

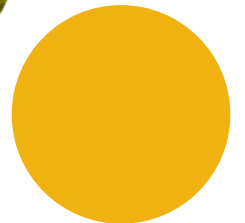
blueprint.

ARCHITECT
+ BUILDER

Design & Access Statement
Manorside House
Washingpool Hill Road
Tockington
22 / 11 / 2023



Architects
Registration
Board



Introduction :

This Design & Access Statement has been prepared by Blueprint | Architect + Builder on behalf of Mr & Mrs Pascoe, in support of a Householder planning application for a single story extension & alterations to Manorside House, Washingpool Hill Road, Tockington, Bristol, BS32 4NX.

The Site :

The existing dwelling is a four bedroom detached barn conversion. It is a modest 1.5 story L-shaped stone-faced property, with dormer windows & three gable ends.

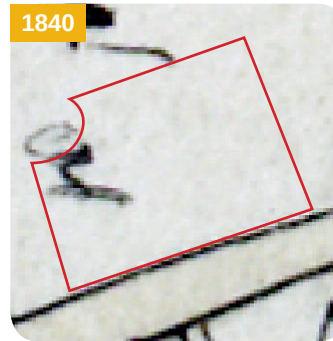
The site is on the outskirts of Tockington, adjacent to (but not within) the Tockington Conservation area, accessed off of Washingpool Hill Road onto a generous tarmac driveway, with a lawn area & informal garden to the rear.

Site Planning History :

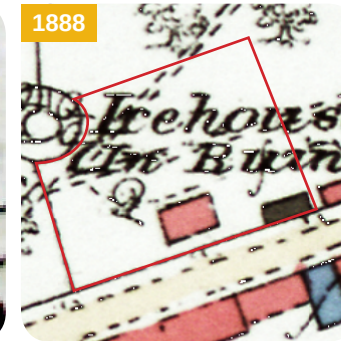
P84/1451 | Conversion of existing barn to residential use and erection of extension to form garage, entrance hall and cloakroom with bedroom over- APPROVED

P85/1490 | Alterations and extensions to the existing barn to form a dwellinghouse. Alterations to existing vehicular and pedestrian access - APPROVED

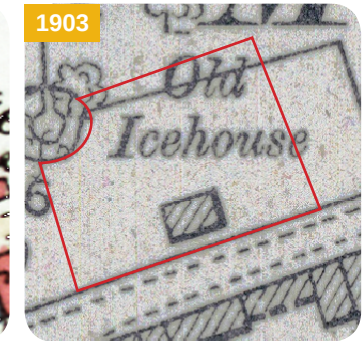
PT15/0226/F | Erection of detached garage - APPROVED Permitted in 2015 but not built. No objections were received, although comments from the case officer suggested a roof pitch more in line with the existing dwelling, matching the roof tiles & for the doors to be approved before hand.



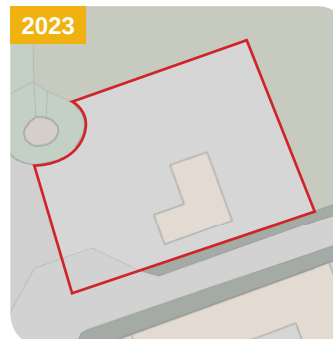
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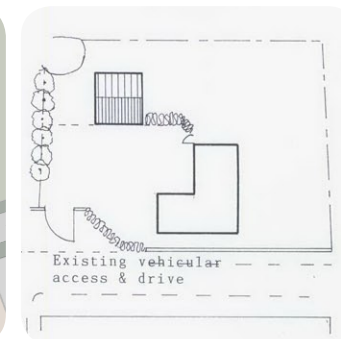
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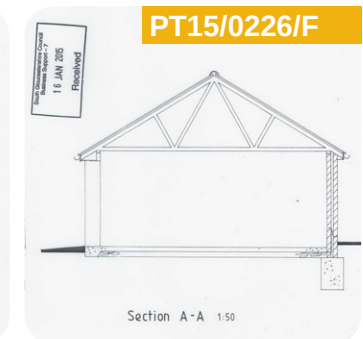
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2023



Existing vehicular access & drive



PT15/0226/F

Section A-A 1:50

Relevant Planning Policy :

CS5 Green Belt boundary

PSP7 Development in the Greenbelt

Proposals to extend a dwelling in the Green Belt will be permitted unless they would:

- i) represent a disproportionate addition over & above the size of the original dwelling;*
- ii) contribute to a deterioration in rural character as a result of the cumulative effect of dwelling extensions.*

The current 94m² footprint is the "Original Dwelling" as granted in 1985 under reference : P85/1490

In which case an extension of up to 31m² (30%) should be considered acceptable within the green belt. The proposal outlined in this application is for a 24m² ground floor extension.

Other Active Policies, not relevant to this proposal :

PSP28 Rural Economy

PSP29 Agricultural Development

PSP30 Horse Related Development

PSP40 Residential Development in the countryside

PSP41 Rural Workers Dwellings

PSP24 Mineral Safeguarding Areas

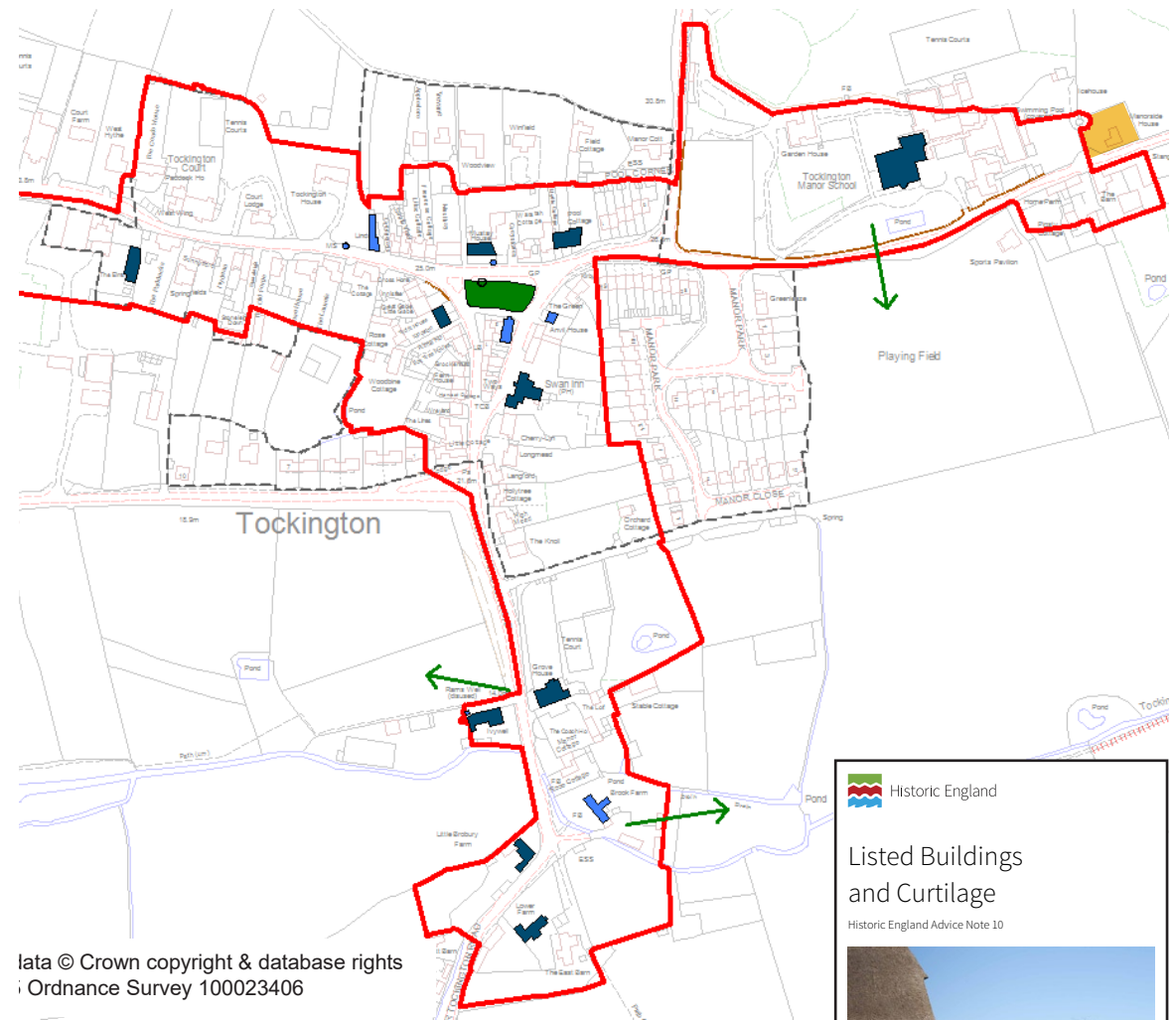
Other Constraints :

Radon Zone

Listed Building Curtilage

The Planning Authority's web site lists the property as being within the curtilage of a listed building, however, we do not believe this to be the case if you apply the rules of the Historic England Guide : Listed Buildings & Curtilage.

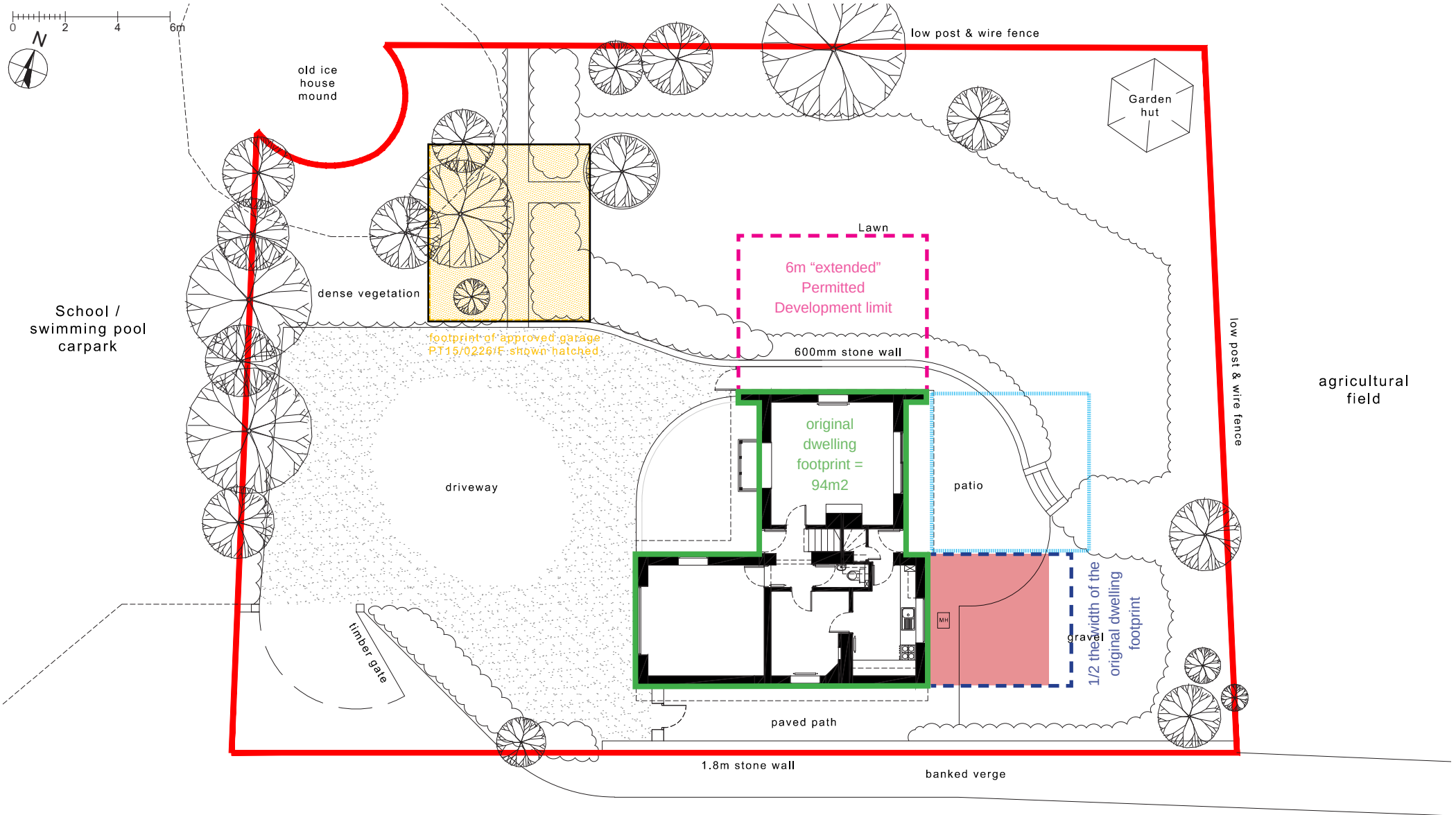
We also point out that the site sits outside of the conservation area, although our proposals are in-keeping to ensure they are sympathetic with the local context & historic setting regardless.



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Ordnance Survey 100023406

The physical separation between Manorside House (shown in yellow) from the listed building, Tockington Manor School - with the swimming pool, additional outbuildings & a large carpark sitting in between - when combined with the distinction of the domestic nature of the manorhouse against the educational function of the school show that the site should be considered to be outside of the Manor school curtilage.



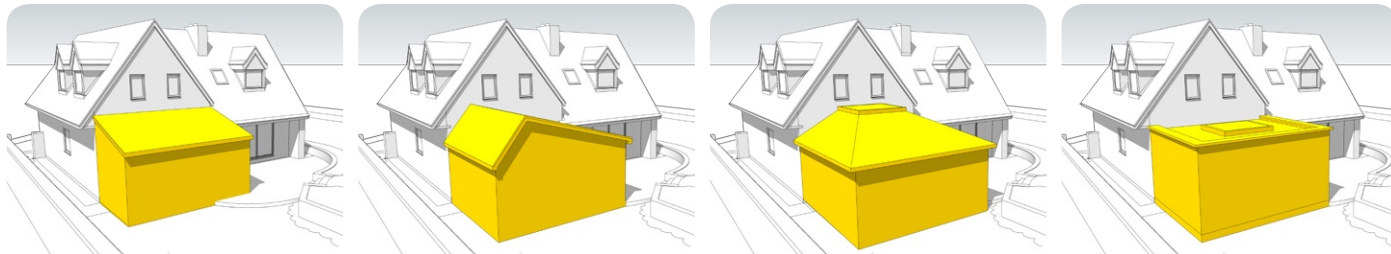


The red shaded area denotes the size of the proposed extension, which for the avoidance of doubt has a smaller footprint than :

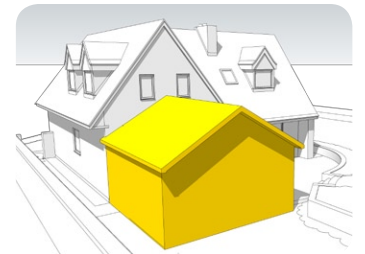
- 1/2 the Original Dwelling width (Navy)
 - Permitted Development “extended” limit (Pink)
- The 2015 approved garage (Orange)
 - 30% of the Original Dwelling Footprint (Light Blue)

Design Development

The design development process looked at a second storey extension as well as different footprints for the kitchen / dining room. Crucially, there were many ways to maximise on the potential of the dwelling within the original footprint - with the conversion of the garage & dropping of the bay window sill, creating a new window at first floor level.



Once a layout was confirmed, we looked at alternative roof forms to minimise the impact on the open space & the historical context - choosing a lower pitch, but continuing the symmetry of the original gable.

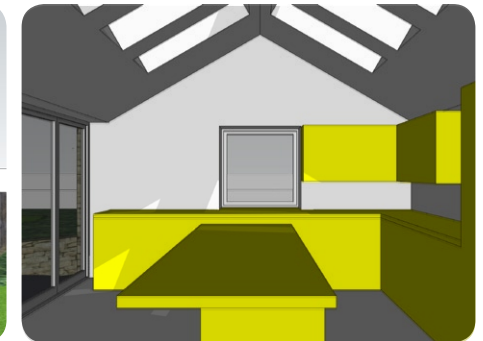
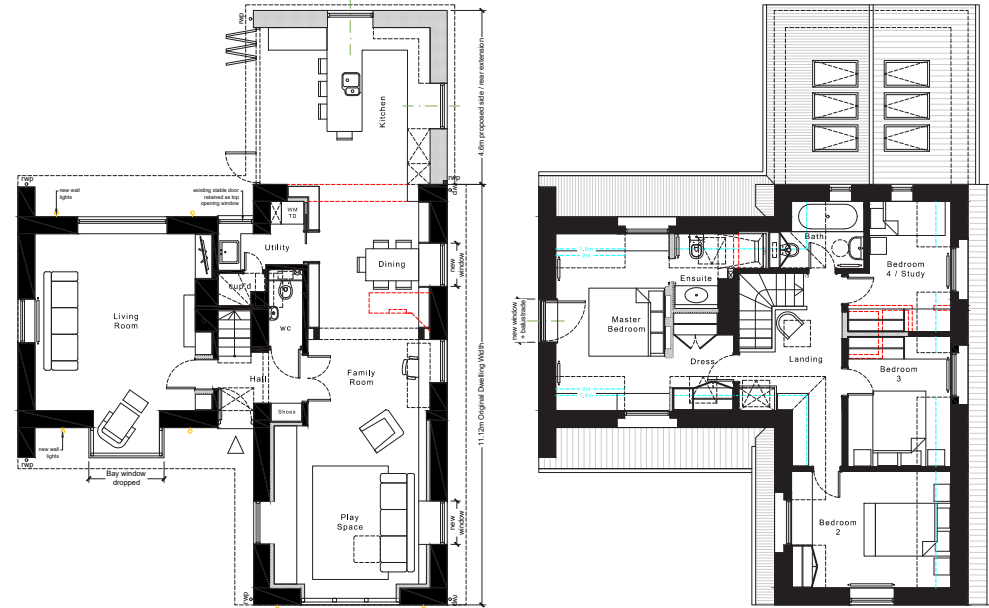


Design Proposals

The proposal is for a sympathetic ground floor extension to the Eastern Gable to create a new kitchen / breakfast room, which is to be clad in local stone with a clay roof & roof lights to match the existing dwelling.

Other external alterations include :

- Dropping of the bay window sill at the front of the property.
- Two new window openings to match the existing are proposed on the roadside elevation - these will not be visible from the road due to the height of the stone wall in front, but will be in-keeping with the existing.
- The garage doors are to be replaced with new glazing panels following the conversion of the workshop into the open plan family/play room.
- At First floor level a new Juliette balcony is proposed in the master bedroom, with one additional roof light to the driveway roof slope.





Summary

The proposals are for a modest extension & minor external alterations, which should be supported for full house-holder planning approval because;

- The extension mimics the original dwelling in terms of its use of materials, symmetry & eaves levels.
- The site is **not** within the Tockington Conservation Area
- It is separated by some distance from the Listed Tockington Manor School
- The footprint of the proposed is less than the 2015 approved garage
- It is smaller than 1/2 the width of the original dwelling
- Is only 4.6m, not the 6m under the permitted development limit
- Is less than 30% increase to the original dwelling footprint
- It is not overlooked
- It will ensure the longevity of the property as a family dwelling