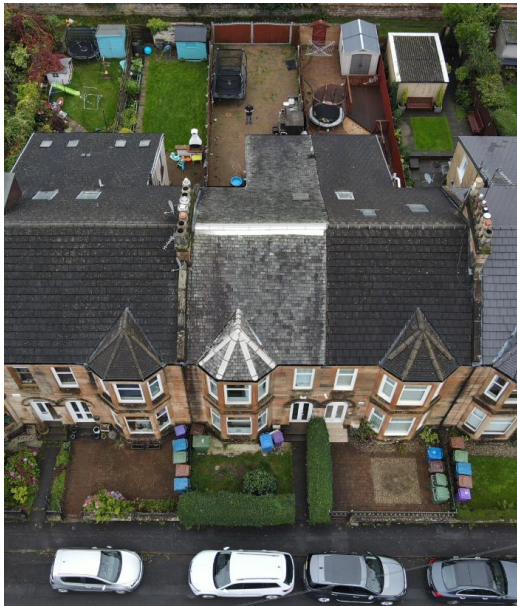


Attic Conversion to 16 Berridale Avenue

Cathcart, Glasgow, G44 3AE

Design Statement, November 2023





Location

16 Berridale Avenue is a terraced property located in the Cathcart area, Southside of Glasgow. The property is not of listed status, nor is it located within a conservation area.

The existing building is of blond sandstone construction, two storey and terraced with gardens to the front and rear. To the rear sits a storey and ½ extension, not of original construction. Many properties on the terrace have matching extensions.

The proposal consists of an attic conversion in order to extend the habitable footprint of the property to create a home more suitable for the family. The attic alterations include:-

- Rear dormer
- Conservation style velux windows, front and rear (2 front, 1 rear).
- Strip dilapidated slate roof, replace with Marley tiles, grey.



Front Elevation



Rear Elevation



Roof



Overview of Berridale Avenue



Overview of Berridale Avenue



Full site photograph, front to rear.

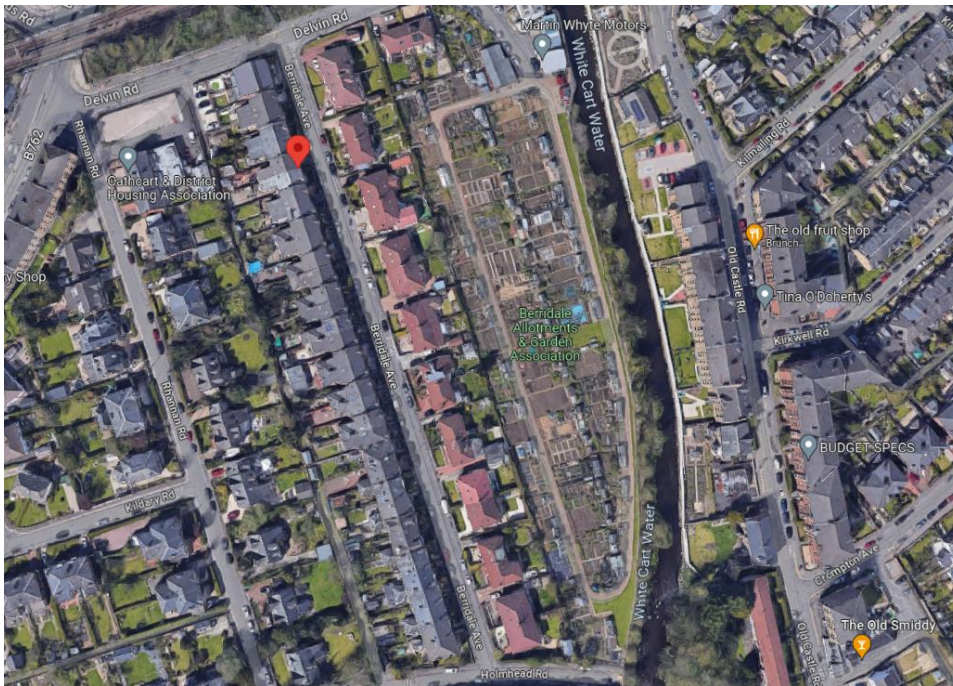
Site Photographs

Local Context

The immediate context comprises a variety of property types. Directly opposite (East) consists of semi-detached bungalows. Properties to the West of Berridale generally comprise terraced sandstone homes similar to the applicants. One exception to this is the new build semi-detached property which exists at the entrance to Berridale via Devlin Road.

A lane exists to the rear boundary of the property providing rear access. Commercial offices and residential dwellings existing beyond (accessed from Rhannan Road). Large trees and vegetation provide privacy to the rear gardens of homes on Rhannan Road.

Along the rear elevation there are numerous examples of attic conversions which are a similar scale and nature to that which is proposed. Although of different property style and design, properties opposite have been developed and extended vertically also.



Alterations – Front Elevation

Works comprise:-

- 2 x 'conservation type' velux windows on the front elevation roof pitch to bring daylight and ventilation into the newly converted attic space.

Alterations – Rear Elevation

Works comprise:-

- Construction of a dormer to the rear elevation as part of the loft conversion. Roof and dormer cheeks will be clad in standing seam zinc cladding, colour to match existing slates. Glazing will be uPVC, colour anthracite. Rainwater goods will be uPVC, colour black to match the existing property.
- 1 x additional 'conservation type' velux window to bring natural light and ventilation over the new staircase.

Proposal Notes:-

Due to height and perspective from the road, the presence of rooflights, particularly conservation velux windows, is minimal and will bring much needed daylight and ventilation into the attic space.

The dilapidated slate roof, including leadwork will be stripped and replaced with Marley tiles, colour grey as part of the proposed works.



Similar Proposals - Examples

Within the immediate context of the building, there are numerous examples of flat roof dormers of a similar scale to the one proposed. 16 Berridale Avenue is one of very few properties in the street which still maintains its existing slate roof. Most properties have stripped and replaced with black / grey tiles.

- 25 Berridale Avenue – front, rear and side dormers (flat roofs);
- 37 Berridale Avenue – rear dormer (flat roof);
- 58 Berridale Avenue – Front and rear dormer (pitched design);
- 60 Berridale Avenue – Front and rear dormers (pitched design);
- 22 Berridale Avenue – Rear dormer (flat roof).



22 Berridale Av



58 and 60 Berridalew Av