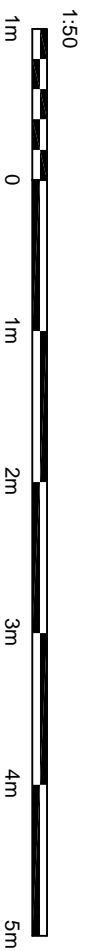




## PROPOSED REAR ELEVATION

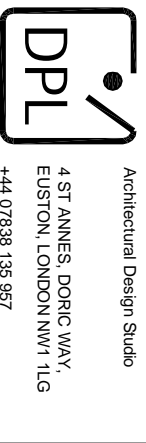
Scale 1:50



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DRAWING STATUS **PLANNING**

REV.	DATE	NAME	DESCRIPTION



Architectural Design Studio  
4 ST ANNES, DORIC WAY,  
EUSTON, LONDON NW1 1LG  
+44 07838 135 957

### GENERAL NOTES:

- Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings, Structural Engineers calculations and any specialist supplier drawings. Homeowner is responsible and should ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any works start on site.
- Inform the Building Control department that the works are about to commence on site after receiving an approved decision from planning / building control in writing for your proposed works.
- Verify boundary lines & ground conditions including checking positions and new connections of all gas, electricity, water, drainage, etc. before commencing works. Homeowner is responsible for all gas, electricity, water, drainage, etc. connections. Homeowner is responsible for all gas, electricity, water, drainage, etc. connections. Homeowner is responsible for all gas, electricity, water, drainage, etc. connections.
- DPL are not responsible for builders changing design methods from proposed works. The client is responsible for any changes to the design. Homeowner is responsible for any changes to the design.
- Owner is responsible for establishing own boundary lines on DPL are not responsible for checking land ownership even if drawings have been approved by the planning and building control departments. If uncertain a land search should be carried out by the homeowner/contractor.
- DPL are not responsible for builders changing design methods from proposed works. The client is responsible for any changes to the design. Homeowner is responsible for any changes to the design.
- Owner is responsible for establishing own boundary lines on DPL are not responsible for checking land ownership even if drawings have been approved by the planning and building control departments. If uncertain a land search should be carried out by the homeowner/contractor.
- Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (Client's responsibility)

ALL STRUCTURAL ELEMENTS (such as beams, lintels, joists, rafters, columns, walls, foundations and etc.) SHOWN ON DRAWINGS ARE ONLY INDICATIVE. THEY ARE SUBJECT TO FURTHER STRUCTURAL ENGINEER'S CONSIDERATION.

### OTHER NOTES:

- Where works involve demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place. Do not scale off this drawing as the scaling may be off.
- Works carried out under a building notice or prior to approval of drawings are at the contractor's/owner's risk. (All DPL drawings must be approved before works commence)
- Homeowner is responsible for ensuring that all necessary permissions and approvals from the relevant departments are fully responsible for the likelihood of condemned works.
- Any discrepancies, either between written and site dimensions or between this drawing and other consultant's or supplier drawings, should be brought to the immediate attention of DPL before executing the structural, drainage, mechanical and electrical works.
- Homeowner is responsible for ensuring that all necessary permissions and approvals from the relevant departments are fully responsible for the likelihood of condemned works.
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### OTHER NOTES:

- All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed roof finishes shall be in accordance with the current building regulations.
- Homeowner is responsible for ensuring that all necessary permissions and approvals from the relevant departments are fully responsible for the likelihood of condemned works.
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### SITE ADDRESS

45 OAKFIELD GARDENS,  
UPPER EDMONTON, LONDON, N18 1NY

### DRAWING TITLE

PROPOSED DRAWINGS - rear extension

SCALE	AS SHOWN	@ A3	14 NOVEMBER, 2023
DRAWING NO.	DRAWN BY	REVISION	
DPL.07.			

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