



**Existing Front Elevation**  
Scale 1/100@A3



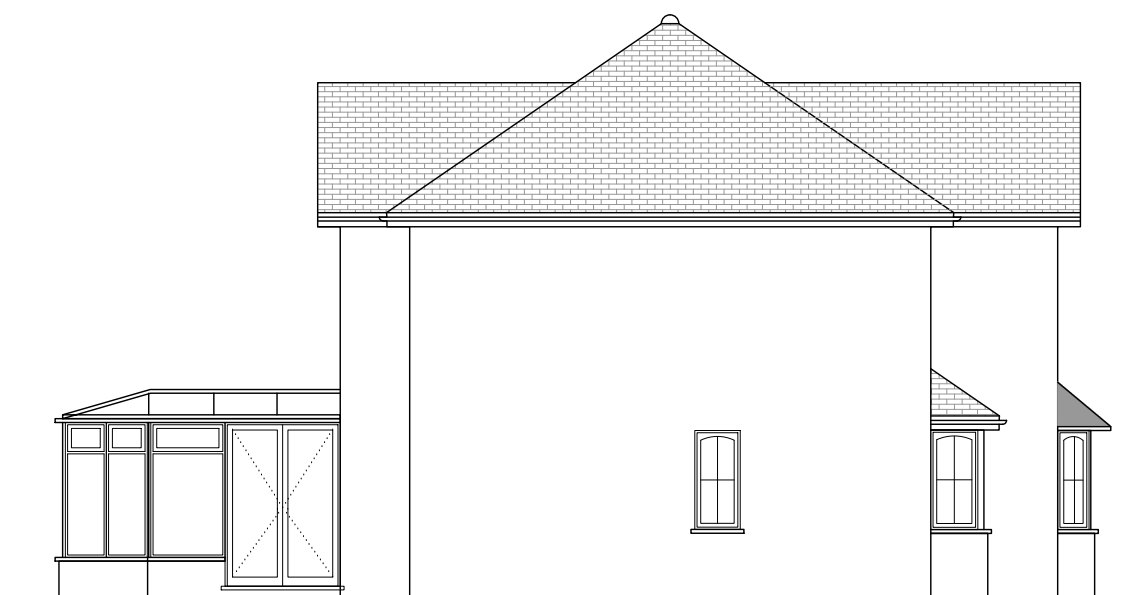
**Existing RHS Elevation**  
Scale 1/100@A3

2366



**Existing Rear Elevation**  
Scale 1/100@A3

3747  
Approx  
4646



**Existing LHS Elevation**  
Scale 1/100@A3

2366

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	PROPOSED STEEL BEAMS		

15.11.23	Loft conversion	D
06.09.23	Plans revised	C
10.05.21	First Floor revised	B
06.05.21	Option B omitted	A
27.04.21	Preliminary Drawings	Prelims

Date:	Description:	Rev.:
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Stella Kordista  
Architecture Workshop

**Stella Kordista**

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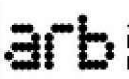
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Chartered  
Member



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Board

**Project:**

2 Watts Lea, Horsnell, Woking, GU21 4XQ  
Hip to gable with rear dormer &  
installation of 3 roof lights

**Client:**

Coen Basson

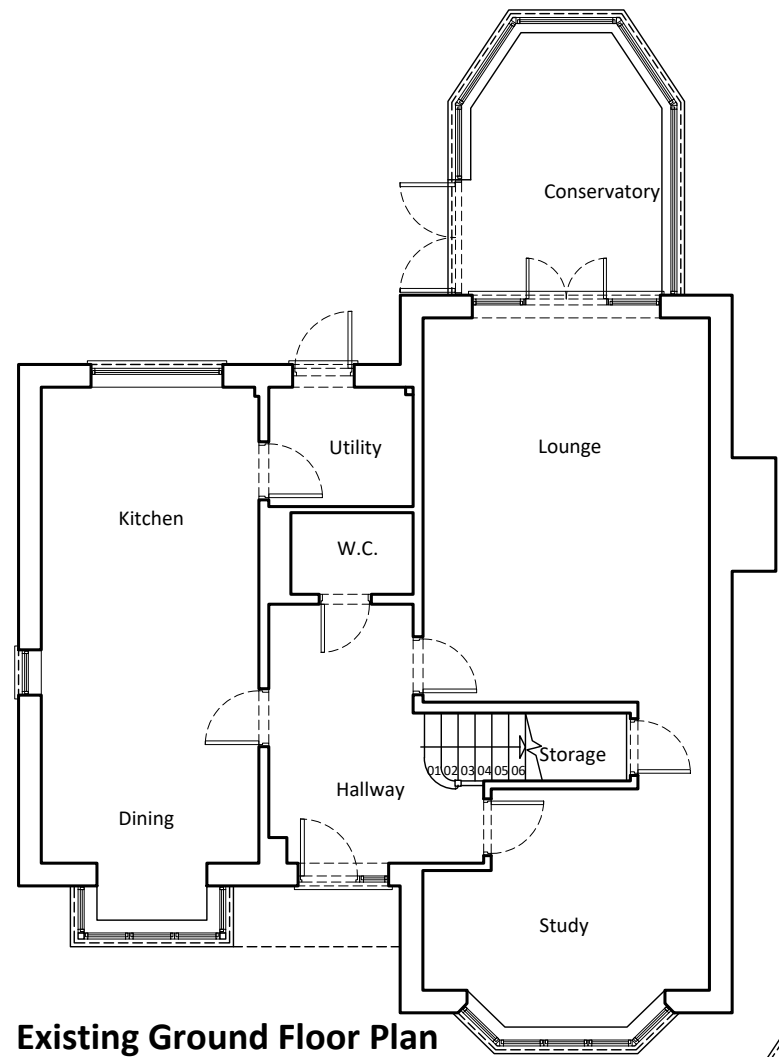
Drawing Title:	Drawing No:
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Existing Elevations

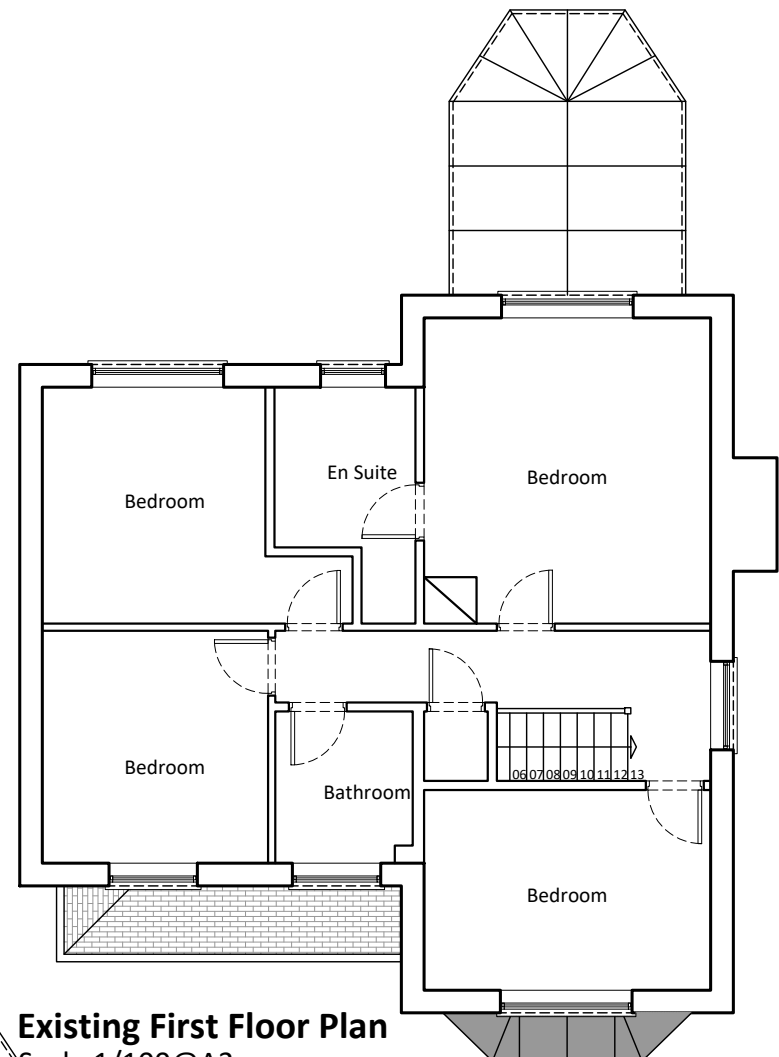
**E.01**

Drawn by:	Scale:
SK	1:100 @ A3

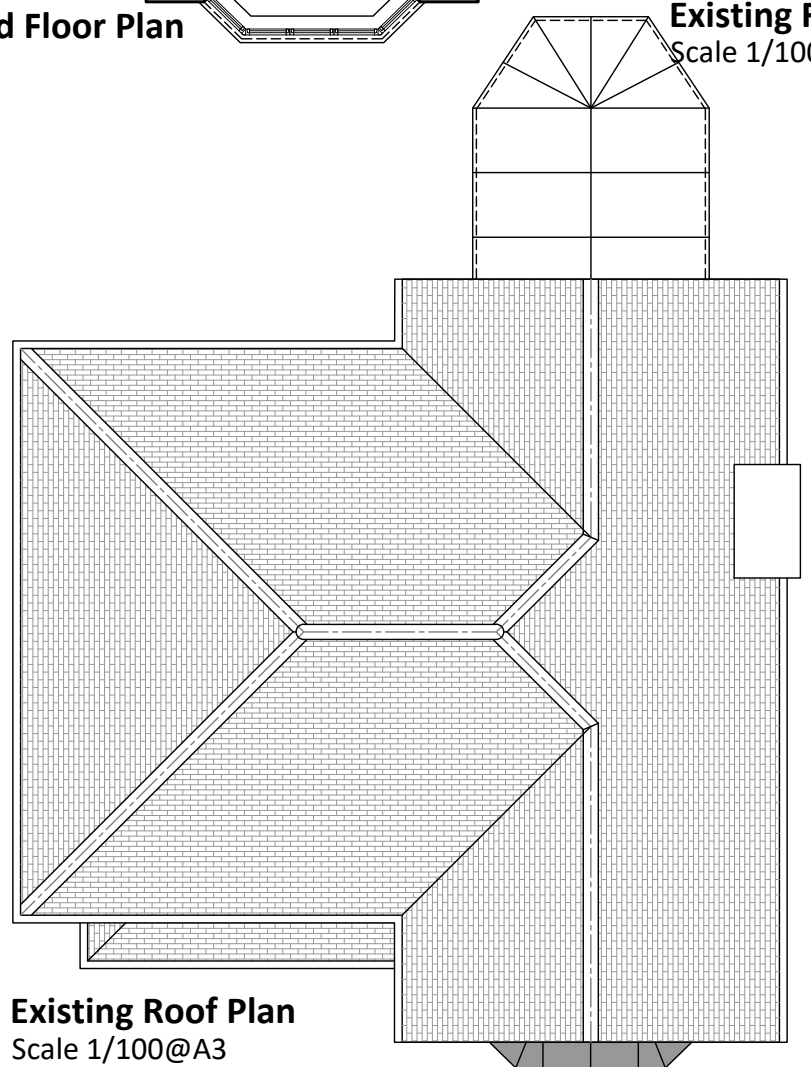




**Existing Ground Floor Plan**  
Scale 1/100@A3



**Existing First Floor Plan**  
Scale 1/100@A3



**Existing Roof Plan**  
Scale 1/100@A3

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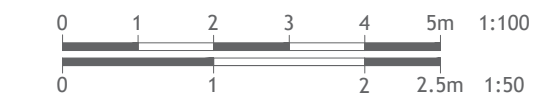
**Stella Kordista**  
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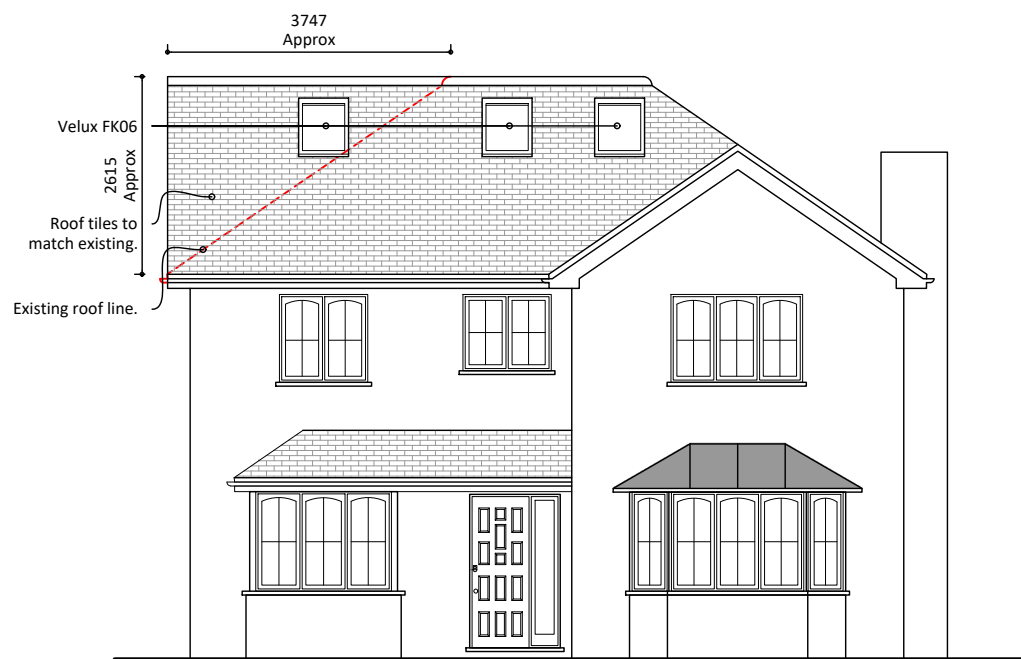
RIBA Chartered Member  
 Architects Registration Board

**Project:**  
2 Watts Lea, Horsnell, Woking, GU21 4XQ  
Hip to gable with rear dormer & installation of 3 roof lights

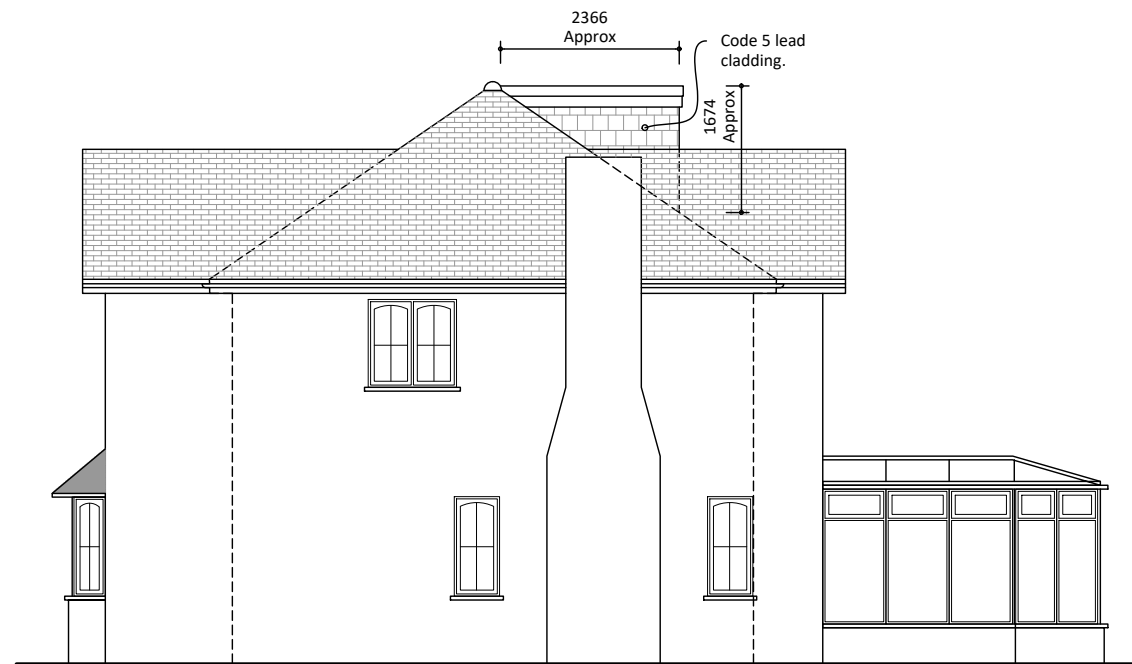
**Client:**  
Coen Basson

<b>Drawing Title:</b>		<b>Drawing No:</b>
Existing Floor Plans		<b>E.02</b>
<b>Drawn by:</b>	<b>Scale:</b>	
SK	1:100 @ A3	

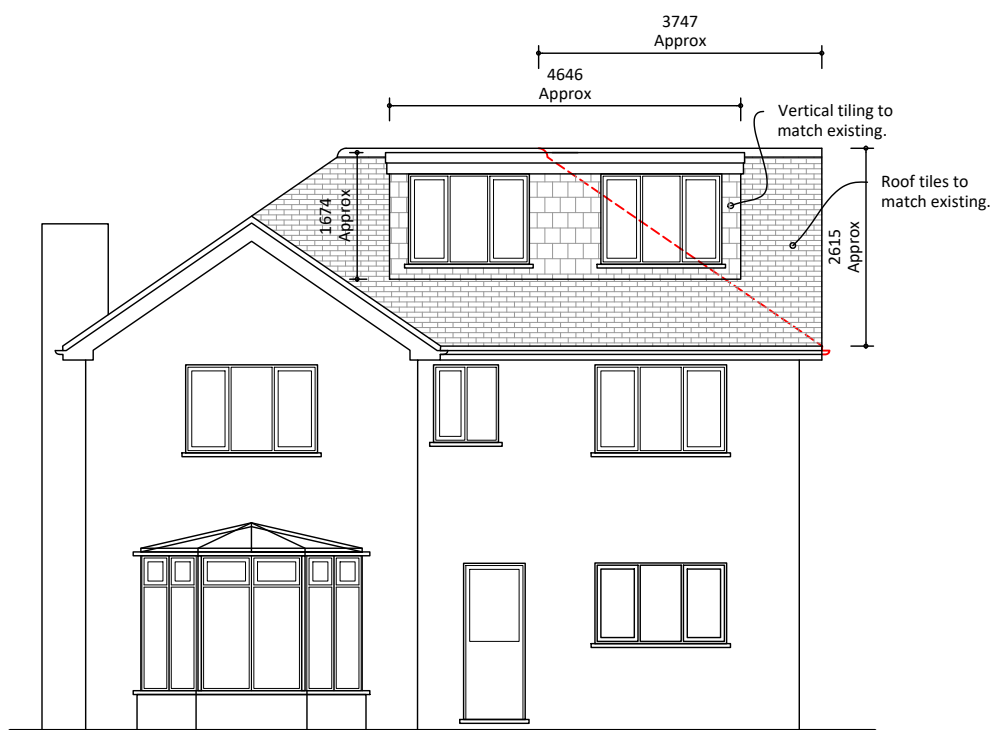




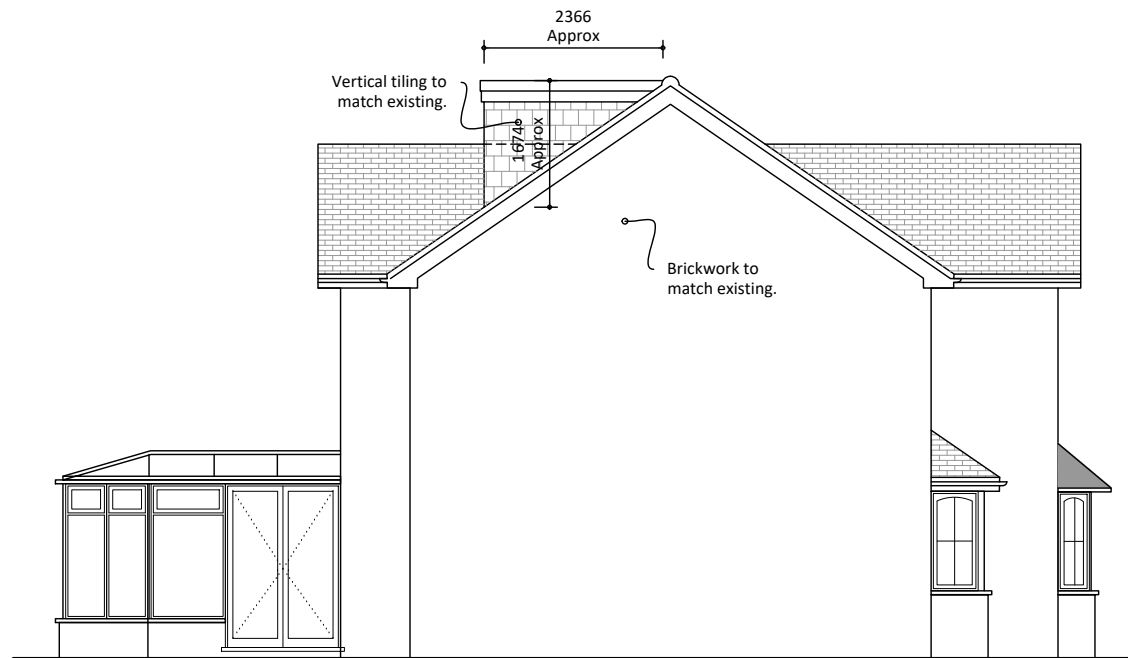
**Proposed Front Elevation**  
Scale 1/100@A3



**Proposed RHS Elevation**  
Scale 1/100@A3



**Proposed Rear Elevation**  
Scale 1/100@A3



**Proposed LHS Elevation**  
Scale 1/100@A3

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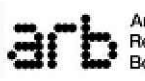
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**Drawing Title:**

Existing Elevations

**Drawing No:**

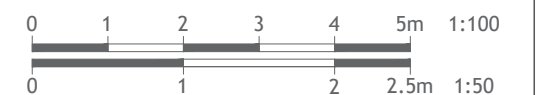
**A.01**

**Drawn by:**

SK

**Scale:**

1:100 @ A3

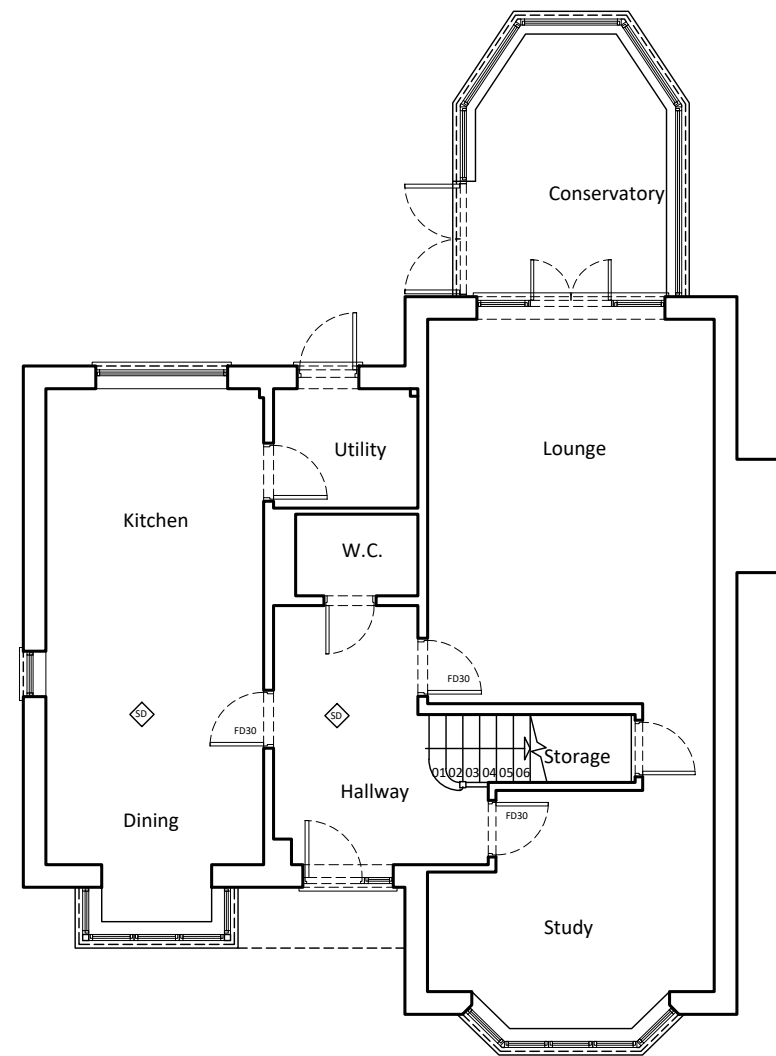


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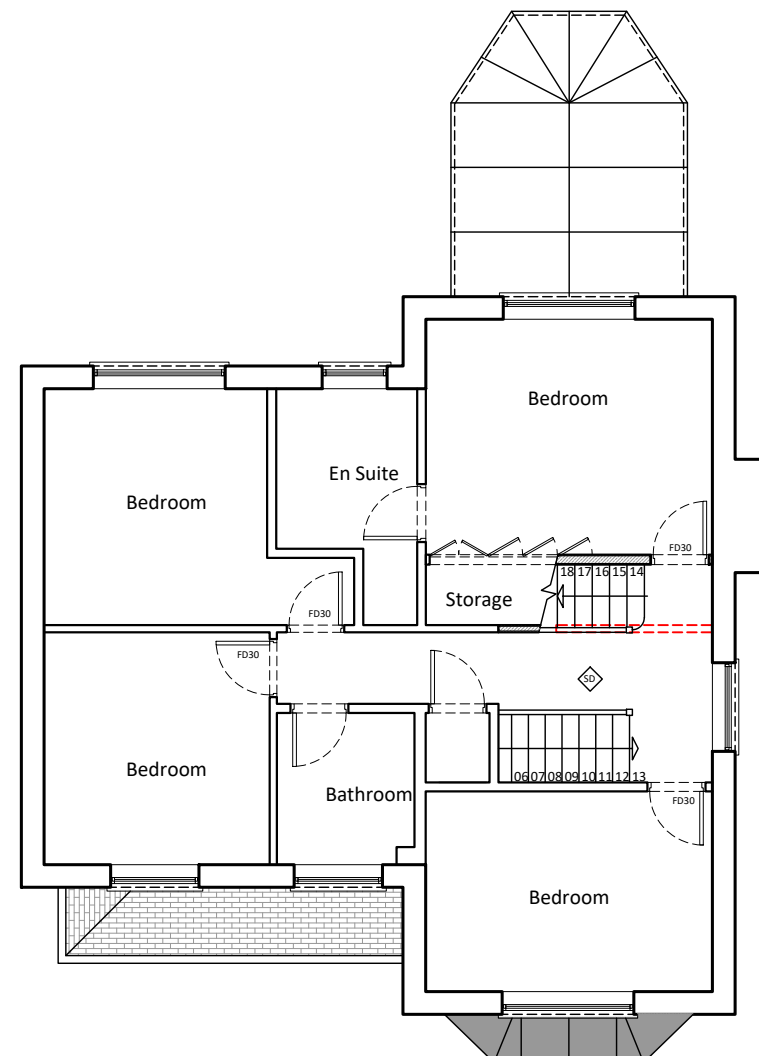
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**Proposed Ground Floor Plan**  
Scale 1/100@A3



**Proposed First Floor Plan**  
Scale 1/100@A3

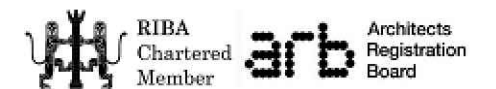
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**Project:**

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Coen Basson

**Drawing Title:** Proposed Floor Plans **Drawing No:**

**A.02**

<b>Drawn by:</b> SK	<b>Scale:</b> 1:100 @ A3
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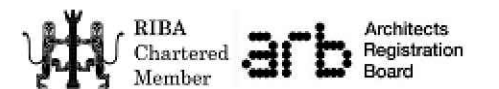
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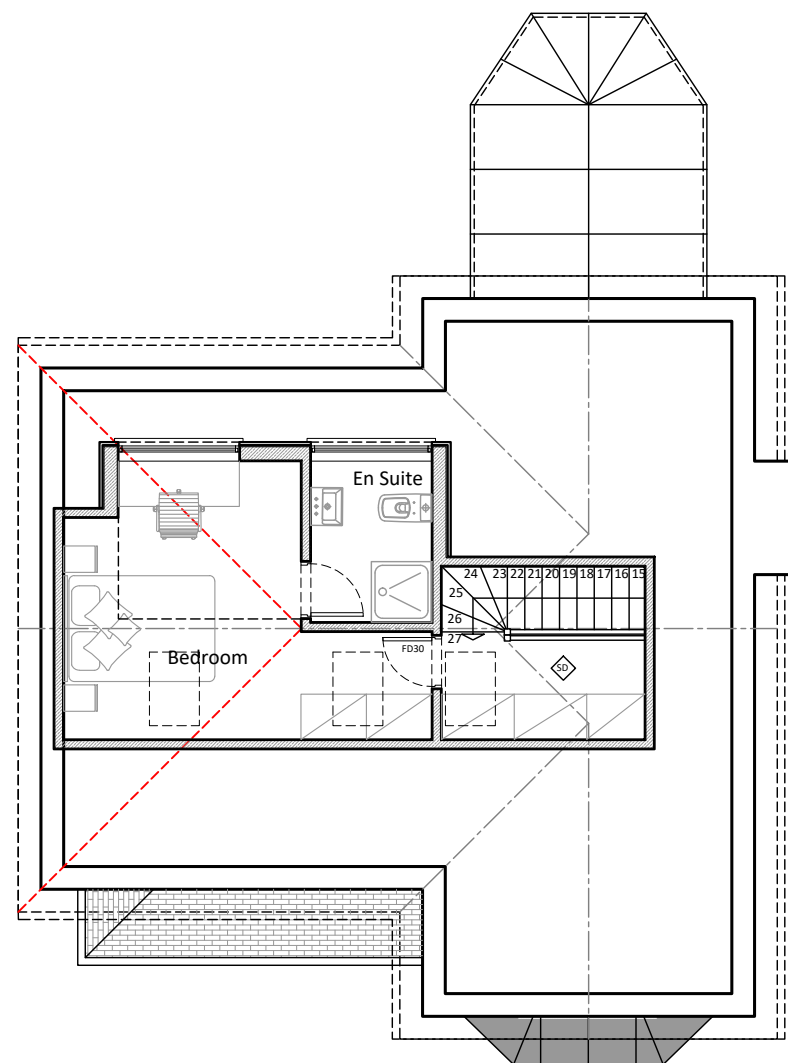
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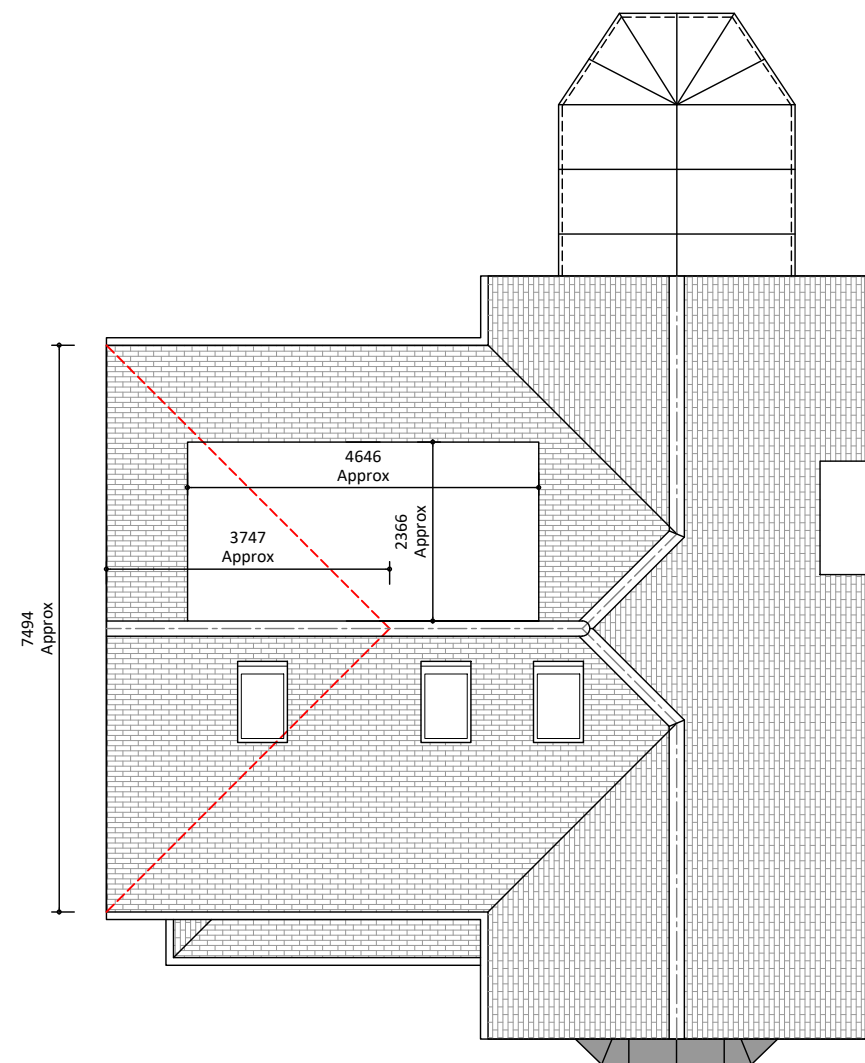
**Drawing Title:** Proposed Floor Plans **Drawing No:**

**A.03**

<b>Drawn by:</b> SK	<b>Scale:</b> 1:100 @ A3
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**Proposed Second Floor Plan**  
Scale 1/100@A3



**Proposed Roof Plan**  
Scale 1/100@A3

**VOLUME CALCULATIONS:**

HIP TO GABLE =  
 $(2.62\text{m} \times 3.75\text{m} \times 7.49\text{m}) / 6 = 12.26\text{m}^3$

REAR DORMERS =  
 $(4.65\text{m} \times 1.67\text{m} \times 2.37\text{m}) / 2 = 9.20\text{m}^3$

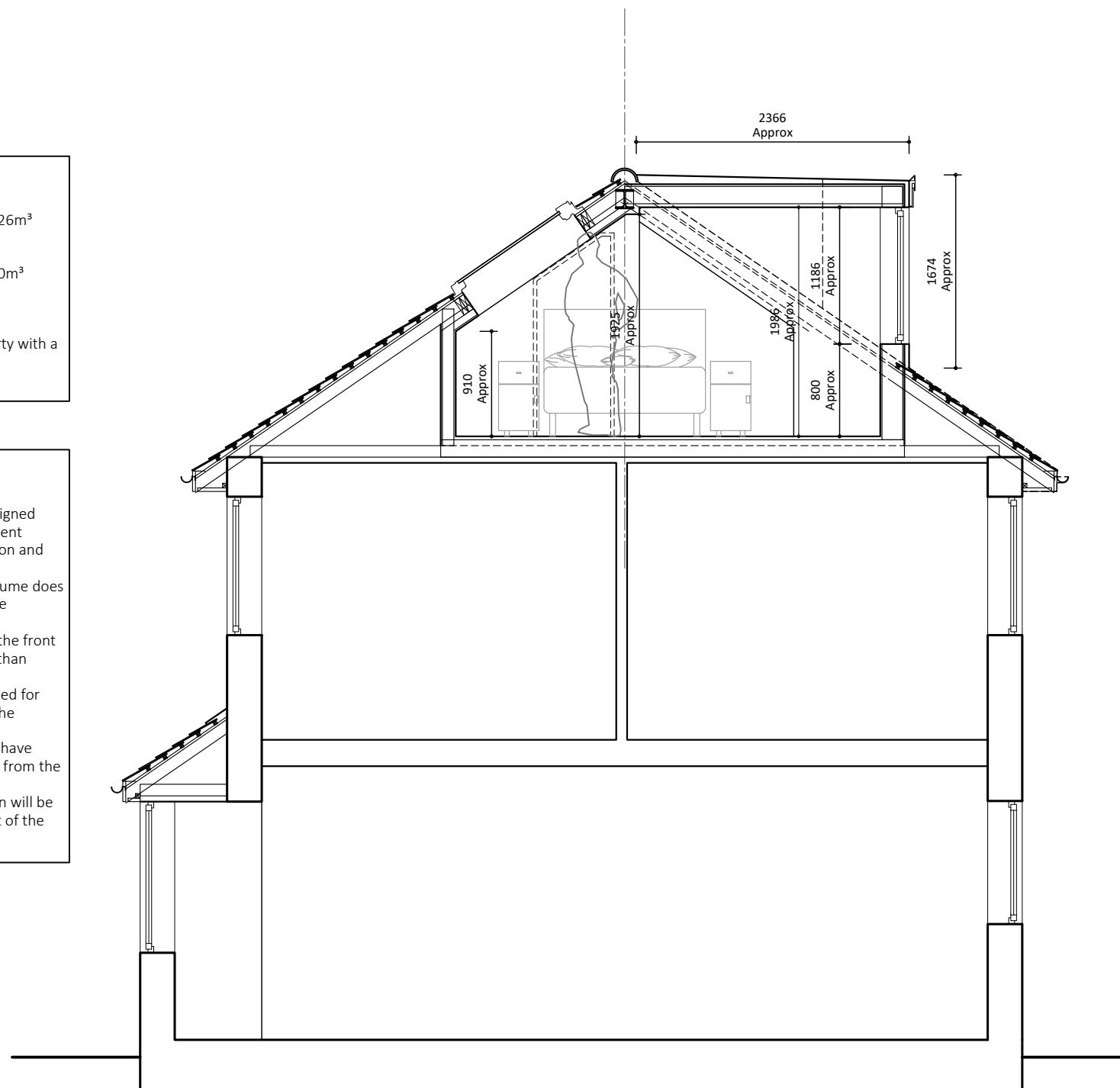
$12.26\text{m}^3 + 9.20\text{m}^3 = 21.47\text{m}^3$

Therefore P.D as Detached Property with a volume allowance of 50m<sup>3</sup>

**PLANNING STATEMENT:**

It is residential dwelling house. The proposed development is designed based on the permitted development requirements for the loft conversion and therefore it is lawful because:

- the proposed additional volume does not exceed the 50m<sup>3</sup> volume allowance, it is 21.47m<sup>3</sup>
- the proposed roof lights at the front roof do not protrude more than 150mm from the roof plane
- the materials that will be used for this conversion will match the existing.
- the proposed rear dormers have more than 200mm distance from the eaves of the original roof.
- no part of the roof extension will be higher than the highest part of the existing roof.



**Proposed Section**  
 Scale 1/50@A3

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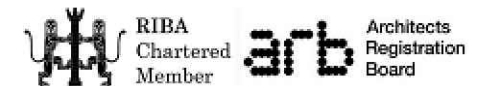
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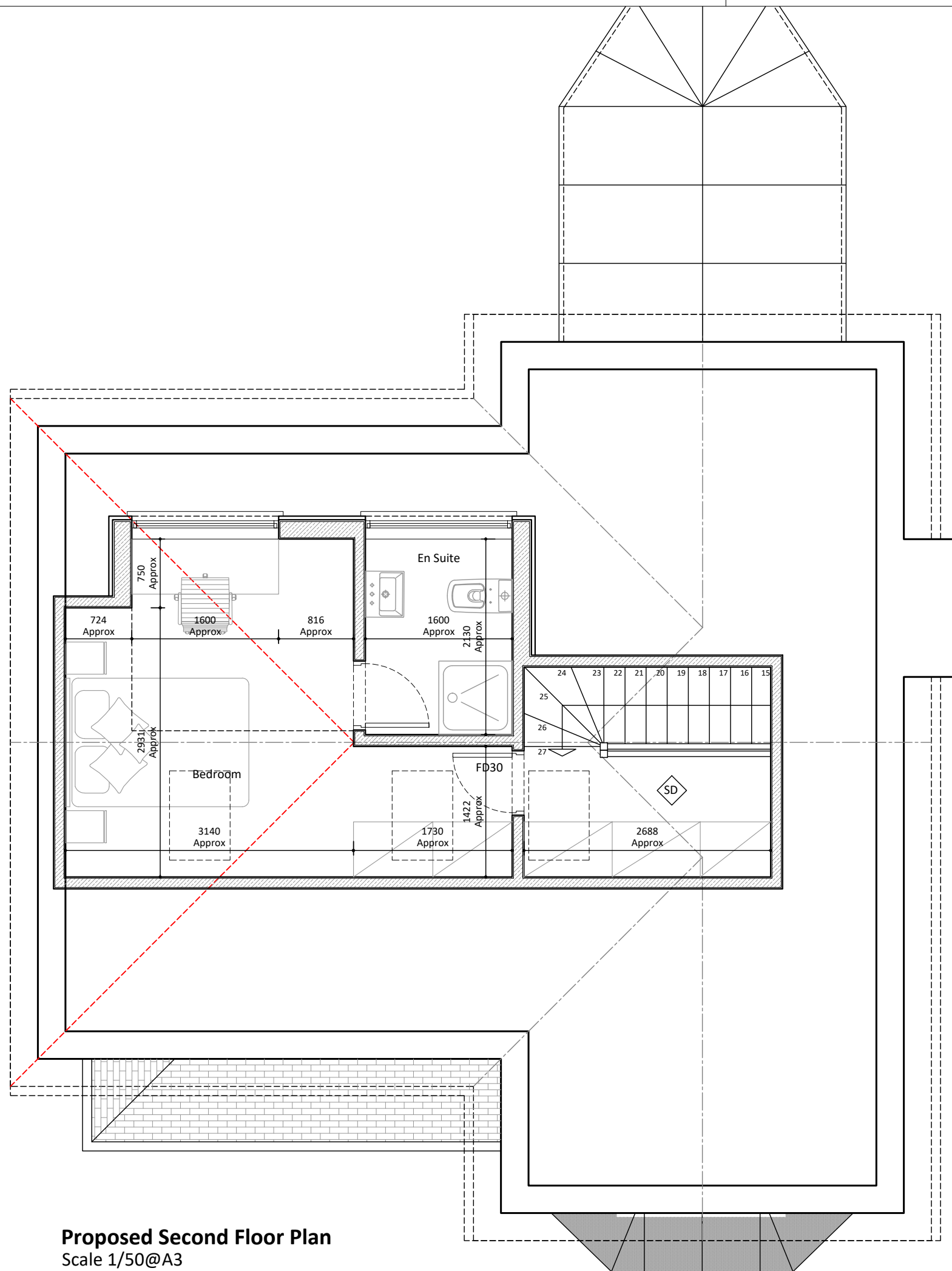
2 Watts Lea, Horsnell, Woking, GU21 4XQ  
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<b>Drawing Title:</b>		<b>Drawing No:</b>
Proposed Section		<b>A.04</b>
<b>Drawn by:</b>	<b>Scale:</b>	
SK	1:50 @ A3	





**Proposed Second Floor Plan**  
Scale 1/50@A3

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**Drawing Title: Drawing No:**

Proposed Second Floor Plan

**A.05**

<b>Drawn by:</b>	<b>Scale:</b>
SK	1:50 @ A3

