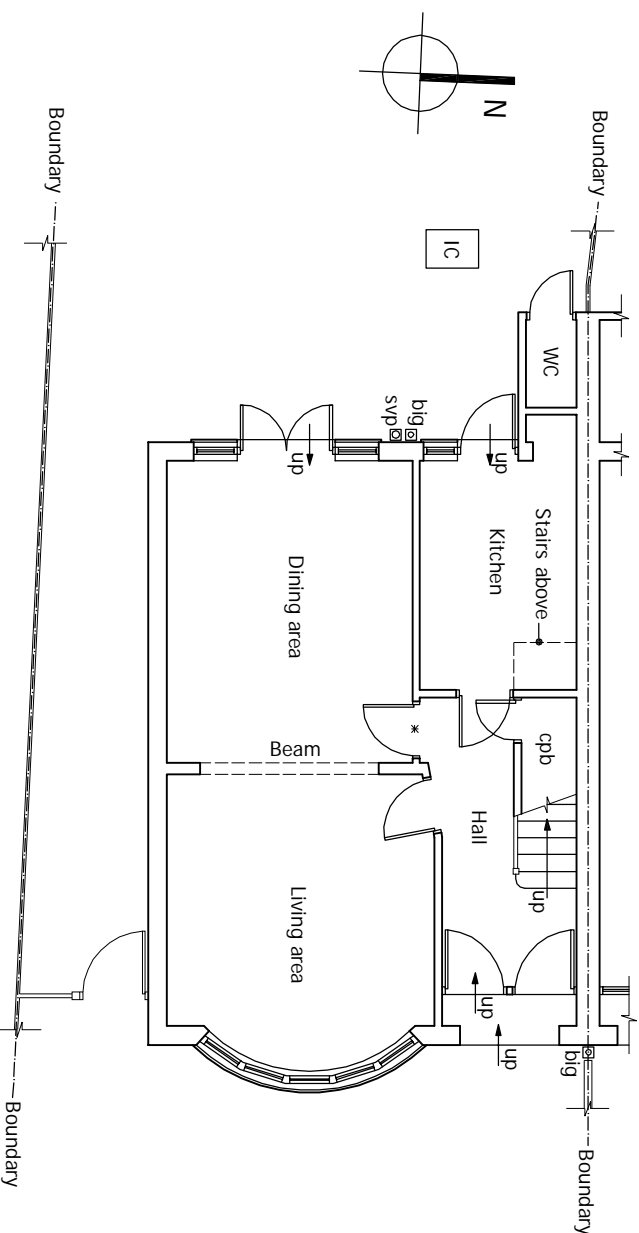
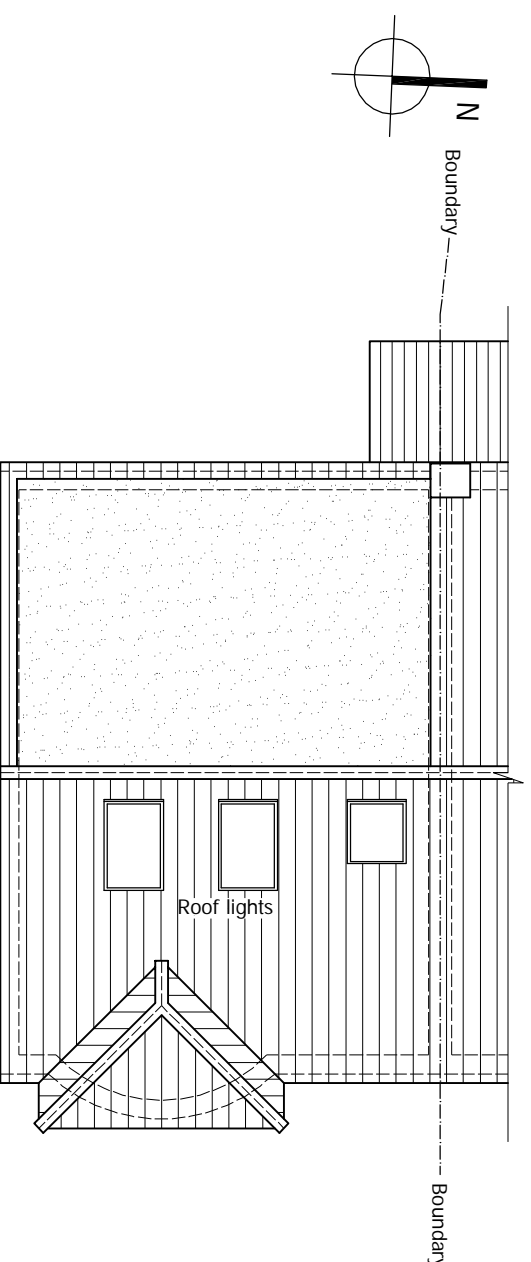


An inspection of the underground drainage was not possible on survey. Contractor should check drainage runs and invert levels prior to starting work on site and notify building control of results. THE DRAINAGE SHOWN IS ASSUMED AND MUST BE VERIFIED BY THE CONTRACTOR.



EXISTING GROUND FLOOR PLAN

Scale 1:100



EXISTING ROOF PLAN

Scale 1:100



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DRAWING STATUS	PLANNING		
REV.	DATE	NAME	DESCRIPTION

Architectural Design Studio
DPL
 4 ST ANNES, DORIC WAY,
 EUSTON, LONDON NW1 1LG
 +44 07838 135 957

GENERAL NOTES:

1. Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings, Structural Engineers' calculations and any specialist supplier's drawings. Homeowner is responsible and should ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any works start on site.
2. Inform the Building Control department that the works are about to commence on site after receiving an approved decision from planning / building control in writing for your proposed works.
3. Verify boundary lines & ground conditions including checking positions and new connections of all gas, electricity, water, drainage, etc. before commencing works. Homeowner is responsible for all gas, electricity, water, drainage, etc. before commencing works. Homeowner is responsible for all gas, electricity, water, drainage, etc. before commencing works.
4. DPL are not responsible for builders changing design methods from proposed works. The client is responsible for any additional structural design change on site from the start to end of building works requested by building control or any other third party's instruction during building works.
5. Owner is responsible for providing suitable and safe access to the site for the building works requested by building control or any other third party's instruction during building works.
6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (Client's responsibility)

ALL STRUCTURAL ELEMENTS (such as beams, lintels, joists, rafters, columns, walls, foundations and etc.) SHOWN ON DRAWINGS ARE ONLY INDICATIVE. THEY ARE SUBJECTED TO FURTHER STRUCTURAL ENGINEER'S CONSIDERATION.

OTHER NOTES:

7. Where works involve demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place. Do not scale off this drawing as the scaling may be off.
8. Works carried out under a building notice or prior to approval of drawings are of the contractor's/owner's risk. (All DPL drawings must be approved before works commence) and the contractor/owner is responsible for the building notice or approval of drawings.
9. Any discrepancies, either between written and site dimensions or between this drawing and other consultant's or supplier drawings, should be brought to the immediate attention of DPL before executing the structural, drainage, mechanical and electrical works which is on site then this will need to be brought to DPL attention straight away before works commence and purchase of materials be made so an alternative design can be recommended and approved by building control or the engineer before works commence.
10. All of DPL structural designs are subject to building control approval. If the design is not approved by building control, the design will need to be revised and approved by building control or the engineer before works commence.
11. All new/old steel beams, columns, joists, rafters, etc. shall be installed on a different method of construction, if required by an engineer, with an additional oak beam independent on the existing foundation type and building control either a raft or piled foundation. This shall be done by a structural engineer and building control approval shall be obtained before purchase of steel/s, if not load bearing then steel/s should not be ordered. No refund or claim can be given against DPL on the design/materials changed for these steel/s.

OTHER NOTES:

1. All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed roof and wall finishes shall be installed in accordance with the Building Regulations and Building Control requirements. For a permitted development, the design is not subject to Building Control approval. For a full planning application, the design is subject to Building Control approval. For a full planning application, the design is subject to Building Control approval.
2. No inspection of the underground drainage was not possible on survey. Contractor should check drainage runs and invert levels prior to starting work on site and notify building control of results. ALL DRAINAGE SHOWN IS ASSUMED AND MUST BE VERIFIED BY CONTRACTOR.
3. TERMS - this drawing has been created by discount plans ltd for the "client" only, a build contract has been made between both party's in which a signed contract for creation of works involving person-working hours for this drawing has been made. No refund will be allowed or claim made of drawing and any other drawings relating to this project for whatever reason can be made. The design is not subject to Building Control approval. For a full planning application, the design is subject to Building Control approval. For a full planning application, the design is subject to Building Control approval.
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12. All drawings connections is assumed & is subject for checking by builder, thence water & building control, thence water before works commence.

SITE ADDRESS
 45 OAKFIELD GARDENS,
 UPPER EDMONTON, LONDON, N18 1NY

DRAWING TITLE
 EXISTING DRAWINGS - rear extension

DRAWN AT	HEAD OFFICE	DRAWN BY
SCALE	as shown	@ A3
DRAWING NO.	DPL.01	REVISION
		14. NOVEMBER. 2023
		www.discountplansltd.com