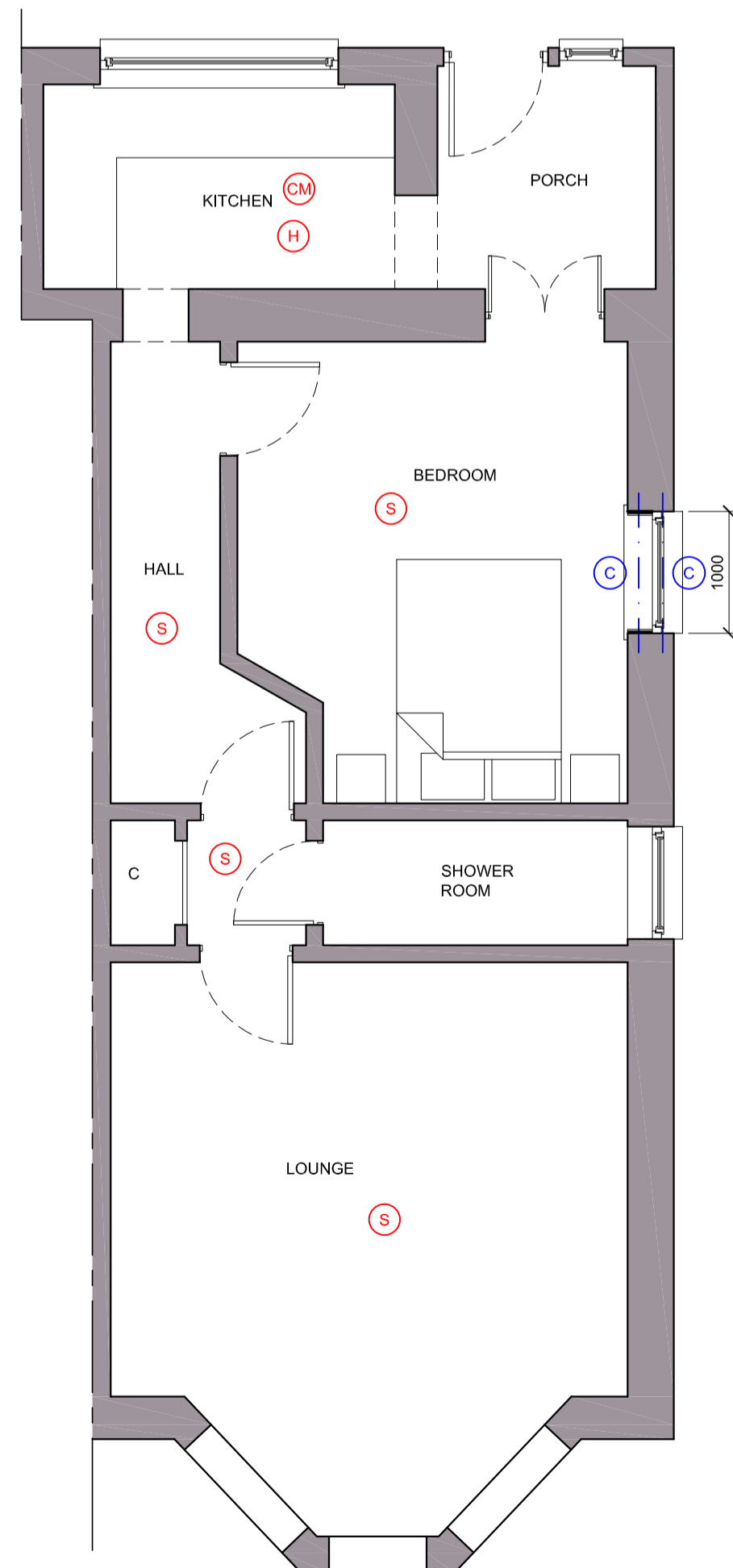
**Specification:**

Existing building  
 All demolition works are to be carried out with the following:  
 BS 6187:2011  
 H.S.E Guidance note g29 parts 1 to 4  
 The building (operations) (Scotland) regulations 1976.  
 The health and safety at work act.  
 Control of pollution act part 111 and BS5228 1976.  
 Existing services are to be adequately protected during demolition works.  
 Contractor to obtain all necessary permits prior to commencement on site.  
 Any asbestos is to be removed by specialist licensed contractor prior to demolition works commencing (if applicable)  
 Any asbestos will be deposited in a licensed coup and the necessary consignment notes issued.  
 Contractor to provide all necessary hoarding.  
 Contractor is to provide all necessary scaffolding to carry out the works in accordance with BS 5973, BS 1139 AND B.C.P.97.  
 Contractor to allow for temporary shoring to existing walls during overtakings, temporary shoring to be designed to relevant codes of practice, full supporting calculations and drawings are required for such temporary shoring.  
 Contractor to provide method statement for carrying out the works showing details of scaffolding, protective screens etc. and the structural bracing (if necessary) and means of disposal.  
 The disposal of materials and rubbish by burning on site will not be permitted under any circumstances, no fire will be permitted on site at any time.  
 Demolition works within the property is to be carried out in such a manner as to cause as little inconvenience to adjoining property owners and/or the public as possible. In addition all necessary steps shall be taken to protect adjoining property, public highways etc. from disturbance by debris or by dust during the demolition works.  
 No wall or part of the structure shall be left in a dangerous or insecure state at any time.  
 Existing decoration (if damaged during construction works) is to be made good to the satisfaction of the client.  
 Contractor to inspect existing electrics and ensure existing mains board has adequate capacity for proposed extension.  
 Contractor to inspect existing boiler and ensure existing boiler has adequate capacity for proposed extension.  
 Contractor to ensure site is secure at all times and ensure house is left safe at the end of the working day.  
 Contractor to allow for dust sheets/temporary barriers internally to stop spread of dust.  
 Existing hard and soft landscaping if damaged during construction works is to be made good to the satisfaction of the client.

GROUND FLOOR WALL LAYOUT AS EXISTING  
1:50



SIDE ELEVATION AS EXISTING  
1:50

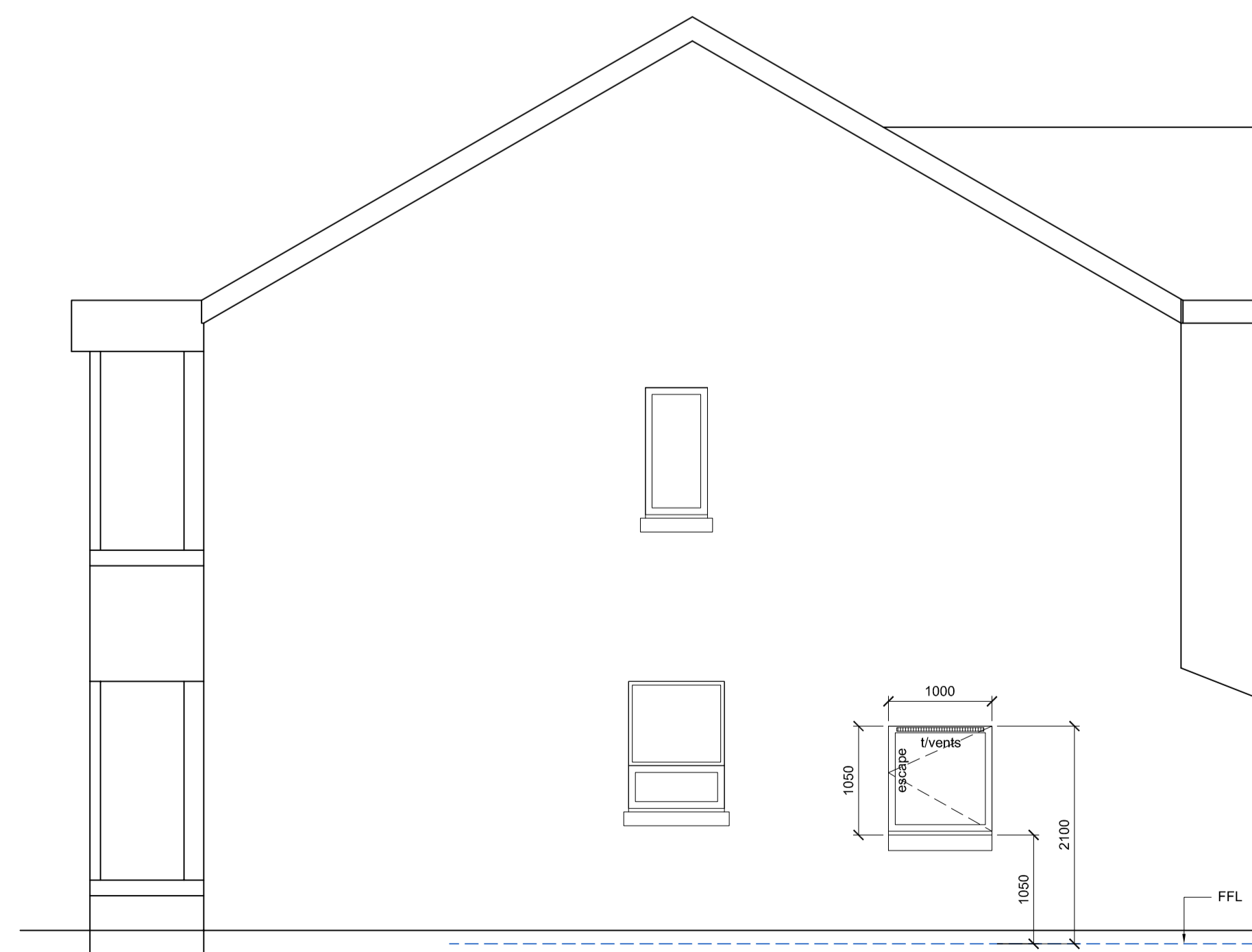


**LEGEND**

- (C) ROBESLEE TYPE 'C' OUTER LINTEL MIN 150 BEARING

ELECTRICAL LEGEND	
(S)	Smoke detector
(H)	Heat detector
(CM)	Carbon monoxide detector

GROUND FLOOR WALL LAYOUT AS PROPOSED  
1:50



SIDE ELEVATION AS PROPOSED  
1:50

**PLEASE READ -**

1. All dimensions in millimetres.
2. All dimensions, levels and angles to be checked on site prior to the ordering of materials.

This is a true copy of the plan as referred to in the application.  
 Date 14/11/2023 Signed Barry Lennox (agent)

**PROJECT DESCRIPTION:**

Alterations

**LOCATION:**  
 66 Ardoch Crescent  
 Stevenston  
 KA20 3PP

**CLIENT:**  
 Sandi Smith

**DWG TITLE:** Existing and proposed composite plans  
**SCALE:** 1:50  
**DRAWN BY:** BL

**DRAWING No.** 1628/P1  
**REV.** #



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