

PLANNING ISSUE

Note:- Properties built prior to 2000 should have a full asbestos survey carried out on the area of the building where disturbance is likely

GREEN & BLUE INTERGRATED BAT BLOCKS

PROPOSED SITE PLAN 1:200

NOTE TO CLIENT RE CDM 2015:
 ALL CONSTRUCTION PROJECTS ARE SUBJECT TO THE CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2015. UNDER CDM 2015 THE CLIENTS DUTIES HAVE BEEN STRENGTHENED AND BROADENED. CLIENTS DUTIES UNDER (CDM 2015) CAN BE FOUND ON THE FOLLOWING LINK <http://www.hse.gov.uk/pubns/indg411.pdf>

As architectural consultants we shall undertake our services for you endeavouring to avoid any unnecessary design risks that could potentially cause harm on site or for ongoing maintenance. However if due to clients design brief or if any unavoidable risks occur then as soon as we are aware we will make these known to the client to notify the principle contractor if we are not appointed as principle designer after planning and/or building regulations have been completed. All projects must have workers with the right skills, it is assumed that all works will be carried out by a competent contractor. The contractor must provide appropriate supervision/information and a written phase plan.

We will list/indicate any residual risks on our working drawings that need to be considered outside of the normal hazardous risk that potentially can occur on building sites. Normal hazards will be managed by the builder/contractor under on site activities along with construction phase health & safety planning.

RISKS LISTED HERE ARE SIGNIFICANT, AND ASSOCIATED WITH THE PATH OF CONSTRUCTION WORK OR RELATED STRUCTURAL WORK:

- ASBESTOS - prior to any demolition/alterations an asbestos survey should be carried out (carried out on all properties built before 2000 in the area of the building where disturbance is likely)
- SERVICES - prior to demolition existing services should be disconnected, where alteration or new works are carried out the client/principle contractor should make necessary inquiries with all relevant utility companies to ensure there is not any restrictions on the project. TOTAL DESIGN LTD HAVE NOT CONTACTED ANY OF THE UTILITY COMPANIES.
- DEMOLITION - to be carried out by competent person/contractor making the local authority building control aware of the works
- DUST - airborne dust particles from construction processes/works
- STRUCTURAL - adhere to structural engineer's information for all structural works, permanent and temporary works.
- PUBLIC - protection of any members of the public or anyone occupying the site/building when works are carried out.

TYPICAL STYLE OF WALL MOUNTED DOWN LIGHTER



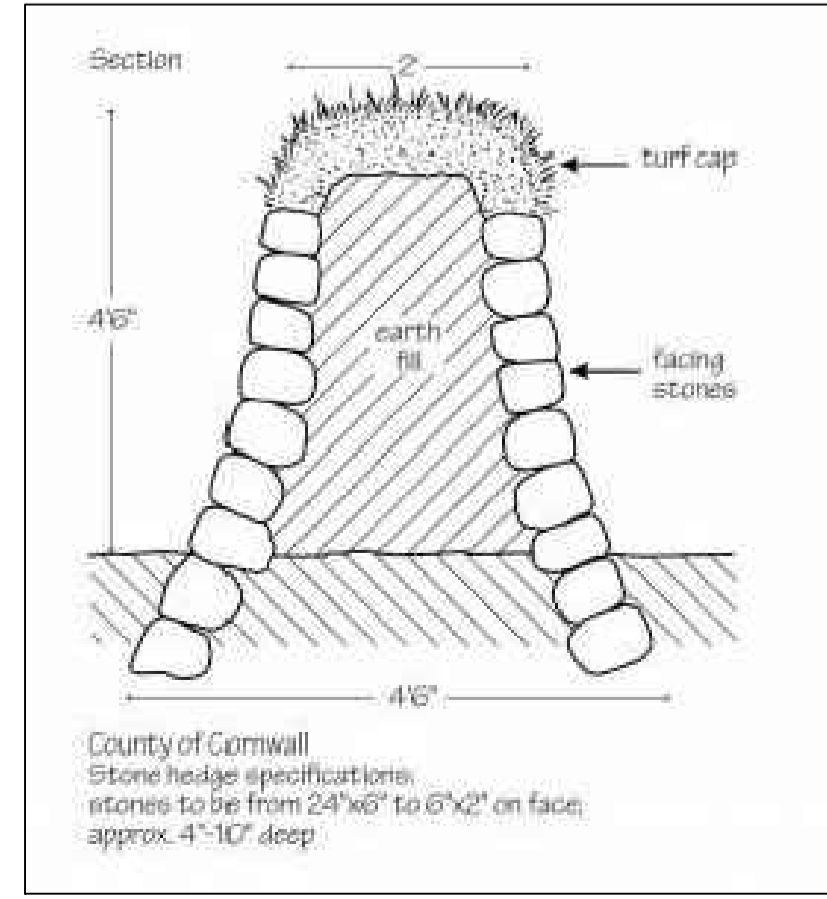
All Lighting to be in accordance with recommendations by the Bat Conservation Trust - 'Bats and lighting in the UK'.

Typical style of proposed external lighting to be Warm white light LED. Shrouded directional down light to be fixed to external wall at the identified locations.

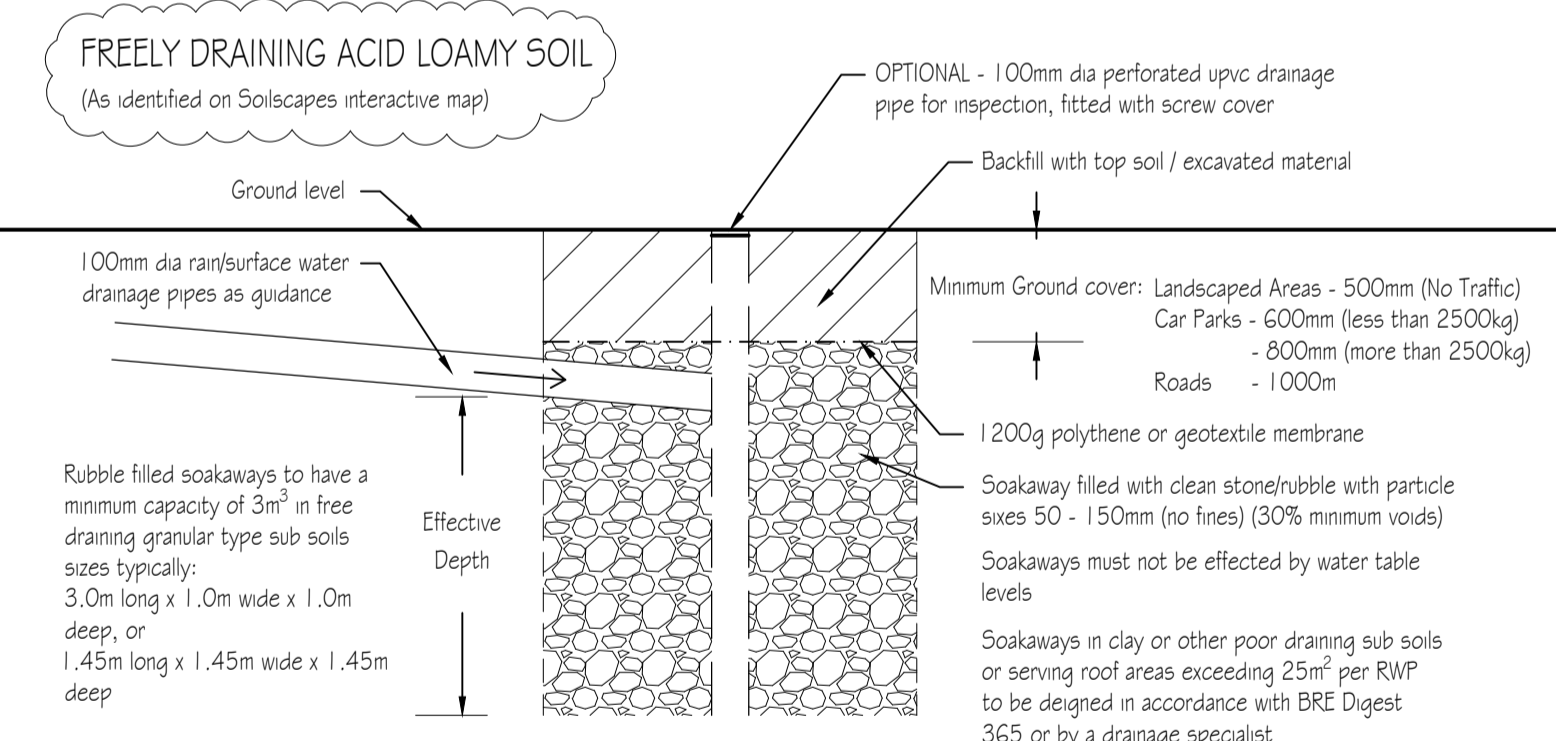
LIGHTING SPECIFICATION TO REDUCE IMPACT ON BATS

- External lights in locations proposed as per site plan.
- Light to be directional down lighter
- Light to have shrouding to ensure light emitted is aimed downward only.
- Lighting to be fitted vertically (downwards).
- 'Warm white light' LED bulbs to be used to ensure light emitted is more directional.
- Lighting to be positioned at a height no higher than 2m.
- Lights to be fitted with PIRs and / or minimal timers to keep the lit time to a minimum.
- Maximum bulb wattage to be 150w (2000 lumens).

TYPICAL CORNISH HEDGE DETAIL FOR NEW SECTIONS (ENSURE NEW SECTIONS MATCH EXISTING WALLS IN HEIGHT, WIDTH AND STONE)

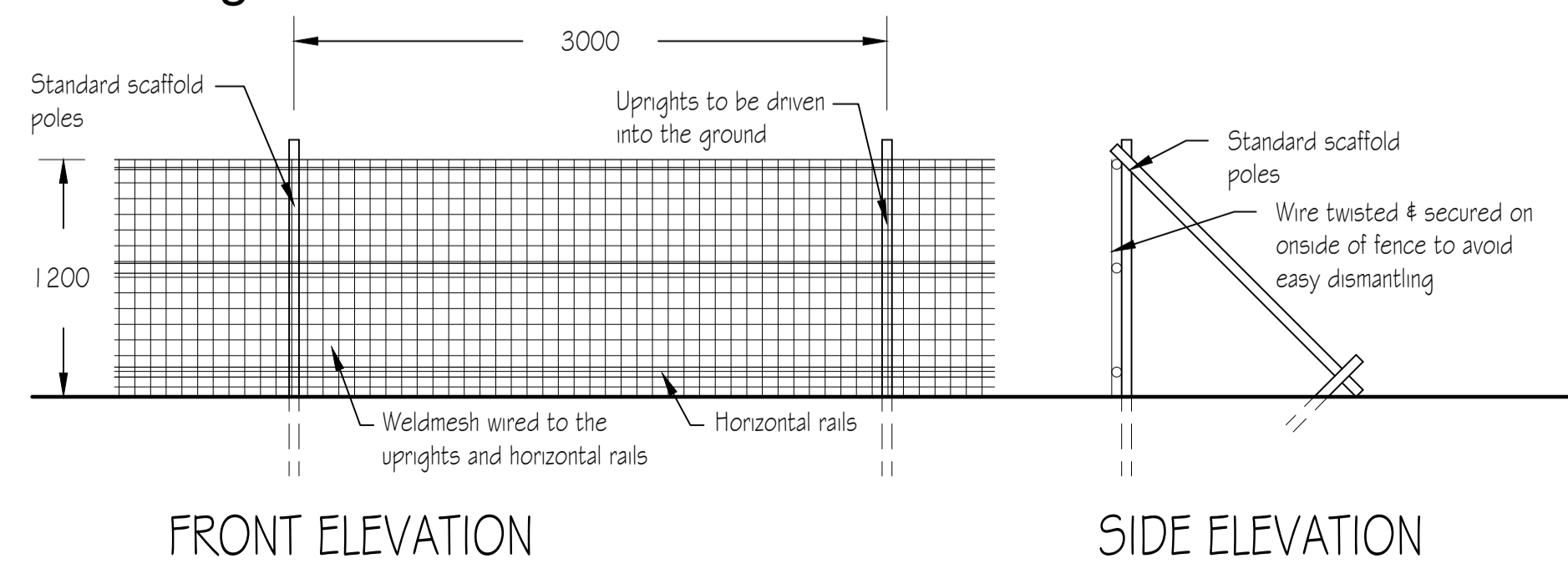


PROPOSED WATER BUTTS FOR WATER RECYCLING / HARVESTING



TYPICAL RUBBLE FILLED SOAKAWAY (NTS)
 New soakaways will be serving roof areas between 25m² - 100m². The size of the soak aways will be calculated dependant on ground conitions encountered on site. ALL TO THE SATISFACTION OF THE BUILDING CONTROL OFFICER AND IN ACCORDANCE WITH BRE DIGEST 365

1.2M High RPA fence TO TREES REMAINING



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- Due to unavoidable inaccuracies during the reproduction process, these drawings should not be scaled. Where dimensions are critical TOTAL DESIGN LTD should be requested to confirm dimensions based on survey information. Scales appearing on the drawing are for indicative purposes only.
- All dimensions and particulars to be checked on site, any discrepancy to be reported to Director Angela Phelps MCIAT before work commences.
- No responsibility will be accepted for any work of construction undertaken prior to the receipt of statutory approvals, or subsequently when work is not in strict accordance with the drawings.
- All the dimensions are in metres or millimetres unless otherwise stated.
- Client / Builder to check prior to commencement on site for any services that may restrict building works at high level, above, and below ground level - TOTAL DESIGN LTD do not consult with services companies.
- All work based on good working practice and accredited construction details.
- When any roof alteration work or demolition is to take place, if any signs of bats, stop work & notify an ecologist & natural England.
- It is the Client's responsibility to inform TOTAL DESIGN LTD of any Legislation / Agreements / Covenants in place that would prevent / restrict development taking place on the proposed site. TOTAL DESIGN LTD do not consult with external parties / consultants regarding (non-planning/building regulation) legal matters relating to any proposals. Unless otherwise specified TOTAL DESIGN LTD are employed to obtain Planning and Building Regulation Approval ONLY.

REV:	DATE	DESCRIPTION
A	18.09.23	Updated for submission (ELB)
B	09.10.23	Updated following submission (ELB)
C	30.10.23	Updated at clients request (ELB)

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PROJECT: Little Tresevern
 Tresevern, Stithians,
 Truro, TR3 7AT

TITLE: Proposed Site Plan

CLIENT: Mr S Phelps & Ms H Barlow

SCALE: As Stated @ A1
 DATE: June 2023
 DRAWN: AMP / ELB

DWG NO:
T1415.04C