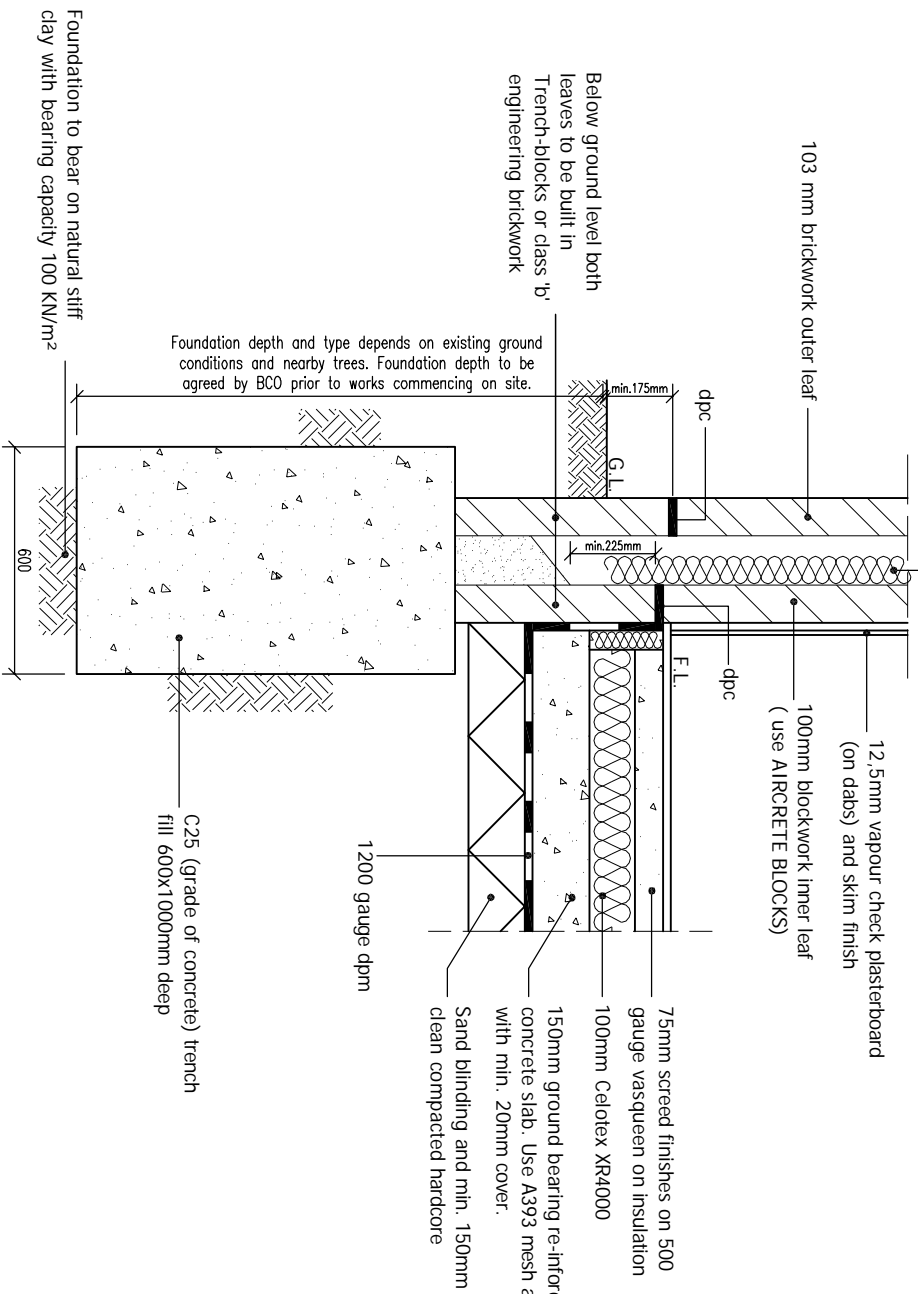
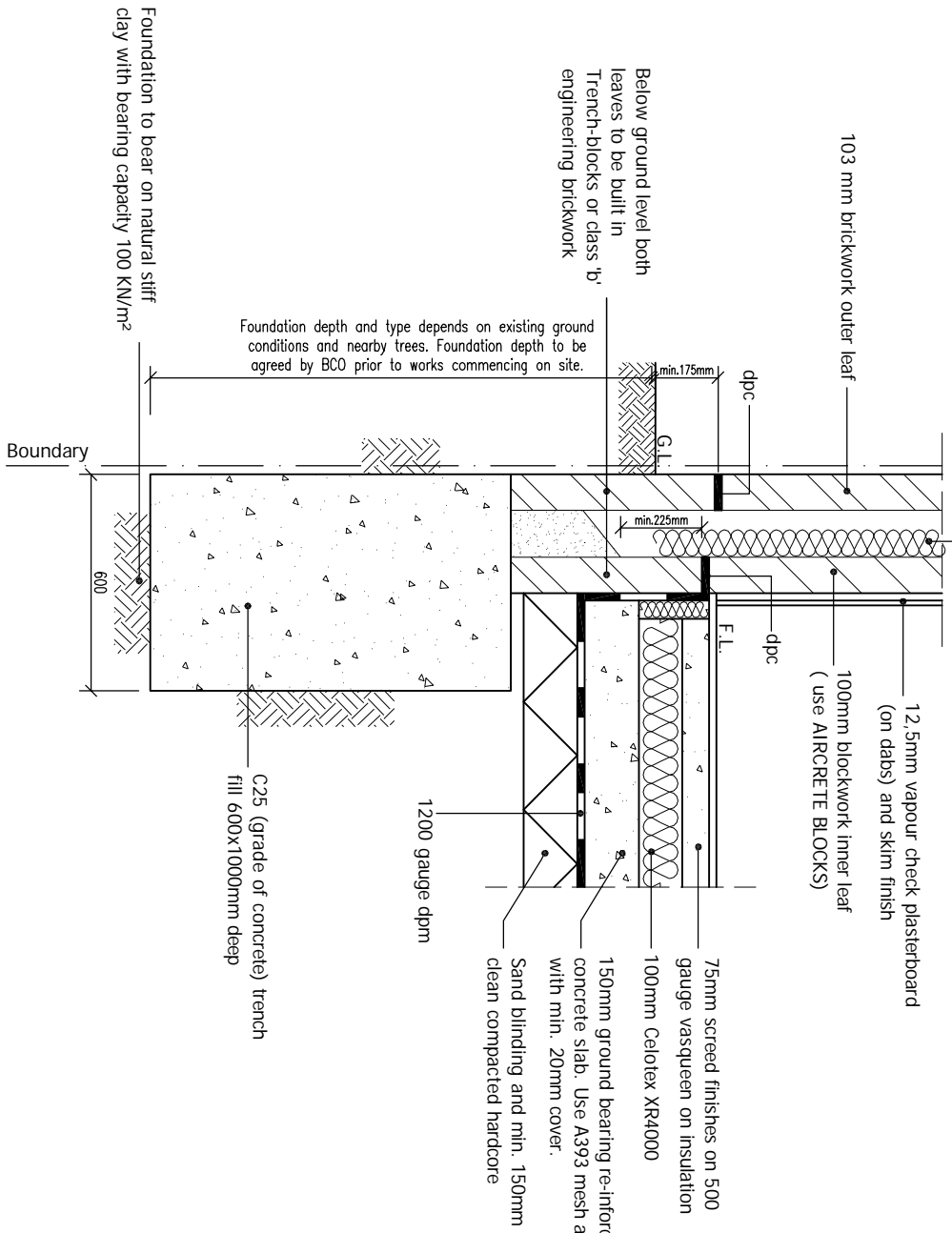


130mm cavity with 75mm Kingspan Kooltherm K108 Cavity Board insulation (partial fill cavity insulation), min. 50mm clear cavity between insulation and outer leaf to be maintained



130mm cavity with 75mm Kingspan Kooltherm K108 Cavity Board insulation (partial fill cavity insulation), min. 50mm clear cavity between insulation and outer leaf to be maintained



TYPICAL FOUNDATION DETAIL

Scale 1:20

FOUNDATION DETAIL ON BOUNDARY

Scale 1:20



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ALL STRUCTURAL ELEMENTS (such as beams, inlets, joists, rafters, columns, walls, foundations and etc.) SHOWN ON DRAWINGS ARE ONLY INDICATIVE. THEY ARE SUBJECTED TO FURTHER STRUCTURAL ENGINEER'S CONSIDERATION.

DRAWING STATUS	PLANNING
REV.	DATE

REV.	DATE	NAME	DESCRIPTION

DPL
Architectural Design Studio
4 ST ANNES, DORIC WAY,
EUSTON, LONDON NW1 1LG
+44 07838 135 957

GENERAL NOTES:
1. All dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings. Structural Engineer's calculations and any specialist supplier drawings. Homeowner is responsible and should-
2. Inform the Building Control department that the works are about to commence on site after receiving on approved decision from planning / building control in writing for your proposed works.
3. Verify boundary lines & ground conditions including checking positions and new connections of all gas connections. Owner is responsible for establishing own boundary lines on DPL are not responsible for checking land ownership even if drawings have been approved by the planning and building control departments. If uncertain a land search should be carried out by the homeowner/contractor.
4. DPL are not responsible for building changing design methods from proposed works. The client is responsible for changing any design methods from proposed works.
5. Owner is responsible for any additional structural design change on site from the start to end of building works.
6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (Clients responsibility)

7. Where works include demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place. So not scale off or prior to approval of drawings are of the contractor/owner risk. (All DPL drawings must be approved before works commence).
8. Where works involve demolition of a structure, the contractor/owner must ensure that all structural elements are fully responsible for the likelihood of condemned works.
9. Any discrepancies, either between written and site dimensions or between this drawing and other consultant's or suppliers drawings, should be brought to the immediate attention of DPL before executing the structural, drainage, mechanical and electrical works which is on site then this will need to be brought to DPL attention straight away before work commence and purchase of materials be made so an alternative design can be rectified and approved by building control or the engineer before works can commence.
10. All DPL structural designs are subject to building control in writing. It is the contractor's responsibility to ensure that all works are carried out in accordance with the building regulations and approved by building control either a not or paid foundation. This drawing is for guidance only. All works shall be subject to building control approval.
11. All steel/cables to be used in the design/materials should not be ordered. No railing or claim can be given against DPL on the design/materials changed for these steel/a/s.

OTHER NOTES:
All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed openings must be in accordance with the building regulations. For a permitted development left design the former designed to be not opening and of the size by 200mm, this note is a confirmation that it is designed this way. All works to be carried out in accordance with the latest applicable codes of practice and to comply with current building regulations.
An inspection of the underground drainage was not possible on survey. Contractor should check drawings for any potential issues with the drainage system.
This drawing has been created for discount plans Ltd for the "Smart" only, a bond contract has been made between both party's in which a signed contract for creation of works involving person-working hours for this drawing has been made. No refund will be offered or claim made of drawing and any other drawings relating to this project, for whatever reason, can be made against discount plans ltd. The contractor is responsible for ensuring that all work is carried out in accordance with the building regulations and approved by building control.
12. All drainage connections is assumed & is subject for checking by builder, themes water & building control, before any work commences. If there are any issues with the drainage system, the contractor should refer to building control before work commences.
THIS DRAWING'S CONTENT INCLUDING NOTES IS BOUND TO BE ASSIGNED AND MUST BE VERIFIED BY CONTRACTOR.

SITE ADDRESS			
45 OAKFIELD GARDENS, UPPER EDMONTON, LONDON, N18 1NY			
DRAWING TITLE			
PROPOSED DRAWINGS - rear extension			
DRAWN AT		DRAWN BY	
HEAD OFFICE			
SCALE as shown @ A3			
DRAWING NO.		REVISION	
DPL. 11.			
www.discountplansltd.com			