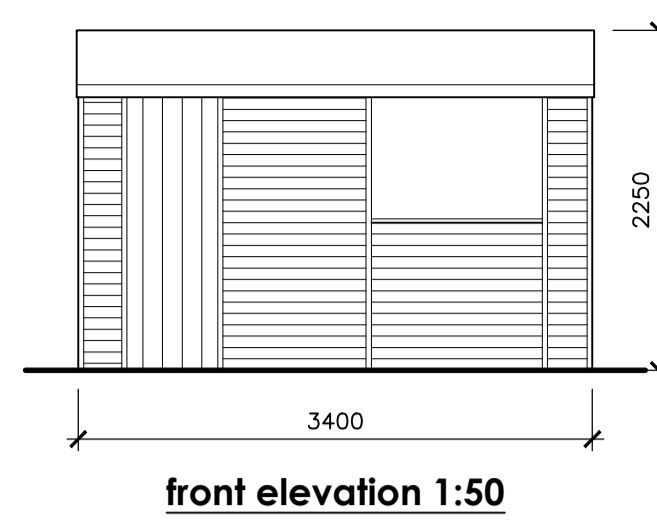


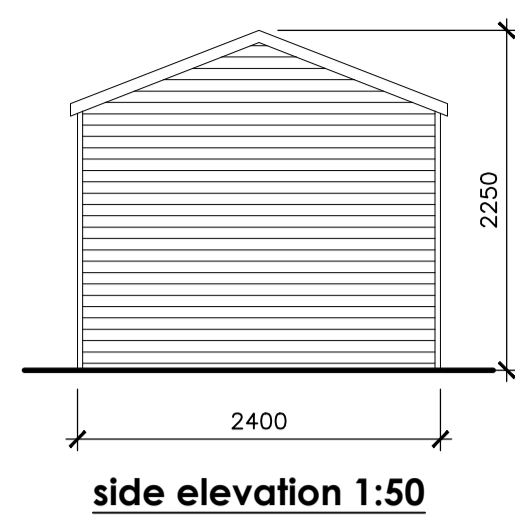
IMPORTANT : THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED AND STAMPED SITE ISSUE.

NOTES

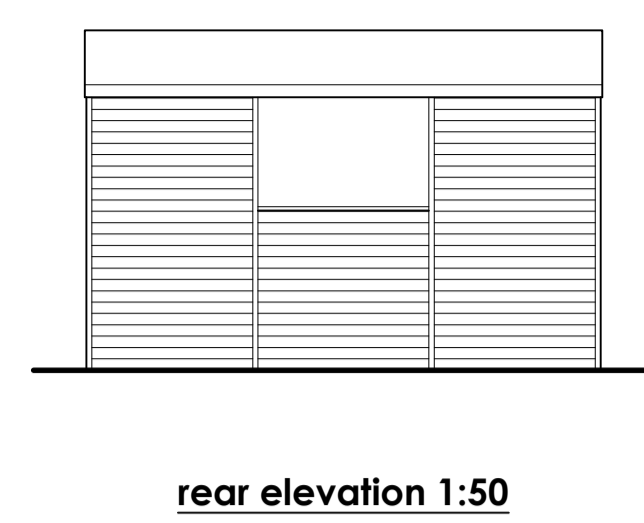
1. The Contractor is to check and verify all building and site dimensions, levels, services and sewer invert levels at connection points before work commences.
2. Use only figured dimensions and any discrepancies to be reported immediately to the Consultants.
3. This drawing must be read with and checked against any structural or other specialist drawings.
4. The Contractor is to comply in all respects with the current Building Regulations and relevant British Standards / Codes of Practice whether specifically stated on this drawing or not.
5. Use of this drawing does not absolve the client from his responsibilities under Health and Safety: Construction (Design and Management) Regulations 2007.



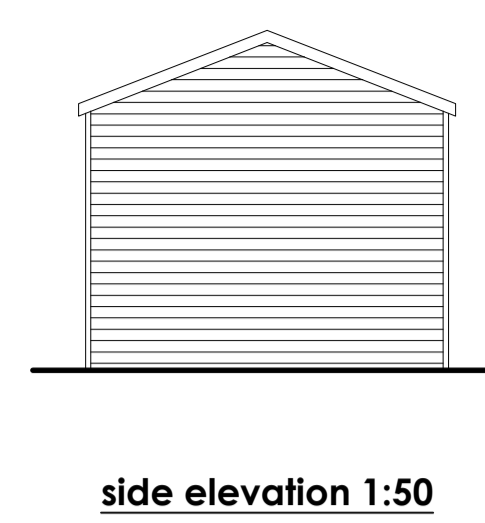
front elevation 1:50



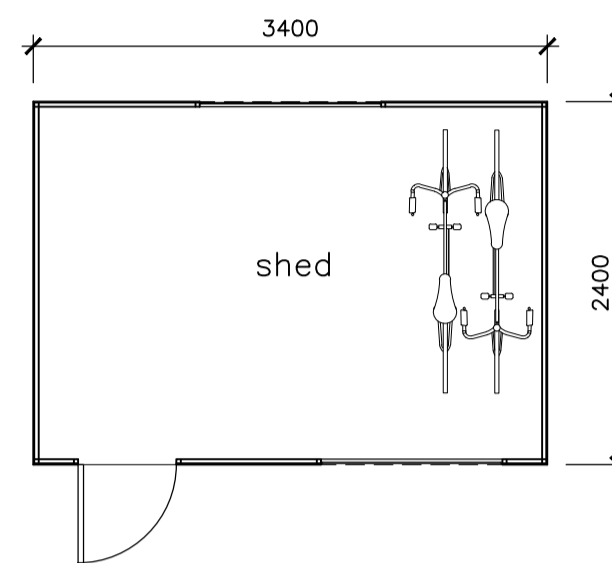
side elevation 1:50



rear elevation 1:50

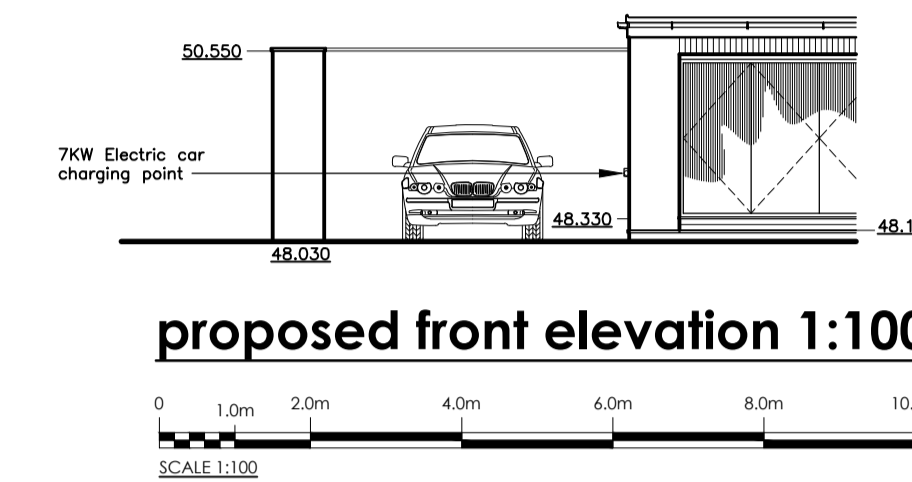


side elevation 1:50

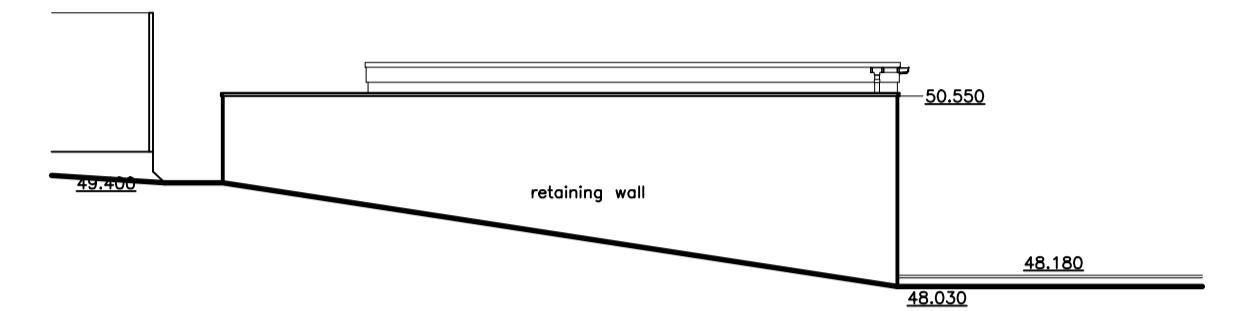


plan 1:50

Timber Shed
 Walls – pressure treated timber horizontal cladding on treated 28x28mm timber frame.
 Roof – pressure treated timber rafters & nogginns with corrugated bitumen sheet roof finish.
 Floor – 75mm min concrete slab.
 Doors – framed ledged & braced doors in treated timber clad with pressure treated timber vertical slats.

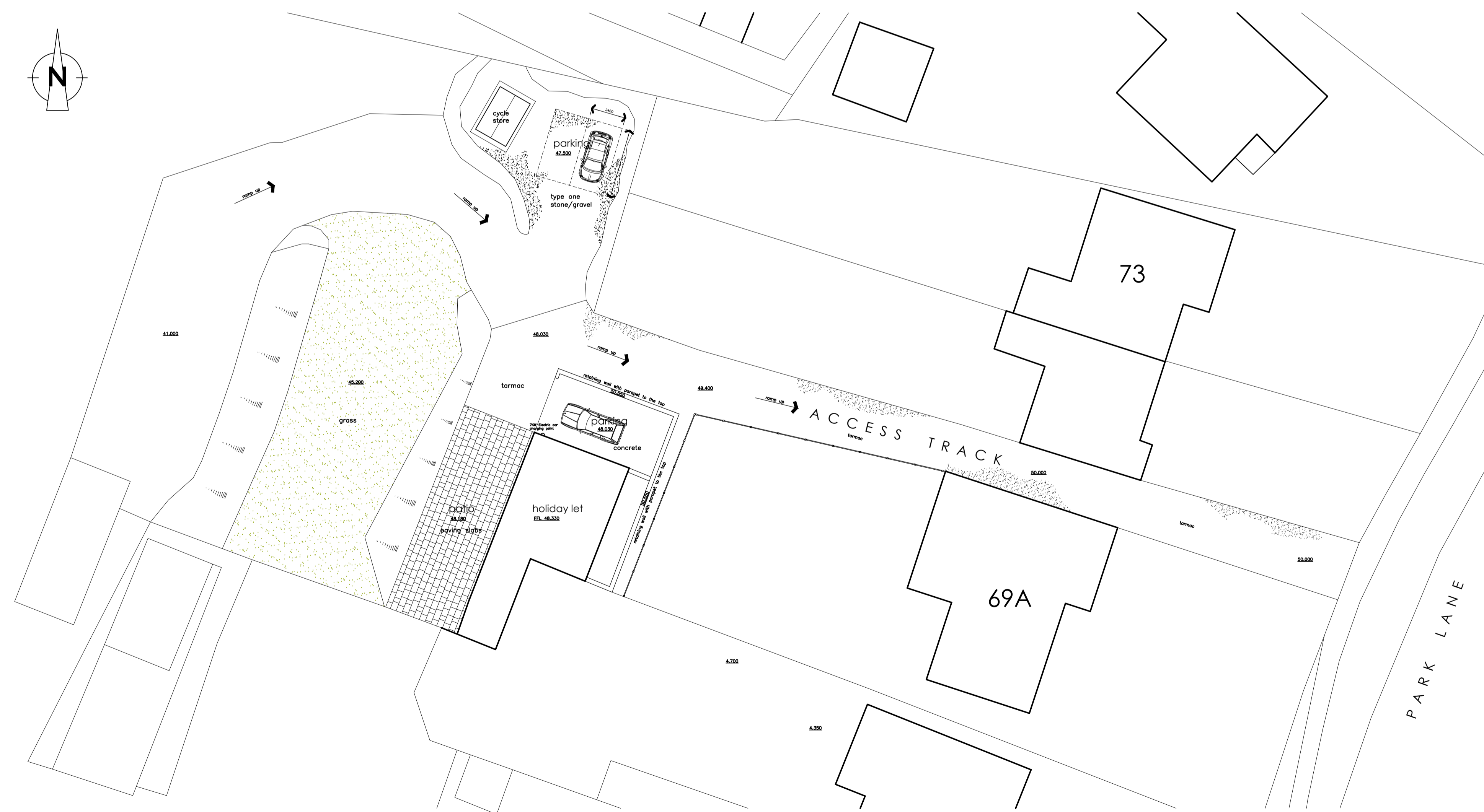
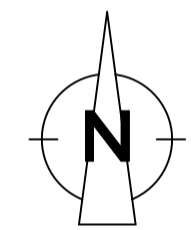


proposed front elevation 1:100



proposed side elevation 1:100

cycle store details



existing site plan 1:200



Key

- Type 1 stone/gravel
- Close mown grass seed
Ref Emorsgate EL1
Flowering lawn
- Tarmac
- P.c. slabs, Marshalls Saxone
600 x 600mm or similar
Colour Natural to match building
- timber panel and concrete post fence



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CLIENT

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PROJECT

Proposed Holiday Let to the Rear of;
 69A Park Lane
 Frampton Cotterell
 Bristol, BS36 2HA
 Existing Plans & Elevations

SCALE 1:50 1:100 1:200 @ A1	DATE NOVEMBER 2023
Drawing No : 22/020	SHEET 02
REVISION	

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