

Planning Statement

Site Address: Hyde House
West Hyde,
Rickmansworth
Hertfordshire
WD3 9XH

Our Ref: 22-066

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1. INTRODUCTION

- 1.1. MSC Planning Associates Ltd provides this planning statement with a heritage statement of significance and impact in support of a planning application for erecting a single-storey rear extension at Hyde House.
- 1.2. A previous Certificate of Lawful Development (CLUPD) was approved for a similar scheme under ref: 23/1319/CLPD. The main difference between this application and the CLUPD is the proposal is a modern glass box featuring a contemporary design. It will incorporate a series of seamless, frameless panels with black steel support framing. The roof will be in a metallic finish.
- 1.3. It expands the previously approved footprint by approx. 1m rear with a slight increase in overall height and a canopy to provide a veranda around it. It also offers step-free access internally.
- 1.4. This statement aims to set out the details of the proposal, the relevant planning issues, and the reasons why the application, in our view, should be granted planning permission. The statement must be read with all supplementary information, plans, technical reports, and other documentation as submitted.

2. HERITAGE

- 2.1. The National Planning Policy Framework (“NPPF”) (paragraph 188) highlights the early engagement and pre-application discussion and states

Where the proposal is likely to affect the significance of heritage assets, [including non-designated heritage assets], applicants are encouraged to consider that significance at an early stage to take their expert advice and then to engage in pre-application discussion with the local planning authority and their heritage advisers to ensure that any issues can be identified and appropriately addressed.

- 2.2. Paragraph 194 of the NPPF states concerning significance assessments that *‘the level of detail should be proportionate to the importance of the asset and no more than is sufficient to understand the potential impact of the proposal on their significance.’*
- 2.3. The assessment consists of an assessment of the significance of the whole building, external only, in the form seen on site.

Assessment Methodology

- 2.4. The methodology is based on Historic England's Conservation Principles 2008 and Local Heritage Listing: Identifying and Conserving Local Heritage (2ed, 2021).
- 2.5. Significance derives from several factors including, but not limited to:
- Understanding the historical context – a place's evolution through research and physical evidence.
 - Relate identified heritage values to the fabric of the place – identifying how particular parts of a place and different periods in its evolution
 - Contribute to or detract from heritage values.
- 2.6. Assigning grades of significance can sometimes assist assessments of significance. It must be observed, however, that heritage assets develop over time, and not every feature is necessarily original or significant. This may mean that later components do not have the same significance level, but a lower significance level does not necessarily imply a feature or element could be altered or removed. Similarly, ‘setting’ can be challenging to define because the setting may be far-reaching, and many factors may contribute to its importance in the setting.

EXCEPTIONAL An element, feature, or grade of asset of more than national interest (e.g., a rare wall painting, grade I or II* listed building or its setting) or indicates its original features, plan form, layout, or evidence of historical development. Compares directly with its counterparts in other listed buildings / scheduled monuments/ registered parks or gardens of the same age/type

HIGH	An element, feature, or grade of asset of national interest (e.g., a grade II listed building or its setting, conservation area or its setting and townscape values) or is indicative of its original features, plan form, layout or gives evidence of historical development. Compares directly with its counterparts in other listed buildings/conservation areas / registered parks or gardens of the same age/type or other conservation areas.
MEDIUM	An element, feature, or area of architectural or historical interest not of sufficient merit to warrant being added to the national list of buildings of special architectural and historic interest., or a landmark feature or element of a designated heritage asset which may not be of high or exceptional significance but contributes to the significance of the special architectural interest of the building/conservation area and its setting.
LOW	A feature or element that makes a low or minimal contribution to the special architectural interest of a designated heritage asset or its settings
NEUTRAL	A feature or element Insufficient to cause harm to or detract from any significance
DAMAGE OR INTRUSION	Features or alterations that have removed earlier features of significance, or where original features have been removed in entirety or where a modern intervention detracts from the designated heritage asset or its setting (e.g., a subdivision of an original room plan or a poor-quality modern development in a conservation area).

3. BRIEF SITE & SURROUNDINGS

- 3.1. The site is situated to the south-eastern side of Maple Cross, in an area known as West Hyde on the eastern side of Denham Way in the Colne Valley. The site comprises an extensive and heavily screened site on the easternmost extremity of Maple Cross in an urban location.
- 3.2. The building is an extended two-storey dwelling originating from the early 19th Century – the central core survives as the Vicarage for St Thomas Church located to the South. The land and area were owned in the C12th by St Albans Abbey, as was much of West Hertfordshire, and divided into numerous 'hydes'. How West Hyde or Hyde House received its name is unknown, but it's likely to be associated with the land.
- 3.3. The building was extended not long after construction to create larger living quarters and a new kitchen. The latter extension was a small utility before 1947 on the north elevation, creating a T-plan and setting up a vertical and horizontal hierarchy.
- 3.4. The main building is square, constructed entirely in brick, and features decorative gable ends, fascia boards and chimney breasts. The extension elements are located on the north elevation and are designed in a similar architectural fashion with dual-pitched, high-angled roofing. Windows throughout are highly decorative and most original to the original time of the building, particularly in the main dwelling. This arrangement sets both a vertical and horizontal hierarchy within the built form.
- 3.5. Historically, it was used as a vicarage associated with the church of St Thomas of Canterbury, located approximately 0.5 miles south of the site. The First Edition 1870 Ordnance Survey Map (Figure 1) shows the property, including its extensive garden area, almost as it exists today. Access is taken from the site's south side and up a narrow pathway toward the middle of the site. Dense and decorative trees line the southern section of the site. Beyond the garden area is grassland that extends to a dog-leg to the east along the field boundary.

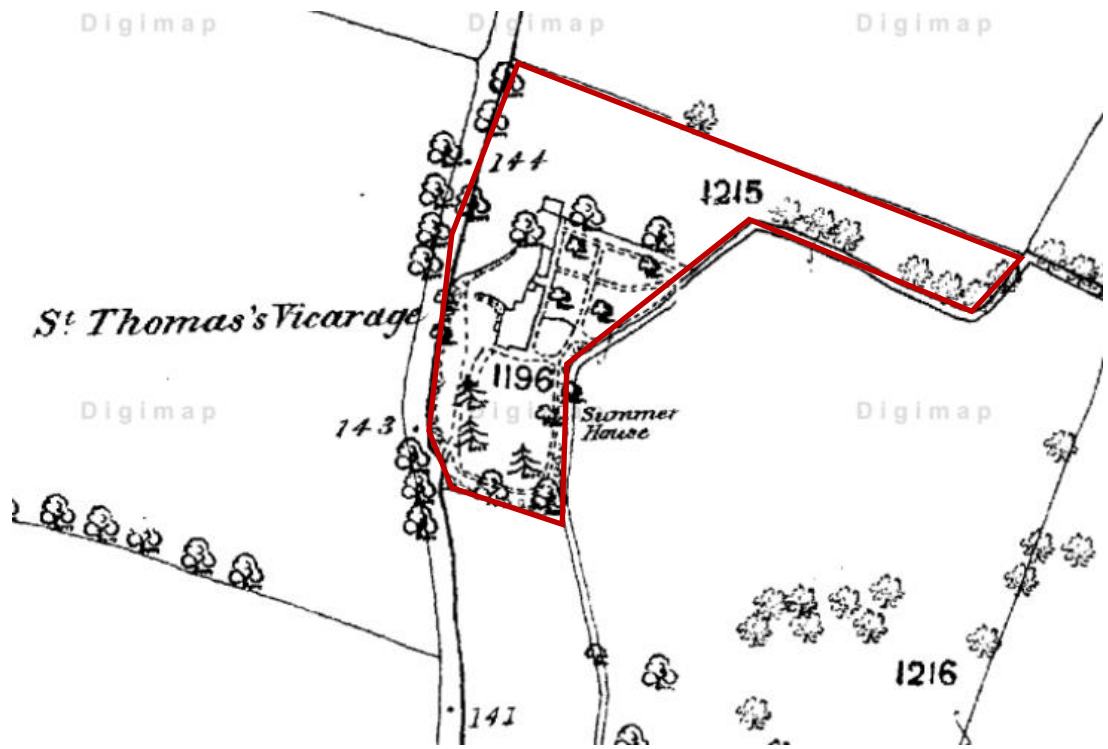


Figure 1 - 1870s map (red edge denotes current land ownership & application site)

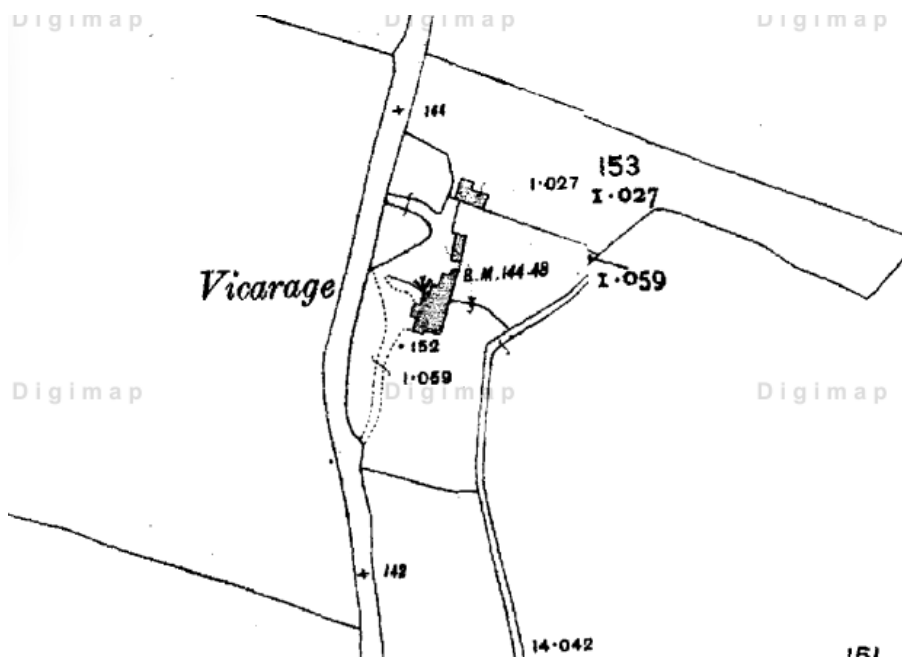


Figure 2 - site in 1940 noting several outbuildings & extensions.

3.6. Despite the lack of detail on the First Edition 1940s map, it denotes that the plot appears to have been separated into three: a southern section, a middle and a north. The north section appears to include a separate dwelling. The middle seems to show the garage and other extensions. The south denotes the main dwelling. There is evidence of a second access being open, which appears to be the main access point to all three elements. Such an access still exists today.

3.7. As denoted from the 1970s First Edition OS Map (figure 3), considerable change has occurred in the broader landscape. The Uxbridge Road has been widened, and residential development occurred to the west, presumed in the late 1930s. The northmost building seems to have been removed from the site between 1940 and 1970, for which no mapping data exists. However, the curtilage appears to include all the land as currently marked, albeit some parts are not used extensively, particularly toward the northeast dog leg. Furthermore, the OS Mapping throughout denotes the outbuildings on the site.

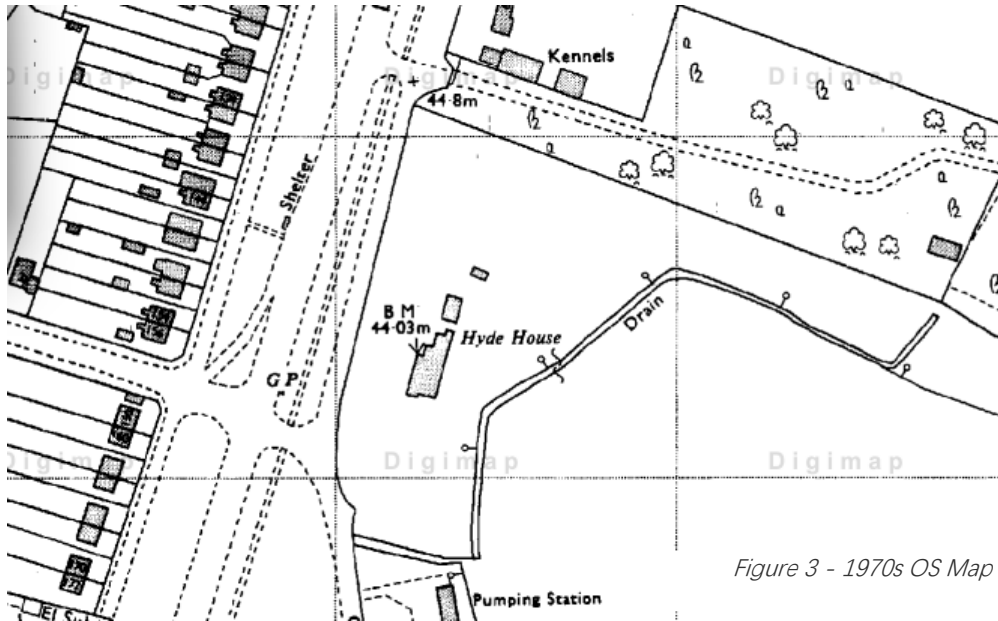


Figure 3 - 1970s OS Map



Figure 4 - Noting Designated Heritage Assets in vicinity of site - Historic England

- 3.8. The nearest designated heritage asset (Figure 4) is Lynsters Farmhouse and Cottage (Grade II) (owned by Geroge Lynster in C15th) located 350m southwest, a C15th Farmhouse with C18th improvements – this cannot be seen from the site albeit across an extensive field. The farm and the land belonged to St Albans Abbey, as did most of Wester Hertfordshire. This was acquired by St Thomas Hospital London in late C16th and agreed to sell off some land to the church of St Thomas. The Barn and Maple Lodge (both Grade II) are located northeast along Maple Cross Road – noting the remnants of a former farmstead – both C17th with C19th additions.
- 3.9. The records in the Herts Archive do not relate specifically to Hyde House. It is likely to have been constructed around the same time, or shortly after, St Thomas Church, located south of the site, being the Vicarage for the church, which was erected in 1843. A school was also to be built, but the money associated with the project ran out, so it was never constructed.
- 3.10. A pamphlet written by Mrs A. Shaw, a local historian, dated 1986, gives a complete account of events that led to the erection of a vicarage. It is known that the newly appointed vicar, Mr. Henry Wilson, was using lodgings in the village, which were unsuitable. He petitioned the Church Commissioners, and 2 acres were bequeathed to them from Maple Lodge Farm (to the north). It

is unknown who the architect was or how much was paid for the property. Mr Wilson and his family moved in in 1851. It became the village welfare centre in times of hardship and was well remembered, she recalls, by 'village folk'.

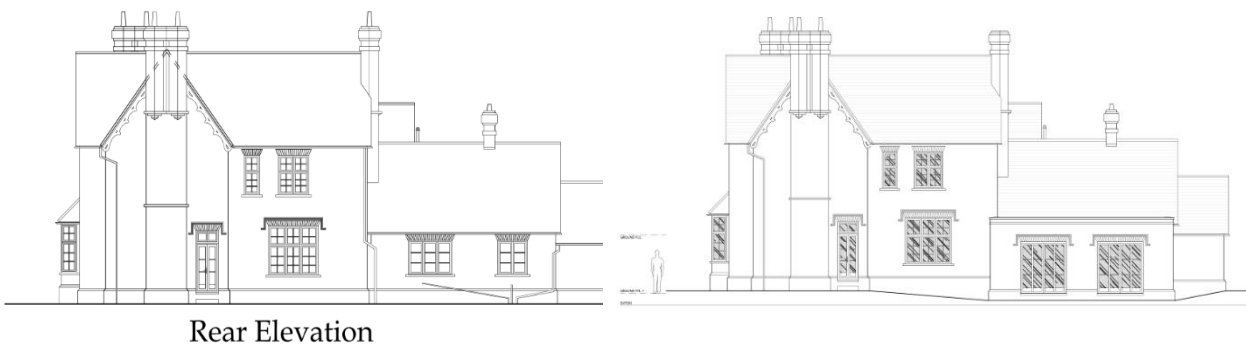
- 3.11. There is no photographic evidence of its construction. Her pamphlet denotes that it was built with 3 bedrooms, 2 reception rooms, 2 attics, a cellar and a cow shed. A porch and bay window were added not much later (whose elevation is unknown but presumed to the west). At this time, it was provided with a gas supply, running water and, later on, electricity.
- 3.12. The extensive garden was shown in the OS Mapping data above, and the house kept many livestock. An 1889 photograph (not accessible) shows that the lawn was used for recreational Sunday School Activities.
- 3.13. The extensive kitchen range and scullery (now utility room) were altered during the 1930s, and improvements were made to the house, including new pipework. However, this was soon overshadowed by Gravel extraction further north, and several homes were demolished to make way for it. In 1937, the Commissioners considered selling the Vicarage, which remained vacant until it was sold in 1941.
- 3.14. She alleged that it then fell into disrepair and was used as a dental surgery, a button factory and a place for grinding chalk. A Cpt. P Coffin bought the site and substantially repaired it. He sold it in 1967 to a local family who built a swimming pool, now a fishpond. The property was henceforth known as Hyde House. It appears to have changed its name for unknown reasons. Much of the original gardens remain intact, as does the garage, initially used for stabling, although this is not immediately obvious from ground level¹. A 'Hyde' is derived from Old English, denoting land area and indicating the relatively large area surrounding it².
- 3.15. Hyde House is Locally Listed, and the site is within the Green Belt and Area of Outstanding Natural Beauty.
- 3.16. Detailing the significance of the building, it has local, historical, and architectural interest as a vicarage associated with St Thomas. The association with the church, as evidenced, ceased in the 1940s, so the value is an associative one as a building, which has diminished for those reasons. It is a moderately significant building in the broader context of significance, and today, it stands purely as a building with attractive features.

¹ The storey of West Hyde by E.H Ruffett 1957

² Guild of One-name studies - Accessed 2023, https://one-name.org/name_profile/hyde/

4. APPLICATION PROPOSALS

- 4.1. The application proposes the creation of a new rear extension similar to the proportions of the CLUPD. The new extension will be approx. 8m wide x 5m deep and 3,5m high. It will be spliced into the rear elevation of the existing kitchen extension.
- 4.2. The position of the proposed rear is the same as already established in the CLOPD Ref: 23/1319/CLPD, where it is a logical use of the site, currently used as a kitchen. The existing extension is relatively flat-faced with minimal detailing.
- 4.3. The CLOPD is, per the requirements of Class A, a pastiche arrangement to match the materials hitherto in the building.



Rear Elevation

Figure 6 - Existing rear elevation

Figure 6 - Rear Extension approved under CLOPD
Ref: 23/1319/CLPD

- 4.4. The proposed extension represents a marginal increase of approx. 1m deeper compared to what is lawful under the CLPD.
- 4.5. The proposed design is deliberately modern, acting as a floating 'box' in the landscape overlooking the extensive garden area. The steel supports are similar in style and feel to the existing water goods, and the roofing contrasts with but is identical to the existing roofing slates.

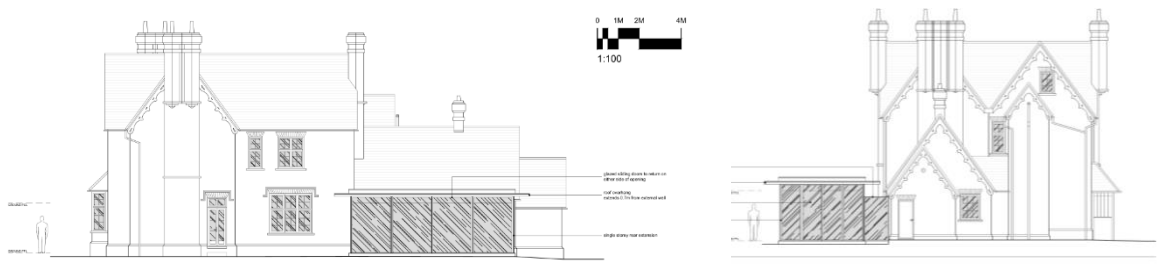


Figure 7 - Proposed - floating 'box'

5. PLANNING HISTORY & BACKGROUND

5.1. The table below provides a complete list of the history relevant to the site.

REF No	DEVELOPMENT	DECISION
23/1319/CLPD	Certificate of Lawfulness Proposed Development: Construction of single-storey rear extension; replacement of doors with windows; and addition of two windows to front elevation.	APPROVED
8/95/75	Horticultural Complex (Showroom/shop, office, toilets, boiler house, managers bungalow, garage and car parking)	REFUSED
8/776/76	Erection of 5ft High Boundary Fence	GRANTED

6. PLANNING POLICY

- 6.1. *Applications should be determined according to the Development Plan unless material considerations indicate otherwise* (Section 38(6) of the Planning and Compulsory Purchase Act 2004 and Section 70(2) of the Town and Country Planning Act 1990).
- 6.2. **Decision-making** should focus on the **acceptability of land-use purposes** and use their discretion and **planning judgment to balance the competing elements and material considerations presented**.

Planning Policy – The NPPF

- 6.3. The **National Planning Policy Framework** (NPPF/“Framework”) should be used in conjunction with the **Local Development Plan** (“the Local Plan/LP”), and **Planning Practice Guidance** (“PPG”) should be used as an objective and reasonable response to the decision-making process (Para 9).
- 6.4. The NPPF establishes the **‘presumption in favour of sustainable development’** (Para 10), but this presumption does not override the importance of the development plan as the starting point for decision-making.
- 6.5. Para 11 in the context of the above means:
- c) approving development proposals that **accord with an up-to-date development plan without delay**; or*
 - d) where there are no relevant development plan policies or the policies which are most important for determining the application are ‘out-of-date’, granting permission unless:*
 - i. the application of policies in this Framework that protect areas or assets of importance provides a clear reason for refusing the development proposed or*
 - ii. any **adverse impacts** of doing so would **significantly and demonstrably outweigh the benefits** when assessed against the policies in this Framework taken as a whole.*
- 6.6. Para 38 emphasises that Planning Authorities (“LPA” or “Council”) should **work proactively and creatively** with applicants using the full range of planning tools **to secure and meet Local objectives**.
- 6.7. Great weight is given to an ‘up-to-date’ Development Plan, and where LPAs have an Emerging Plan, decision-makers should provide:

- I. *Appropriate weight to emerging policies (depending on their stage of preparedness, the extent of objections and unresolved issues made against them and consistency with the NPPF,*
- II. *The significance of the cumulative effect that a grant of permission would otherwise undermine the plan-making process.*

6.8. Para 55 outlines that decision-makers should consider applying appropriate conditions to ensure acceptable development. They should be kept to a minimum and must accord with the 'Conditions Tests'. If this is impossible, then "planning obligations" should be considered an alternative according to the relevant tests (Para 57).

NPPF Policies

6.9. The following policies apply to this appeal:

Sustainable Development	Achievement of UN Sustainability goals, including, but limited to, the maintenance and enhancement of Heritage assets and the creation of well-designed places. There is a presumption in favour of development that meets these goals.
Design	A crucial part of creating well-designed places is enabling unique and interesting designs to have individual and collective distinctiveness. Designs should be visually attractive and integrate well within the existing built fabric in scale, function and form.
Historic	For non-designated heritage assets, the effect on significance should be accountable to a well-balanced judgement on a scale of any harm/loss caused.
Green Belt	Extensions are acceptable if they conform to the list in paras 149 and 150—presumption against inappropriate development.

The Development Plan

6.10. The adopted development plan for Three Rivers consists of the following elements:

- Core Strategy 'CS' – (Adopted 2011)
- The Site Allocations Plan (adopted 2014)
- The Development Management Policies – 'DMP' (Adopted 2013)

Any SPDs that may apply which are development-specific.

The following policies are of relevance to the proposed development:

CP1: Sustainable Development	CP9: Green Infrastructure
PSP1/2: Development in Key and Secondary Centres	CP10: Transport and Travel
DM1: Residential Design & Layout	CP11: Green Belt
DM2: Green Belt	CP12: Design of Development
DM3: Historic Environment	DM8: Flood Risk and Water Resources
DM5: Renewable Energy Developments	DM10: Waste Management
DM6: Biodiversity, Trees, Woodland and Landscaping	DM13: Parking & Appendix 5
Residential Design Guide (adopted 1995)	

7. HERITAGE

Statement of Significance

- 7.1. The main reason for its Local Listing is its historic association with St Thomas' Church as the Vicarage. The church itself is Grade II Listed and located some 400m south. St Thomas is a relatively isolated feature amongst sporadic clusters of buildings, typically workshops, old barns or isolated dwellings. Its association with the church ceased in the 1940s when it was sold to the public. All that remains is its architecture as a building of moderate significance in that broader context. As a building, it is attractive and imposing given its cottage style mid-C19th style.
- 7.2. The setting remains as it did in history as a relatively sparse corner of Rickmansworth not far from the county border. From the records, it does not appear to have any significance in terms of its location, albeit on the main Turnpike Road, nor contributed to any specific improvements in the hamlet of Maple Cross. Later development originates from the early C19th with the expansion of Maple Cross and the forming and widening of the main road, now part of the North Orbital Road network. This development marks the edge of Maple Cross as extended and becomes sparse further south.
- 7.3. The site has been relatively enclosed for much of its life, the eastern portion marking the field boundaries of Lynster Farm to the Southeast. The central Old Uxbridge Road marks the western boundary, which dense shrubs and tree foliage have heavily shielded. To the north is characterised by a private way to what is now Kennels and a thick woodland part of the Maple Wood Nature Reserve.
- 7.4. The site is enclosed on all sides by dense foliage, giving the impression of isolation from the rest of Maple Cross. The entrance is from the south through what seems to have been an old field gate. The North Orbital Road has overtaken the entrance along the Old Uxbridge Road (the original turnpike) and, although still there, is used less frequently. Therefore, the main aspects of the building are viewed from the south. Along this frontage, we see the main square building typical of a vicarage with decorative barge boards, a single bay window, and high gabled ends. The central garden and northern sections are not seen from this angle.
- 7.5. The parking area is to the west, and the character of the building becomes more utilitarian. Here, we see the main entrance bisected by a large formal chimney breast with plaque – details long gone. There is a porch in need of repair, which detracts from the characterful entranceway to some extent. To the north, one can see the large stairwell outrigger and the side extensions making the kitchen and utility. The outrigger shows that the building underwent alterations, and a doorway was blocked up toward the northwest – the decorative lintel remains as a reminder. These

extensions/alterations were clearly of a later style made to match, the brickwork being exceptionally similar.

- 7.6. The main building is a relatively square two-storey dwelling with a stairwell outrigger. The principal elevation is to the west. Covenant details mark the time the extensions were added or replaced in the 1930s, albeit that historical map data, shown above, shows a series of extended built forms toward the north. What is evident today is that the two extended parts follow the north projection and are dual-pitched with decorative barge boards. The angle is steep, resulting in high ridges.
- 7.7. The chimney breasts are squarely set as a series of three angles. Tiles are plain terracotta hand-made rounded scalloped shingles throughout, creating a detailed pattern across the roof profile.
- 7.8. In contrast to the western elevation, the eastern elevation is rather plain, with the main building dominating the character and facing the garden. The extension parts are utilitarian and flat. There are two large windows in the kitchen area and a large ground-floor window in the main building.
- 7.9. The most significant part is the main square building, which has outriggers throughout. The extensions, albeit of equal importance, appear as add-ons in good detail throughout. These are less significant and undoubtedly more significant since the proposal is to the eastern elevation, away from the main entrance and driveway.
- 7.10. The whole is marked by its late Victorian architecture, creating an inviting feel – as would be valid for a vicarage. The extensions maintain a horizontal and vertical hierarchy in the built form.

Impact Assessment

- 7.11. There is no statutory protection for Locally Listed Buildings. However, for completeness, DM3 states

The aim is to protect them from harm and recognise their contribution to the environment to keep heritage assets such as Listed Buildings in use and thereby secure their contribution to the character and distinctiveness of the area, allowing alternative uses or sympathetic development or alteration may be acceptable.

- 7.12. As subsection h) it states:

Where planning permission is required to alter or extend a Locally Important Building, permission will only be granted where historic or architectural features are retained or enhanced.

- 7.13. The extension permitted under ref: 23/1319/CLPD is a pastiche design, which, although it follows the grain of the existing building, the CLPD proposal represents a mediocre design on a less than significant part of the dwelling. We consider that the pastiche design would detract from, rather than enhance, the overall character of Hyde House, a locally listed building.

- 7.14. Comparatively, this proposed design remains subservient in scale and dimensions, similar to the earlier proposal. It is deliberately contemporary and, therefore, is authentic to itself, enabling the main building to be appreciated. Being located on the rear of the extended part of the house (the least significant portion), the extension retains the vertical and horizontal hierarchy found in the original building.
- 7.15. The design for the extension is deliberately separated from the existing fabric by glass and open-sided with black steel framing. The design replicates the current cast iron water goods. The roof will be flat with a metallic finish, thus not interfering with the existing steeped and intricate roof or eaves detailing.
- 7.16. Historic England's Advice – Principles in Conservation Principles, Policies and Guidance (2008) and Local Heritage Listing: Identifying and Conserving Local Heritage (2nd Ed) show that modern design can be integrated well with historic buildings. Proposals must be authentic to itself and enable the existing asset to be enhanced. As mentioned above, there is intricate detailing on existing rear eaves and roof forms. The PD proposal, albeit similar in scale and size, would diminish the sense of authenticity of the original building. Furthermore, it would not enhance the proportions of the existing building and enable the special features to stand out without being imposed.
- 7.17. In contrast, the proposed extension maintains the subservience of the main structure, albeit separated from it by a minimal glazed link, thus creating minimal intrusions into the existing built fabric. This provides the impression that the box will seemingly float in mid-air. It would be akin to a high-quality modern conservatory and enable views across the eastern and north/south axis. Unlike the heavy, sturdy pastiche design, it would be an inconspicuous addition to the building and the garden area. As such, the proposed extension would enable the main building and its extensions to be better understood in situ and of itself, juxtaposed against the original features. The materials will be high-quality and reflect a contemporary design that seamlessly ties into the historic and character appeal of the host dwelling.
- 7.18. The modest increase in height ties it better to the existing eaves of the attached building. The utility is a separate extension, representing a small outcrop at the edge of the building. The new extension would be placed within the second and most prominent extension, making a seamless kitchen dining experience.
- 7.19. The new extension is sited no more obtrusively than the permitted extension, which is nestled in the interior of a very well-landscaped site on the edge of the village. The proposed marginal increase in scale would not increase the visual prominence of the building in the context of the

surrounding landscape, nor would it result in the spread of urbanising development in the Green Belt.

- 7.20. The changes to the front elevation are modestly similar in scale and design to existing windows along this frontage. They represent symmetry and balance the elevation. They will be constructed like-for-like to the existing, including mullions and glazing bar depth and spacing.
- 7.21. The significant improvements to the design and general character of the extension mean a positive contribution to the main building.

8. PLANNING ASSESSMENT

Green Belt & Design Considerations

- 8.1. The proposed development is acceptable in principle, subject to compliance with other relevant policy and material considerations discussed below.
- 8.2. Policy DM2 of the Three Rivers Local Plan, 'Green Belt', states regarding extensions to buildings that:

'Extensions to buildings in the Green Belt that are disproportionate in size (individually or cumulatively) to the original building will not be permitted. The building's proximity and relationship to other buildings and whether it is already, or would become, prominent in the setting and whether it preserves the openness of the Green Belt will be considered.'
- 8.3. The application comprises a rear extension projecting 5m from the rear elevation of the existing rear kitchen. It has a depth of 1m greater than the permitted scheme granted under the CLUDP Ref: 23/1319/CLPD (under deemed planning GPDO, Class A). The contemporary design acts as a floating 'box' with a marginal reduction in scale to compensate for the increase in height and depth. Furthermore, the significantly improved design and seemingly transparent minimal framing would make the building inconspicuous in GB terms. Therefore, the scale bulking and massing proposals represent an appropriate use in the Green Belt per paragraph 149 of the NPPF and good design. The extension would be well integrated into the existing built fabric and represent proportionate extension.
- 8.4. Based on the above assessment, the proposals represent a high-quality design, reflecting good and sound conservation principles (DM3).
- 8.5. The modest increase in the scale above the permitted scheme should not give rise to any tangible adverse impacts on either the historical significance or openness of the Green Belt. The design directly ensures that the historic character of the existing building is maintained and enhanced to

ensure continuity with the host dwelling. The proposals, therefore, follow the requirements of Policy DM2 and DM3, including Design Criteria in Appendix 6 of the Development Management Policies and CP1 and CP12 of the Local Plan Core Strategy.

Amenity Considerations

8.6. The proposed extension does not give rise to any impact on residents.

Highways, Parking & Access

8.7. The proposals would use the existing access to the site. They would not give rise to any significant increase in vehicular movements over and above those associated with the existing dwelling.

9. CONCLUSION

- 9.1. The proposal is located at Hyde House, on the edge of Maple Cross, and is intended to create a high-quality single-storey rear extension in contrast to the permitted extension under the CLPD.
- 9.2. The extension's location, design and scale are appropriate in context with Policy DM2 and DM3 of the Local Plan and CP1 and CP12 of the Local Plan Core Strategy, representing a proportionate, well-considered scheme compared to the CLPD extension.
- 9.3. The proposals are acceptable regarding Heritage significance per the adopted LP (DM3) and paras 194-197 inclusively and, more specifically, para 203 of the NPPF and would not give rise to any adverse impacts.
- 9.4. The proposal conforms with the Local Development Plan and the Framework, read as a whole, and accords with Practice Guidance as set out in the relevant PPG and any other material consideration as may be appropriate. As such, and for the above reasons, we respectfully request that this application be approved.