



**PROPOSED ESSENTIAL REPAIRS TO REAR ELEVATION FLAT ROOFS  
AT  
PURSLEY FARMHOUSE, SHENLEY WD7 9EN**

**HERITAGE STATEMENT**  
*November 2023*



**Photograph 1**  
*Rear elevation of Pursley Farmhouse showing flat roofs in need of urgent repair*

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## 2.0 INTRODUCTION

This Heritage Statement forms the main part of the Listed Building Consent Application for essential alterations and repair works relating to three flat roofs to Pursley Farmhouse.

The building itself is a Grade II listed property which lies within the boundary of the Conservation Area.

The full scope of works, justification for them, significance and Heritage Impact Assessment are set out within this Heritage Statement, with other relevant documentation provided within the Appendices.

This Heritage Statement explains the heritage values behind the works, and needs to be considered in relation to the following documents:

- Design & Access Statement
  
- Appendix A - Aerial Photograph Showing Proximity of Pursley Farmhouse to Other Nearby Listed Buildings
- Appendix B - Historic England Listing for Pursley Farmhouse
- Appendix C - Schedule of Listed Buildings in Pursley
- Appendix D - Shenley Conservation Area Appraisal Document
- Appendix E - Shenley Conservation Area Map
- Appendix F - Further History of Shenley Parish
- Appendix G - Roof Plan
- Appendix H - First Floor Plan
- Appendix I - Proposed Roof Section Detail
- Appendix J - Planning Portal History

### 3.0 CONTEXT

This application follows Tenant reports of several leaks to the areas underneath the flat roofs to the rear elevation of Pursley Farmhouse. Photograph 1 on the front cover of this Heritage Statement shows the cause of the issues, which involve the flat roofs to both the ground and first floors.

Close inspection has confirmed that all three roofs have reached the end of their lives and require replacement. As a temporary measure the flat roof to the main first floor has been covered with a tarpaulin to ensure the structure underneath is wind and watertight, pending Listed Building Consent for the re-roofing. This is shown in photograph 2 below.



*Photograph 2*  
*Main flat roof to first floor has been covered with a tarpaulin as a temporary measure to prevent further water ingress*

The Historic England listing for Pursley Farmhouse can be seen as Appendix B, and is highlighted in the Assessment of Significance section below. The building also lies within the boundary of the Conservation Area, as can be seen from the Conservation Area map within Appendix E.

This Heritage Statement includes a Heritage Impact Assessment which focusses largely on the potential impact the works might be considered to have on the listed building itself, as well as the potential impact that the works will have on the setting of any other Heritage Assets within the vicinity.

A history of the Parish of Shenley is outlined, as well as a brief assessment of significance of Pursley Farmhouse. The Conservation Principles adopted for the design and materials for the proposals is also set out within this document - all based on BS 7913 and the requisite Historic England guidance.

The Appendices should also be read in conjunction with this Heritage Statement as they provide relevant information hereafter referred to.

## 4.0 HISTORY OF SHENLEY PARISH

### Acknowledgements

The following information has predominantly gratefully provided by the following sources:

- Wikipedia
- "[Civil Parish population 2021](#)". *Neighbourhood Statistics*. Published by the Office for National Statistics.

Further details of the history of the Parish can be seen in Appendix F, which has been downloaded with gratitude from *British History Online*.

### Location & Boundary

Pursley Farm is located within the Parish of Shenley.

Shenley is a village and civil parish in Hertfordshire, England, between Barnet and St Albans. The village is located 14 miles from Central London. As of 2021, the population of the parish was 5,390; however, the Parish stretches far beyond the village itself; it is the largest parish in Hertsmer and is very rural, including hamlets and farming settlements such as Dancers Hill, Green Street, Kitts End, Ridge, Saffron Green, Shenleybury, and the largest other settlement, South Mimms. Image 1 below shows extent of the Parish boundary.



**Image 1**  
Location map of Parish pf Shenley within Hertfordshire

### History

The history of Shenley stretches back a thousand years or more - it is mentioned in the Domesday Book of 1086.

The name Shenley is based on the Anglo-Saxon *Scenlai*, *Scenlei* or *Senlai*, which means 'fair or bright clearing or wood'. In the early Middle Ages, southwest Hertfordshire was heavily wooded, with isolated farmsteads or hamlets in forest clearings. Shenley would have been one of these settlements.

By the 14th century, Shenley was considered to be a convenient parish for a country estate, being within reasonable reach of London. Its pure air, after the smoke and fog of the city made it a healthy place to live. The present village of Shenley apparently grew to accommodate the families of those providing a variety of services for the country estates of the gentry. Parish registers, dating back to 1657, include service occupations such as Coachmen, Bailiffs, Bakers and Labourers. Others worked in agriculture, as Cattle drovers, Shepherds and Millers. Craftsmen in Shenley included tailors, weavers, shoemakers, cordwainers, brick-makers, blacksmiths and carpenters. Tiles and bricks were made in the area, owing to the abundance of suitable clay.

Although many of Shenley's population were involved in humble occupations, the village was considered quite prosperous. In 1754 the village was assessed to be the sixteenth highest parish in the county (excluding the areas around St Albans) and by 1823, the rateable value of the parish was £9,796.00, with only nine other parishes in the county rating higher.

During the First World War, part of the land at Porters was requisitioned and used as an Aerodrome. Mr Raphael sold the land to Middlesex County Council in 1924 and, several years later, Shenley Hospital was built on the land. The design was such that as many of the existing buildings as possible were incorporated, including the mansion, the walled garden, stables and coach houses. King George V and Queen Mary officially opened the hospital in 1934.

Shenley Hospital remained in service for over 60 years. It was then sold off to property developers for housing. It was not without some trepidation that some of the old-time residents viewed what had been described as an annex to Shenley but what, in reality, would more than double the number of residences in the village. However, the development took place, but as well as houses, Shenley Park was developed and maintained for the enjoyment of the whole village. These included preserving the orchard and spinney for pleasant walks and recreation, landscaping the walled garden, which is often open

to the public and hosts a number of events throughout the year, redeveloping the tennis courts to a high standard, and, more recently, the introduction of a teashop and play area.

Shenley is also home to the training grounds of football clubs Watford (opened in 1999) and Arsenal (opened in 2000).

Manor Lodge School, an independent primary school for children aged 4–11, is located in the village. The school is based in a Grade II listed building formerly known as Shenley Lodge which appeared as the "Cat Lady"'s house in Stanley Kubrick's *A Clockwork Orange*. It was also home to Second World War double agent Eddie Chapman.

Shenley is also home to the Shenley Cricket Centre, which plays host to women's and U19 international matches in the summer. At the heart of the centre is the 19th-century pavilion, originally designed by W. G. Grace. The cricketing theme runs through many of the road names on the Porters Park housing estate.

Shenley Hall is a house built in the 19th century, which benefited from additions by Sir Edwin Lutyens in 1914.

The burial place of the English Baroque architect Nicholas Hawksmoor (1661-1736) lies in St Botolph's graveyard, Shenleybury, Shenley. The Church was deconsecrated in 1972 and the grave is now on private land. St Botolph's is also the final resting place of Formula One champion Graham Hill, who lived in Shenley during the 1970s.

The Parish Church of Shenley is now St Martin's Shenley, built in 1841.

## Notable Buildings

The Cage on the Pond on London Road which is shown in photograph 3 below is a Grade II listed building which dates from the 18th century. It was the village lock-up, originally for prisoners awaiting trial in St Albans or Chipping Barnet. A set of stocks stood nearby at one time.



*Photograph 3*  
*The Cage on the Pond is a village lock-up dating from the 18th century*

The structure is a small, circular building with a domed top, surmounted by a ball finial. A pointed timber plank door has strap hinges and there are two small, iron barred openings with stone tablets above bearing the inscription "DO WELL. AND FEAR NOT." on one and "BE SOBER. BE VIGILANT." on the other. Also inscribed is "1810" which is the date it was repaired after a tree grew through the roof.

## Demographics

In 2011 the population of Shenley was 4,474, rising to 5,390 by 2021 - an increase of 20.47% over the decade.

A plurality of the population is Christian, similar to the general trend in England and Wales. However, Shenley has an unusually high Jewish population, in keeping with neighbouring settlements in southwestern Hertfordshire.

## 5.0 PROPOSALS

### INTRODUCTION

These proposals relate to essential re-roofing of the three flat roofs to the rear elevation of Pursley Farmhouse, as shown in photograph 3 in the Context section above.

Although the works could be regarded as repairs, they require Listed Building Consent because of their extent and the change in material to the top surface.

Details for the proposals and the justification for them are set out in the Scope of Works section below, which follows the Conservation Principles applied to them.

### CONSERVATION PRINCIPLES

The proposals for the re-roofing works follow best conservation practice set out in BS 7913 and within the ICOMOS Articles, and therefore adopt the following Conservation Principles:

- The works will be carried out to halt or minimise deterioration and increase the longevity of the building's use.
- The works will result in minimal loss of historic fabric.
- The works will involve minimum intervention.
- New materials will be sensitive to the existing historic fabric.
- The repairs will be 'honest'.
- The materials used will be sustainable as far as possible.
- A full photographic record of the works will be undertaken before, during and on completion.

The existing flat roofs have reached the end of its lifespan, with increasing water ingress to several areas within the building and increasing damage to historic fabric. The re-roofing works will halt this deterioration and safeguard the future of the building, which is still used for its original purpose as a farmhouse.

All three roofs are relatively modern additions, although they are likely to pre-date the 1985 listing, as explained in the Assessment of Significance section below. They therefore have very little (arguably no) historic significance. Replacement will therefore involve no loss of historic fabric, with the proposals only involving replacement of these particular elements of the building. As the works are essential to prevent continuing water ingress the works can also be regarded as minimum intervention.

The replacement of the roofs has been carefully considered to be sensitive to the surrounding historic fabric as there will be no visible change in appearance from ground level, whilst also being 'honest' as the new surface will obviously be in a different material from the existing bitumen. If need be, this could also be easily reversible in the future.

In terms of sustainability, the estimated lifespan of the proposed EPDM membrane is up to sixty years, with the insulation underneath proven to reduce heat loss significantly. This also represents a significant improvement on the longevity of the existing bitumen covering.

A detailed photographic record of the works will be undertaken before, during and on completion, including an inspection of the condition of the underlying roofs once the top layers has been removed. This will be available for retention in the Local Authority archives, with a copy also provided to the Conservation Officer.

Thus key Conservation Principles set out within the ICOMOS Articles and BS 7913: *Guide to the Conservation of Historic Buildings*, and advocated by Historic England have been followed to ensure that the significance of the building is retained - and indeed enhanced.

### SCOPE OF WORKS

The proposals involve the replacement of the three flat roofs to the rear elevation of Pursley Farmhouse, which are:

- The single storey extension entrance above the Corridor and Bathroom
- The two storey extension above the two Bathrooms (with a Scullery to the ground floor)
- The two storey extension above the landing leading to the two Bathrooms

Full details of the scope of works is set out in this section, together with a detailed explanation/ justification for them in the section below this.

The location of the three flat roofs to the rear elevation of Pursley Farmhouse can be seen from photograph 3 above, and from the roof plan in Appendix G.

### Rear Elevation Single Storey Extension

Photograph 4 below shows the existing flat roof of the single storey extension to the rear elevation, from ground level perspective.



**Photograph 4**  
*View of rear elevation showing flat roof to single storey extension*

The proposed roof section detail shown in Appendix I details the construction of the new roof, with the full extent of the works comprising:

- Removal of the existing rubber compound roof covering.
- Inspection of the substrate underneath the existing roof membrane, and removal of all defective boarding and timbers.
- Installation of new replacement tanalised FSC softwood frame.
- Installation of Nilvent breathable membrane.
- Installation of Celotex 75mm thick TR26 insulation between rafters.
- Provision of Dark Grey EPDM rubber bond Fleeceback roof covering in lieu of the existing roof covering, laid in accordance with the Manufacturer's instructions.
- Replacement of existing ceilings as required with like-for-like material.

The scaffolding will be designed in accordance with best conservation practice, so will be independent of the structure to avoid any damage to historic fabric.

### Rear Elevation Two Storey Extension

Photograph 5 below shows the existing flat roof of the two storey extension from the South East side elevation, again from ground level perspective.



**Photograph 5**  
*View of South East side elevation showing flat roof to two storey extension*

The proposed roof section detail shown in Appendix J details the construction of the new roof, with the full extent of the works similar to the roof of the single storey extension and therefore comprising:

- Removal of the existing bitumen covering.

- Inspection of the substrate underneath the existing roof membrane, and removal of all defective boarding and timbers.
- Installation of new replacement tanalised FSC softwood frame.
- Installation of Nilvent breathable membrane.
- Installation of Celotex 275mm thick TR26 insulation.
- Provision of Dark Grey EPDM rubber bond Fleeceback roof covering in lieu of the existing roof covering, laid in accordance with the Manufacturer's instructions.
- Replacement of existing ceilings as required with like-for-like material.

As with the single storey extension, the scaffolding will be designed in accordance with best conservation practice, so will be independent of the structure to avoid any damage to historic fabric.

## JUSTIFICATION FOR WORKS

### General

There is no record of the construction of the three roofs on the Planning Portal (see Appendix J attached) but the design and materials used indicate that they were undertaken around the same time, which is most likely to be most likely about forty years ago. Both structures are therefore well beyond the end of their projected lifespans.

It is somewhat ironic that the extensive water ingress is occurring to elements of the listed building which have little or no historic significance as they are modern additions. The re-roofing works will therefore be undertaken in a modern material which has a long lifespan, which is in line with best practice Conservation Principles and which will not compromise the Historic Environment in any way.

### Rear Elevation Single Storey Extension

Although the flat roof covering to the single storey extension is a different rubber compound material, it is in a similar condition to the two storey extension, as can be seen from photograph 6 below. The spongy feel to the roof indicates the presence of moisture underneath, with the covering coming away from the substrate underneath.



**Photograph 6**  
Roof covering to has come away from substrate owing to long term moisture ingress

Plants have colonised the corner of this area (now removed) where it is dressed into the wall, as shown from photograph 7 below, causing another water trap, with consequent damage to the walls and ceiling below, and through to the adjacent Victorian Scullery.



**Photograph 7**  
*Close up of corner of roof above back door, with open joints causing water ingress*

Evidence of longstanding damp issues can also be seen from photograph 8 below, which shows further water staining behind the wallpaper within the rear entrance Corridor.



**Photograph 8**  
*Longstanding damp patches to entrance Corridor*

This Bathroom is also suffering in a similar way, with photograph 9 below showing water stains to the front corner which correspond to the open joint above where plants have been flourishing (as shown in photograph 7 above).



**Photograph 9**  
*Water staining & mould to corner of Bathroom*

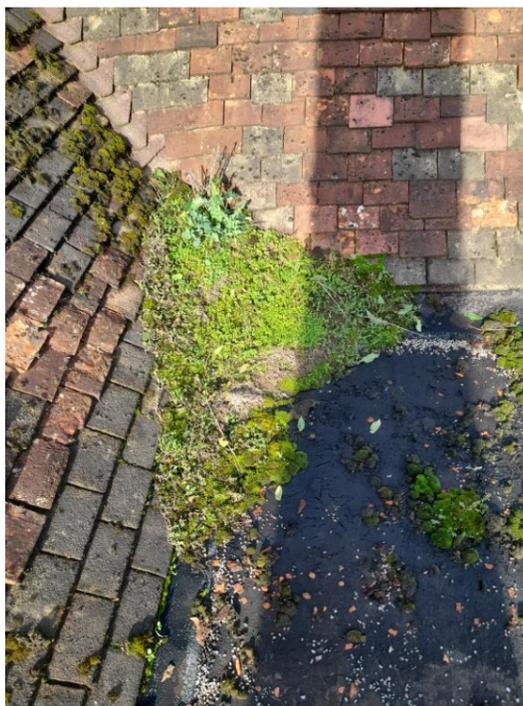
In the opposite corner the ceiling is also in a poor condition, with heavy water staining thwarting refurbishment works – as shown in photograph 10 below.



**Photograph 10**  
*Water ingress around ceiling has prevented completion of tiling to Bathroom*

### **Rear Elevation Two Storey Extension**

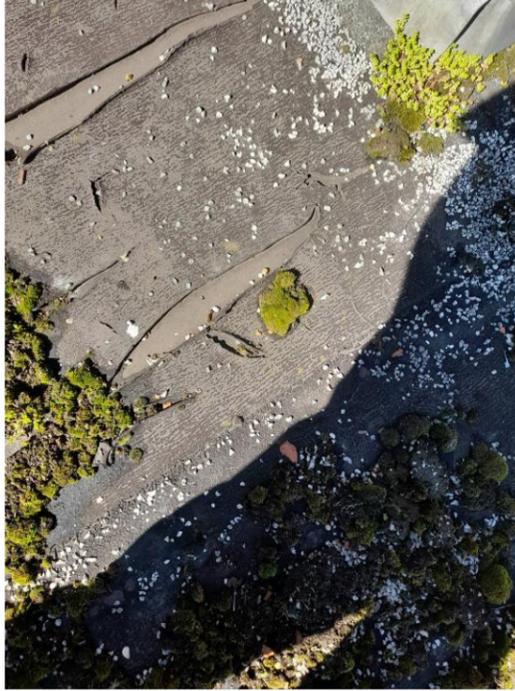
The external condition of the two flat roofs to the two storey extension speaks for themselves, with the lack of maintenance combined with the age of the roof covering causing the extensive water ingress, as highlighted in photograph 11 below which shows the area above the landing.



**Photograph 11**  
*Longstanding lack of maintenance to flat roof over two storey rear entrance has caused significant water damage to Landing underneath*

The build up of debris and plants has caused significant damage to the substrate underneath, as water has been able to penetrate behind the covering membranes, with consequent staining to the ceilings in the Landing and two bathrooms below.

The bitumen covering to the roof is also split in many places, as shown from photographs 12 - 13 below; with the latter also showing previous flashband repairs around part of the perimeter. These areas correspond directly to the water leaks in both bathrooms below.



**Photograph 12**  
*Wide splits to bitumen are evident in many places on two storey extension*



**Photograph 13**  
*Previous flashband repairs above first floor Ensuite Bathroom, with wide splits in bitumen directly in front*

The chimney has had a cement-based roughcast render applied which has deteriorated at the base as can be seen from photograph 14 below, with the open joint again exacerbating the water ingress issue.



**Photograph 14**  
*Open junction to base of chimney to two storey extension, enabling direct water penetration*

Internally, several areas are suffering. This can be seen and sensed from water-stained ceilings, mould and a musty smell throughout. Photograph 15 below for example shows the Bathroom off the Landing, with temporary support for the ceiling in the corner of the room to prevent its collapse.



**Photograph 15**  
*Temporary support to collapsing ceiling in Landing Bathroom*

In recent weeks the change in seasons has made the situation markedly worse, with puncture holes having to be made in ceilings to prevent collapse, as shown in photograph 16 below.



**Photograph 16**  
*Puncture hole in Ensuite Bathroom ceiling to release water & prevent collapse*

The damage the water is causing extends to all areas underneath the flat roofs, as can be seen from photographs 17 - 18 below which show extensive staining to the first floor Landing ceiling and walls.



**Photograph 17**  
*Water ingress to first floor Landing ceiling evident from extensive staining*



**Photograph 18**  
*Further damage to opposite side of first floor Landing ceiling*

It is therefore imperative that urgent remedial works are undertaken as soon as possible to prevent further damage and the potential; loss of historic fabric as the damp inevitably spreads further through the building.

## 6.0 HERITAGE IMPACT ASSESSMENT

### INTRODUCTION

The aerial photograph in Appendix A shows the West side of London Road and highlights the listed buildings in closest proximity to Pursley Farmhouse (the Barn to the side of the farmhouse, with Tomten further down London Road) which might be considered to be affected in terms of their settings. Pursley Farmhouse also lies just within the Shenley Conservation Area, as shown from the map in Appendix E, so the potential impact of the remedial works are also set out within this Heritage Statement.

The heritage impact that the proposed works will have is largely related to the historic fabric of the building itself, so this is covered in the section below. The measures taken to ensure the works undertaken will not be detrimental to the building in terms of aesthetics and materials is covered later on in the Design Section.

### THE SIGNIFICANCE OF THE ASSET

Significance needs to be understood in order to reduce the risk of losing or compromising the components of the site which are of value. Significance is defined within the National Planning & Policy Framework in Planning Policy Statement 5: Planning for the Historic Environment (PPS 5) (Annex 2) as:

*“The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic.”*

Section 4.1 of BS 7913 states:

*“Research and appraisal into the heritage values and significance of the historic building should be carried out to ensure that decisions resulting in change are informed by a thorough understanding of them. The level of the research appropriate is dependent on the nature and history of the historic building, (for example, any statutory protection) and any proposed works. Understanding the significance of a historic building enables effective decision making about its future.”*

The Significance Assessment that follows therefore considers the significance of Pursley Farmhouse as a listed building for the potential on its historic fabric as well as its setting. The Heritage Impact Assessment highlights what effects the works could have on these heritage elements, and the benefits that the proposals will add to the Heritage values.

The table overleaf sets out thresholds of significance which reflect the hierarchy for national and local designations, based on established criteria for those designations. The table provides a general framework for assessing levels of significance, but it does not seek to measure all aspects for which an asset may be valued - which may be judged by other aspects of merit, discussed in the paragraphs following.

### ASSESSMENT OF SIGNIFICANCE

Significance is defined within the National Planning & Policy Framework in Planning Policy Statement 5: *Planning for the Historic Environment* (PPS 5) (Annex 2) as:

*“The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic.”*

Section 4.1 of BS 7913 states that:

*“Research and appraisal into the heritage values and significance of the historic building should be carried out to ensure that decisions resulting in change are informed by a thorough understanding of them. The level of the research appropriate is dependent on the nature and history of the historic building, (for example, any statutory protection) and any proposed works. Understanding the significance of a historic building enables effective decision making about its future.”*

The proposed works are based on an thorough understanding of the significance of the potential impacts on the significance of the fabric of Pursley Farmhouse. They therefore follow best practice guidance set out by Historic England, and consider the main four conservation values as set out within BS 7913: *Guide for the Conservation of Historic Buildings* - namely heritage value, communal value, evidential value and historical value. The definitions of these values and the potential impact the proposed works on them is set out within the Heritage Impact Assessment section that follows.

The Significance Assessment that follows therefore considers the significance of Pursley Farmhouse itself. The Heritage Impact Assessment highlights what effects the works could have on any heritage elements, and the benefits that the proposals will add to the Heritage Values.

Table 1 below sets out how significance should be assessed.

SIGNIFICANCE	EXAMPLES
<b>Very High</b>	World Heritage Sites, Listed Buildings and Scheduled Monuments of exceptional quality, or assets of acknowledged international importance or can contribute to international research objectives. Grade I, Grade II* and Grade II Registered Parks and Gardens and historic landscapes and townscapes of international sensitivity.
<b>High</b>	Grade I, Grade II* and Grade II Listed Buildings and built heritage of exceptional quality. Grade I, Grade II* and Grade II Registered Parks and Gardens and historic landscapes and townscapes which are extremely well preserved with exceptional coherence, integrity, time-depth, or other critical factor(s).
<b>Good</b>	Scheduled Monuments, or assets of national quality and importance, or that can contribute to national research objectives. Grade II* and Grade II Listed Buildings, Conservation Areas with very strong character and integrity, other built heritage that can be shown to have good qualities in their fabric or historical association. Grade II* and II Registered Parks and Gardens, Registered Battlefields and historic landscapes and townscapes of good level of interest, quality and importance, or well preserved and exhibiting considerable coherence, integrity time-depth or other critical factor(s).
<b>Medium/ Moderate</b>	Grade II Listed Buildings, Conservation Areas, locally listed buildings and undesignated assets that can be shown to have moderate qualities in their fabric or historical association. Grade II Registered Parks and Gardens, Registered Battlefields, undesignated special historic landscapes and townscapes with reasonable coherence, integrity, time-depth or other critical factor(s).
<b>Low</b>	Assets compromised by poor preservation integrity and/or low original level of quality of low survival of contextual associations but with potential to contribute to local research objectives. Historic buildings or structures of low quality in their fabric or historical association. Locally-listed buildings and undesignated assets of low quality. Historic landscapes and townscapes with modest sensitivity or whose sensitivity is limited by poor preservation, historic integrity and/ or poor survival of contextual associations.
<b>Negligible</b>	Historic buildings or structures which are of limited quality in their fabric or historical association. Historic landscapes and townscapes of limited sensitivity, historic integrity and/or limited survival of contextual associations.
<b>Neutral/ None</b>	Assets with no surviving cultural heritage interest. Buildings of no architectural or historical note. Landscapes and townscapes with no surviving legibility and/ or contextual associations, or with no historic interest.

*Table 1  
How to assess significance*

## Heritage Values

Beyond the criteria applied for national designation, the concept of value can extend more broadly to include an understanding of the heritage values a building or place may hold for its owners, the local community or other interest

groups. These aspects of value do not readily fall into the criteria typically applied for designation and require a broader assessment of how a place may hold significance. In seeking to prompt broader assessments of value, Historic England's Conservation Principles categorises the potential areas of significance (including and beyond designated assets) under the following headings:

- **Evidential Value** - *'derives from the potential of a place to yield evidence about past human activity...physical remains of past human activity are the primary source of evidence about the substance and evolution of places, and of the people and cultures that made them...the ability to understand and interpret the evidence tends to be diminished in proportion to the extent of its removal or replacement'* (Historic England Conservation Principles - page 28).

Evidential value therefore relates to the physical remains of a building/structure and its setting, including the potential for below ground remains, and what this primary source of evidence can tell us about the past.

Pursley Farmhouse retains its mid to late twentieth century origins within its core and has had several alterations since then, most notably in the nineteenth and twentieth century. It retains many features typical of these periods, and based on the table it therefore has **moderate evidential value**.

- **Aesthetic Value** - *'Aesthetic values can be the result of the conscious design of a place, including artistic endeavour. Equally, they can be the seemingly fortuitous outcome of the way in which a place has evolved and been used over time. Many places combine these two aspects...aesthetic values tend to be specific to a time cultural context and appreciation of them is not culturally exclusive'* (page 30-31).

Aesthetic value therefore relates to the visual qualities and characteristics of an asset (settlement site or building), long views, legibility of building form, character of elevations, roofscape, materials and fabric, and setting (including public and private views).

Pursley Farmhouse itself is a rather non-descript building in terms of appearance, with a plain painted render finish and several phase of development including the two twentieth flat roof extensions which compromise its aesthetic value to a degree. Its setting has also been visually compromised by the modern buildings and concrete yard to the front and one side, but it still retains elements of aesthetic quality which includes its grouping with the listed barn.

Based on the table the building is therefore assessed as having **moderate aesthetic value**.

- **Historic Value** - *'derives from the ways in which past people, events and aspects of life can be connected through a place to the present. It tends to be illustrative or associative...association with a notable family, person, event, or movement gives historical value a particular resonance...the historical value of places depends upon both sound identification and direct experience of fabric or landscape that has survived from the past, but is not as easily diminished by change or partial replacement as evidential value. The authenticity of a place indeed often lies in visible evidence of change as a result of people responding to changing circumstances. Historical values are harmed only to the extent that adaptation has obliterated or concealed them, although completeness does tend to strengthen 'illustrative value'* (page 28-30).

Historic value therefore relates to the age and history of the asset, its development over time and the strength of its tie to a particular architectural period, person, place or event. It can also include the layout of a site, the plan form of a building and any features of special interest.

Pursley Farmhouse has significant value in the fact that it retains its original purpose as a farmhouse, albeit much altered. The adaptations it has had since it was built in the seventeenth century relate to the needs and fashions of the time, and as it still retains many features from these periods, based on the table above, it can therefore be assessed as having **moderate historic value**.

- **Communal Value** - *"Commemorative and symbolic values reflect the meanings of a place for those who draw part of their identity from it, or have emotional links to it...social value is associated with places that people perceive as a source of identity, distinctiveness, social interaction and coherence. Some may be comparatively modest, acquiring communal significance through the passage of time as a result of a collective memory of stories linked to them...they may relate to an activity that is associated with the place, rather than with its physical fabric...spiritual value is often associated with places sanctified by longstanding veneration or worship, or wild places with few obvious signs of modern life. Their value is generally dependent on the perceived survival of the historic fabric or character of the place, and can be extremely sensitive to modest changes to that character, particularly to the activities that happen there."* (Page 31-32).

Communal value therefore relates to the role an asset plays in a historic setting, village, town or landscape context, and what it means to that place or that community. It is also linked to the use of a building, which is perhaps tied to a local industry or its social and/or spiritual connections.

Pursley Farmhouse has had an important presence in a small community for around four hundred years, adapting to different roles as farming has changed during this long period. It has been a well known local building within the town which will have been much appreciated by locals and visitors, no doubt being a focal point for many social events in the past, with communal value as a result of this association.

It also holds Group Value within the historic Conservation Area, and for its rural setting with the adjacent Grade II listed Tythe barn.

Therefore, based on the table above it is assessed as having **moderate communal value**.

### Determination of Magnitude of Heritage Impact

Once the value and significance of an asset has been assessed, the next stage is to determine the 'magnitude' of the impact brought about by proposed works. This impact could be a direct physical impact on the asset itself or an impact on its wider setting, or both. The table below sets out the levels of impact that may occur and to what degree their impacts may be considered to be adverse or beneficial.

MAGNITUDE OF IMPACT	TYPICAL CRITERIA DESCRIPTORS
<b>Very High</b>	<p><b>Adverse:</b> Impacts will destroy cultural heritage assets resulting in their total loss or almost complete destruction.</p> <p><b>Beneficial:</b> The proposals would remove or successfully mitigate existing and significant damaging and discordant impacts on assets; allow for the substantial restoration or enhancement of characteristic features.</p>
<b>High</b>	<p><b>Adverse:</b> Impacts will damage cultural heritage assets; result in the loss of the asset's quality and integrity; cause severe damage to key characteristic features or elements; almost complete loss of setting and/or context of the asset. The assets integrity or setting is almost wholly destroyed or is severely compromised, such that the resource can no longer be appreciated or understood.</p> <p><b>Beneficial:</b> The proposals would remove or successfully mitigate existing damaging and discordant impacts on assets; allow for the restoration or enhancement of characteristic features; allow the substantial re-establishment of the integrity, understanding and setting for an area or group of features; halt rapid degradation and/ or erosion of the heritage resource, safeguarding substantial elements of the heritage resource.</p>
<b>Medium</b>	<p><b>Adverse:</b> Moderate impact on the asset, but only partially affecting the integrity; partial loss of, or damage to, key characteristics, features or elements; substantially intrusive into the setting and/or would adversely impact upon the context of the asset; loss of the asset for community appreciation. The assets integrity or setting is damaged but not destroyed, so understanding and appreciation is compromised.</p> <p><b>Beneficial:</b> Benefit to, or partial restoration of, key characteristics, features or elements; improvement of asset quality; degradation of the asset would be halted; the setting and/or context of the asset would be enhanced and understanding and appreciation is substantially improved; the asset would be brought into community use.</p>
<b>Minor/ Low</b>	<p><b>Adverse:</b> Some measurable change in assets quality or vulnerability; minor loss of or alteration to, one (or maybe more) key characteristics, features or elements; change to the setting would not be overly intrusive or overly diminish the context; community use or understanding would be reduced. The assets integrity or setting is damaged but understanding and appreciation would only be diminished not compromised.</p> <p><b>Beneficial:</b> Minor benefit to, or partial restoration of, one (maybe more) key characteristics, features or elements; some beneficial impact on asset or a stabilisation of negative impacts; slight improvements to the context or setting of the site; community use or understanding and appreciation would be enhanced.</p>
<b>Negligible</b>	Barely discernible change in baseline conditions.
<b>Nil</b>	No discernible change in baseline conditions.

*Table 2  
How to assess magnitude of heritage impact*

Using both tables above to quantify the asset, Pursley Farmhouse can be considered to hold a **moderate level of heritage value**, whilst the proposed impact of works can be considered to have a **high beneficial impact** on the aesthetic, historic, and communal heritage values of the building, as they represent essential remedial works to prevent water ingress which will ensure the structure can be retained as far as possible in its current form.

## HERITAGE IMPACT ON SETTING

The justification for the provision of the proposals in terms of the setting of the five listed buildings within its vicinity stems directly from the NPPF and related guidance in the Planning Practice Guide on managing change within the settings of Heritage Assets, and also from the Historic England Good Practice Advice entitled *The Setting of Heritage Assets*.

Setting is defined within the NPPF as:

*'The surroundings in which a Heritage Asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.'*

In making the assessments on the impact of the works on the five listed buildings that might be considered to have a setting impact, it can be seen that the five steps recommended by Historic England have been accounted for - namely:

- Step 1: Identify which Heritage Assets and their settings are affected.
- Step 2: Assess the degree to which these settings make a contribution to the significance of the Heritage Asset(s) or allow significance to be appreciated.
- Step 3: Assess the effects of the proposed development, whether beneficial or harmful on that significance or on the ability to appreciate it.
- Step 4: Explore ways to maximise enhancement and avoid or minimise harm.
- Step 5: Make and document the decision and outcomes.

The historic importance of Shenley Parish can be seen from its Conservation Area as well as its 40 listed buildings - a significant percentage for a town with a population of 5,390 (2021 Census figures). The full schedule of listed buildings can be seen in Appendix B, which highlights that the majority of Pursley's listed buildings are centred within the historic in the area around the Museum.

An assessment on the potential heritage impact on the setting of the Conservation Area and on the two listed buildings (the Tythe barn and Tomten) within the vicinity of the Pursley Farmhouse has been undertaken. The aerial image in Appendix A shows the proximity of these buildings.

This is assessed below, demonstrating that all proposed changes are proportionate to the Heritage Asset, as set out within the NPPF guidelines.

### Shenley Conservation Area

A brief history of Shenley Parish is described within Section 4 of this Heritage Statement above, which is also set out in greater detail in the excellent Local Authority 2012 Conservation Area Appraisal document which can be seen in Appendix D.

The Conservation Area for Shenley was first designated in 1969. This early list inclusion reflects the importance of the Parish in terms of its heritage. There are three distinct elements of the Conservation Area that form the whole in Shenley, with Pursley Farmhouse at the tip of Area 1, as can be seen from the map in Appendix E.

Section 1.8 of the Local Authority Appraisal document relate to the character of the London Road Area:

*"Shenley Conservation Area is based on still recognisable traces of a hamlet and its rural setting in the form of the original core of the village and its gradual expansion in the linear form of London Road, which continues to form the spine of the village. Its relationship with the surrounding countryside and nearby rural estates is represented in a rural arm to the east and west of London Road, elements of the Shenley Grange estate."*

The Local Plan and the NPPF places a requirement for alterations to be proportionate to the Heritage Assets and to show positive benefit to the assets themselves, to the Historic Environment or to the community.

It also states that:

*"It is important that the development management process ensures the preservation of its special character and that opportunities are taken to identify and implement enhancements"*

## Heritage Impact in Relation to Conservation Area

A map showing the location and extent of Shenley Conservation Area can be seen from Appendix E, which includes Pursley Farmhouse and the Tythe barn, but not other modern buildings within the yard.

In terms of the five-step guidance for the Historic England guidance on the setting of Heritage Assets, the proposed new roofs will not be visible from any distance, and as they will safeguard the structure for its continued original purpose as a farmhouse they will undoubtedly make a positive contribution to the Conservation Area in terms of its setting.

The significance of the farmhouse is set out in the Conservation Appraisal document which led to the building being added to the Conservation Area in 2012.

Section 1.4 from this document states:

*“There was a good case for extending the boundary further south along London Road towards Silver Hill. This is an attractive, transitional approach from the countryside into the village. It takes-in buildings of traditional forms and scale and which are part of the village rather than detached from it. Includes Pursleys Farm - those buildings closest to the road i.e. the Farm House (2 London Road), and the timber barn (Listed Buildings ref 07/267 & 07/268).”*

The flat roofed extensions form part of the rear elevation of Pursley Farmhouse, hidden away from the significant views set out within the Conservation Area Appraisal document and looking out to the modern farm structures which have been omitted from the Conservation Area owing to their lack of significance.

Whilst they can be regarded as incongruous in terms of the rest of the historic building, the replacement roofs will not increase the height or result in any visible change, and thus there will be no impact on the character of the Conservation Area.

## Pursley Farmhouse

The rear elevation of Pursley Farmhouse where the two flat roofs are located can be seen on the front cover of this Heritage Statement, whilst the front elevation of this Grade II listed building can be seen from photograph 23 below.



**Photograph 19**  
Front elevation of Grade II listed Pursley Farmhouse

The National Grid Reference (NGR) for the building is TQ 1946299977.

Pursley Farmhouse was listed as recently as 12<sup>th</sup> August 1985. The Historic England citation (List Entry Reference Number 1103507) reads as follows:

*“House. Mid to late C17, extended and altered c.1840. Timber frame, extended in brick. Rendered and whitewashed. Tiled roofs. Originally L plan with 3 bay front and 1 bay rear wing. 2 storeys and attic. Original front to road; central entrance under timber porch with hipped, tiled roof. C19 flush frame architraved sashes. Right return: later ground floor canted bay, first floor sash, attic casement, bargeboarded gable. Attached at rear right: 2 storey C19 block, mixed fenestration. Tall stack to rear of right 'parlour' bay. 1 storey rear extensions. Sashes to rear of original wing, some flush frame, some in reveals. Added to left and set back a separately roofed mid C19 block presenting 3 bay front to yard: central entrance in gabled porch, sashes with cambered heads, twin bargeboarded gables. Gabled to left end. 2 tall stacks in valley where C19 block meets earlier building. Interior: stopped chamfered ground floor binding beams, exposed joists. c.1840 stair with iron balusters and parlour fireplace. (RCHM Typescript).”*

Pursley Farmhouse is a mid to late seventeenth century farmhouse which although much altered retains many original features from its many incarnations. It also retains its original purpose as a farmhouse, with the current family occupants still working the farm.

The most recent additions are the two flat roof extensions to the rear elevation, both of which are believed to date from the early 1980's. They have no historic significance or aesthetic merit, and it is these that require urgent attention. The ground storey of the two storey extension was the former Victorian Scullery dating from the 1840's, with the first storey the recent addition.

### Heritage Impact of Works on Setting of Pursley Farmhouse

Pursley Farmhouse sits on the Western periphery of the London Road Conservation Area (Area 1). It is set back from the main road, largely obscured by the Grade II listed Tythe barn which forms an integral part of the estate and range of farm buildings. The map showing its location can be seen from Appendix E. The modern range of agricultural buildings are excluded from the Conservation Area.

The new roof will not result in any visible change to the building – the flat roof to the single storey extension has a similar rubber compound covering so the works will effectively be undertaken on a like-for-like basis, whilst the roof covering to the two storey extension is in bitumen and will be replaced with an EPDM rubber membrane in dark grey with no design changes to the roof, and again will not be visible from ground level. This means that they will not be detrimental in any way to the current setting of the Farmhouse.

In addition, as both roofs are relatively modern additions (ie within the last forty years or so) none of the proposed works will result in the loss of historic fabric; indeed the very reason for the works is to prevent further water ingress and potential damage to adjoining historic fabric so they can be regarded as of significant benefit.

### Other Listed Buildings

There are currently 40 listed buildings in Shenley, a list of which can be seen in Appendix C. The aerial plan seen as Appendix A shows the proximity of those listed buildings (the Tythe barn and Tomten) which may be considered to be impacted by any works in relation to their settings - although as the following section shows they will have no view of the replacement roofs, and their setting will remain unchanged as the only alteration will be to the finish coverings on the two storey extension. The proposals can therefore certainly be considered as *less than substantial*, and they will have significant positive benefit as they will prevent further water ingress and safeguard the future of Pursley's Farmhouse.

### Barn to West of Pursley Farmhouse

This fine Grade II listed building Tythe barn can be seen from photograph 20 below.



**Photograph 20**  
Front elevation of Grade II listed Barn to West of Pursley Farmhouse

The National Grid Reference (NGR) for the building is TQ 1944199982.

The barn was listed on 12<sup>th</sup> August 1985, with specific mention of its contribution towards Group Value. The Historic England citation (reference Source ID 1346956) reads as follows:

*"Barn. C18. Timber frame, weatherboarded. Tiled roof. 5 bays. Aisles added. Central gabled threshing bay towards yard. Doors and windows to yard. Low gabled extension to gable end nearest house. Interior: Tenoned purlins. Collar beams and queen struts to principals. Braced straight tie beams. Studding and curved tension braces in walling to NE."*

The barn is still used for the purpose it was built – for agricultural purposes, albeit largely storage – and this has meant that it still retains much of its original features. In recent years structural supporting works have been undertaken, with more evidently required, but it retains much of its significance even if its setting has been compromised to a degree with the changes to the farmyard in front of it.

### **Heritage Impact of Works on Setting of Barn to West of Pursley Farmhouse**

Whilst the setting of the barn has been compromised to the front elevation in recent years, its setting to the rear elevation (facing the road) and to the South East looking towards the Farmhouse remains very much intact, as can be seen from photograph 21 below.



**Photograph 21**  
*View towards Pursley Farmhouse from closest element of Barn, highlighting that there will be no impact from the proposed works on its setting*

This photograph shows the close proximity of the neighbouring Farmhouse, and the potential impact of any works to the front elevation; but as the roof works are being undertaken to the rear they are not visible in any way as they are entirely screened from view.

Thus the setting of the barn will remain unaffected.

### **Tomten**

Tomten is a fine mid to late eighteenth century Grade II listed rendered house with a tiled roof and its original sash windows. It has a later side extension and as with Pursley Farmhouse lies just within the West side boundary of the Conservation Area, on the opposite side of London Road. The building is shown in photograph 22 below.



**Photograph 22**  
*Grade II listed Tomten*

The National Grid Reference (NGR) for the building is TQ 1947499876.

It was a very early listing, on 25<sup>th</sup> February 1952, with the Historic England citation (reference Source ID 1103506) reading as follows:

*“House. Mid to late C18, extended. Whitewashed brick, tiled roof. 2 storeys, 5 windows. Steps up to central entrance: 4 panelled door with semi-circular traceried light above in rectangular opening. Doorcase*

*with consoles to hood. Plinth. Glazing bar casements in deep reveals. Dentilled close eaves. 2 end stacks with oversailing courses. Right return: pebbledashed with lower 2 storey block attached, now surgery, possibly an earlier range, 1 ground floor 3 light casement, first floor oculus. Large flat topped sashed dormer abuts onto main house. End stack and further low extension to right. Left return pebbledashed, 1 storey gabled brick extension. Separately roofed extension to rear right. Interior not inspected."*

*."*

### **Heritage Impact of Works on Setting of Tomten**

Tomten lies diagonally across the field from Pursley Farmhouse at a distance in excess of 200 metres away. It is also well screened behind a mature hedge, with London Road and a second hedge between the properties. This view can be seen from photograph 23 below.



**Photograph 23**  
*View looking towards Tomten from Pursley Farmhouse*

The proximity of Tomten in relation to the Pursley Farmhouse can also be seen from the aerial image in Appendix C, and from photograph 24 below - the opposite view from Tomten towards the Farmhouse.



**Photograph 24**  
*View of Pursley Farmhouse from Tomten*

This photograph shows that only a small section of the two storey flat roof can be seen (in the Winter when the leaves have fallen off the trees), but at this distance there will be no visible difference and again the setting will remain unaffected by the proposed works.

## 7.0 DESIGN

### Introduction

This section should be read in conjunction with the Design & Access Statement, which forms a mandatory part of this Listed Building Consent application.

### Design Principles

Careful considerations of the design elements has been undertaken and is set out separately in the Heritage Impact Assessment section that follows, to ensure that the setting of Pursley Farmhouse itself as well as any other Heritage Assets within the vicinity (the Tythe barn and Tomten) will not be compromised - a key requirement set out within the NPPF.

The main principles behind the consideration of all design aspects is to match up with accepted best conservation practice, as set out within the Society of Ancient Buildings Manifesto, the ICOMOS Articles and BS 7913 *Guide to the Conservation of Historic Buildings*. These careful considerations will undoubtedly ensure that the building will continue to make a positive contribution to its setting and to its historic environment - as required within the NPPF.

In terms of Conservation Area considerations, the guidance set out in the Local Authority Conservation Area Advice Guide published in November 2015 has been followed, which states that:

*“Proposed works which are within or adjacent to a Conservation Area and require planning permission, are constrained by the need to respect the special character of the area.”*

As the proposals involve minimal visible intervention and the replacement roofs will be undertaken to a similar profile, with the EPDM membrane in a dark grey colour, the appearance from any distance will not be perceptible. A full photographic record of the proposed works will be undertaken prior to commencement, during the works and on completion.

The use of this material will ensure sustainability owing to its longevity, with any pointing or repair works undertaken in traditional lime mortar and any dressing required in traditional lead.

The National Planning Policy Framework, BS 7913: 2013 - *Guide to the Conservation of Historic Buildings* (Section 5.2) and best conservation practice encourages this approach, and the remedial works will ensure the long-term survival of the structure.

The main design principles that have been adopted to ensure that these objectives have been met are:

- Careful consideration of aesthetics for both traditional and new materials, to ensure that any works compliment the Historic Environment.
- Careful consideration on the use of appropriate and sustainable traditional materials which will be sourced locally as far as possible to minimise their carbon footprint.
- The works have been designed to minimise future maintenance requirements.
- In line with Conservation Principles adopted for the works, a full photographic record of the works will be undertaken for future reference.

### Benefits

NPPF paragraph 196 states that where a development proposal will lead to *less than substantial harm* to the significance of the Heritage Asset, this harm should be weighed against the public benefits of the proposal.

The replacement flat roofs to Pursley Farmhouse are essential, as can be seen from the internal and external photographs within this Heritage Statement.

The works will therefore have significant benefit for Occupiers and visitors to the building, and will ensure the continued original use of a listed building within a Conservation Area.

As the proposal lies within a Conservation Area, the nature of the proposed site follows guidance to the Planning (Listed Building and Conservation Area) Act (more commonly referred to as ‘P(LBCA) Act’) 1990 include Section 66 which states that there is an expectation for Local Planning Authorities:

*‘to have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses’*

while Section 72 requires special attention to be given to:

*‘the desirability of preserving or enhancing the character or the appearance.’*

These essential remedial works will have no detrimental impact on the setting of any Designated Heritage Asset in close proximity, nor on the original building itself (with no loss of historic fabric), nor on the Conservation Area within which all of these listed buildings lie. The character and appearance of the Historic Environment will therefore be preserved.

## 8.0 CONCLUSION

This Heritage Statement forms the main part of a Listed Building Consent application for essential replacement of the three flat roofs to the rear elevation of the Grade II listed Pursley Farmhouse. Both the single storey extension and the upper part of the two storey extension housing the flat roofs are recent additions and have no historic or aesthetic merit.

The works are essential owing to increasing longstanding issues with water ingress to the areas immediately below the roofs.

The Heritage Impact Assessment within this Heritage Statement demonstrates that there will be no loss of historic fabric, nor will there be any potential heritage impact on the setting of any of the Designated Heritage Assets within the vicinity (the Tythe barn and Tomten), Pursley Farmhouse itself and the Conservation Area in which they all sit).

This Heritage Statement has been prepared by an Accredited Conservation Consultant to ensure that the approach to all elements has been carefully considered in the best interests of conservation - hence they follow best practice Conservation Principles and practice in accordance with the ICOMOS Articles, BS 7913: *Guide for the Conservation of Historic Buildings*, and the NPPF.

Careful consideration has also been given to all aspects of the proposals in terms of design, to dovetail with the Heritage Values set out by Historic England and within the ICOMOS Articles - so that the evidential, aesthetic, historic and communal values of Pursley Farmhouse will not be affected.

From a heritage perspective, the proposals are therefore in accordance with the NPPF as they will not only no undue harm to any Designated Heritage Asset and indeed will provide significant benefit as they will safeguard the building to ensure it can continue to be used for its original purpose for future generations to enjoy.

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Planning Portal History



# PURSLEY FARM HOUSE, 2, LONDON ROAD

## OFFICIAL LIST ENTRY

Heritage Category:

**Listed Building**

Grade:

**II**

List Entry Number:

**1103507**

Date first listed:

**12-Aug-1985**

List Entry Name:

**PURSLEY FARM HOUSE**

Statutory Address 1:

**PURSLEY FARM HOUSE, 2, LONDON ROAD**

### Location

Statutory Address:

**PURSLEY FARM HOUSE, 2, LONDON ROAD**

The building or site itself may lie within the boundary of more than one authority.

County:

**Hertfordshire**

District:

**Hertsmere (District Authority)**

Parish:

**Shenley**

National Grid Reference:

**TQ1946299977**

## Details

TQ 19 NE SHENLEY LONDON ROAD (Northeast side) Shenley

7/267 No. 2 (Pursley Farm House)

### GV II

House. Mid to late C17, extended and altered c.1840. Timber frame, extended in brick. Rendered and whitewashed. Tiled roofs. Originally L plan with 3 bay front and 1 bay rear wing. 2 storeys and attic. Original front to road; central entrance under timber porch with hipped, tiled roof. C19 flush frame architraved sashes. Right return: later ground floor canted bay, first floor sash, attic casement, bargeboarded gable. Attached at rear right: 2 storey C19 block, mixed fenestration. Tall stack to rear of right 'parlour' bay. 1 storey rear extensions. Sashes to rear of original wing, some flush frame, some in reveals. Added to left and set back a separately roofed mid C19 block presenting 3 bay front to yard: central entrance in gabled porch, sashes with cambered heads, twin bargeboarded gables. Gabled to left end. 2 tall stacks in valley where C19 block meets earlier building. Interior: stopped chamfered ground floor binding beams, exposed joists. c.1840 stair with iron balusters and parlour fireplace. (RCHM Typescript).

Listing NGR: TL1946299977

## Legacy

The contents of this record have been generated from a legacy data system.

Legacy System number:

**164322**

Legacy System:

**LBS**

# Listed Buildings in Shenley, Hertsmere, Hertfordshire

1. II 114, London Road
2. II 118, London Road
3. II 4 and 5, Pound Lane
4. II Barn About 20 Metres South West of Numbers 1 and 2 Auriol Farm Cottages
5. II Barn About 30 Metres East of Shenley Hill Farm House
6. II Barn About 40 Metres West of Numbers 1 and 2 Auriol Farm Cottages
7. II Barn Immediately West of Number 2 (Pursley Farm House)
8. II Barns About 70 Metres North West of Salisbury Hall
9. II Bridge, Gateposts, and Revetment to Moat
10. II Buckettsland Farm House and Barn
11. II Church of St Martin
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17. II London Coal Duty Marker on District Boundary About 350 Metres North East of Wild Farm
18. II Lyndhurst
19. II Manor Cottages
20. II Nell Gwynn Cottage
21. II Nicholas Hawksmoor Memorial About 20 Metres East of St Botolphs
22. II Pursley Farm House

23. II Rosemount
24. II\* Salisbury Hall
25. II Shenley Hall
26. II Shenley Hill Farm House
27. II Shenley Lodge
28. II\* St Botolphs
29. II Thatched Cottage
30. II Thatched Cottage
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# SHENLEY

## Conservation Area Appraisal

### 2012



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## Part 1 Conservation Area Character Appraisal

### 1.0 INTRODUCTION

#### *Background*

- 1.1 This appraisal was conducted to define the special interest of Shenley Conservation Area in order to help preserve and enhance its character, and to provide a basis for making sustainable decisions about its future. It also included a review of the current conservation area boundary.
- 1.2 It was carried out for Hertsmere Borough Council during 2010/11 by BEAMS, part of the Hertfordshire Building Preservation Trust. It draws on an earlier appraisal prepared by BEAMS in 2000 but not published. No part of this publication may be reproduced or transmitted in any form without the prior permission of Hertsmere Borough Council.
- 1.3 Following public consultation on proposals in the draft Appraisal, several further alterations have been made to the conservation area boundary in June 2012 (Map A). Ashmeads Court, Pursley Farm House & barns, 1, 3, 5, 7, 9, 11, 13, 15 and 15A London Road are now included within the conservation area; and all properties in Juniper Gardens, Rowan Close, Mulberry Gardens, Hazel Court, Whitebeam Close, 22 Andrew Close, 29 Pippin Close, 6 Wickets End, "The Gateways" Radlett Lane and "The Dell" Radlett Lane were removed from the conservation area.
- 1.4 Shenley Conservation was first designated in 1969. The Area includes the linear extent of Shenley Village either side of the London Road; land to the east along Rectory and Harris Lanes up to Shenley Hill; and to the west, land beside Radlett Lane comprising 40 acres of the former hospital site. The conservation area divides into these three distinct character areas.
- 1.5 A conservation area is defined in the Planning (Listed Building and Conservation Areas) Act 1990 as "an area of special architectural or historical interest, the character or appearance of which it is desirable to preserve or enhance."
- 1.6 Section 71 of the same Act requires local planning authorities to from time to time formulate and publish proposals for the preservation and enhancement of these conservation areas. Section 72 also specifies that, in making a decision on an application for development in a conservation area, special attention should be paid to the desirability of preserving or enhancing the character or appearance of that area.
- 1.7 Part 1 of this appraisal highlights the special qualities and features that underpin the conservation area and justify its designation. Guidelines provided in Part 2 ("Management Proposals") are designed to prevent harm and encourage enhancement. This type of assessment conforms to English Heritage guidance and to Government advice. It also supports and amplifies those policies aimed at protecting the overall character of conservation areas forming part of Hertsmere Borough Council's Local Plan.





### ***Definition of Special Interest***

- 1.8 Shenley Conservation Area is based on still recognisable traces of a hamlet and its rural setting in the form of the original core of the village and its gradual expansion in the linear form of London Road, which continues to form the spine of the village. Its relationship with the surrounding countryside and nearby rural estates is represented in a rural arm to the east and west of London Road, elements of the Shenley Grange estate.
- 1.9 The north-west area, the park land encompasses Porters Park and elements of the former hospital - although most of the former hospital buildings were demolished and replaced with housing.



north-east between Radlett and Redwell Woods, south of the Vale of St Albans; its slope appears prominent against the open St Albans Vale (Website 3).

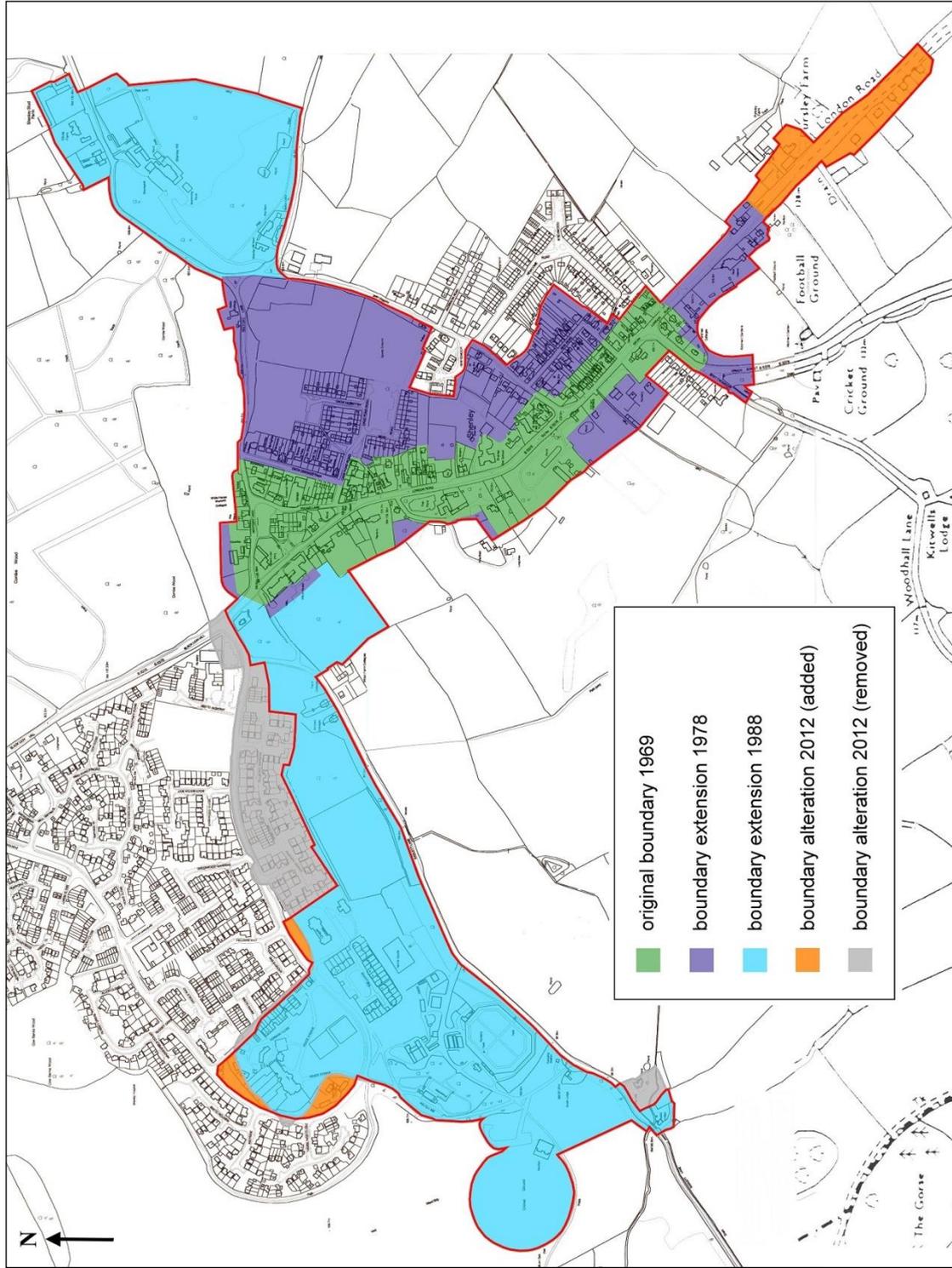
- 2.5 The predominant land-uses within Shenley village are residential with some small-scale commercial, religious, educational, and out-door leisure. At the north end of the village, two public houses and housing occupies the triangular area bounded by London Road, Rectory Lane and Pound Lane along with a pond and an 18<sup>th</sup> century lock-up at its southern tip. The remainder of the village lies along both sides of London Road and extends to the east by adjoining residential roads (Cage Pond Road, Harris Lane and New Road) and to the south-west (Woodhall Lane). Open amenity space lies east of the village along Harris Lane. Shenley village is surrounded by open fields and farmland. To the north-east along Rectory Lane, the village is joined by a large property, Shenley Hill, and Shenley Stud Farm. There are many well established individual / groups of trees within the conservation area; the amenity space on Harris Lane, at Shenley Hill, and on land behind Wilton House at the north-west corner of the village.
- 2.6 Porters Park lies on the north side of Radlett Lane and joins London Road at its east end. From its junction with Shenley village, Porters Park slopes gently down in a westward direction reaching 95 metres above sea level at its lowest point (Auriol Lodge). The predominant uses within the park area are residential and leisure. Porters Park comprises the Mansion House and associated buildings, along with later structures that formed Shenley Hospital (1934 - 1998), and Shenley Cricket Ground. The park was partly re-developed for housing when the hospital closed but many well established individual / groups of trees remain, especially within the grounds owned by The Shenley Park Trust, who have a 150 year lease and manage the walled garden and its 45 acres of woodland, orchard and meadow.

### **Geology**

- 2.7 According to the Landscape Character Assessment of Shenley Ridge, the geology of this area is predominantly Tertiary clay overlaid by acidic seasonally waterlogged soils with some brown subsoils - Windsor series (Website 3). Locally there are areas of fine loamy and silty soils over the clays. On the higher ground around Shenley the geology is plateau and river terrace drift overlaid by seasonally waterlogged loamy, fine loamy and fine silty over clayey soils - Essendon association (Website 3). This closely relates to the type of materials that have been used to construct local buildings (i.e. brick and tile).

### **Archaeology**

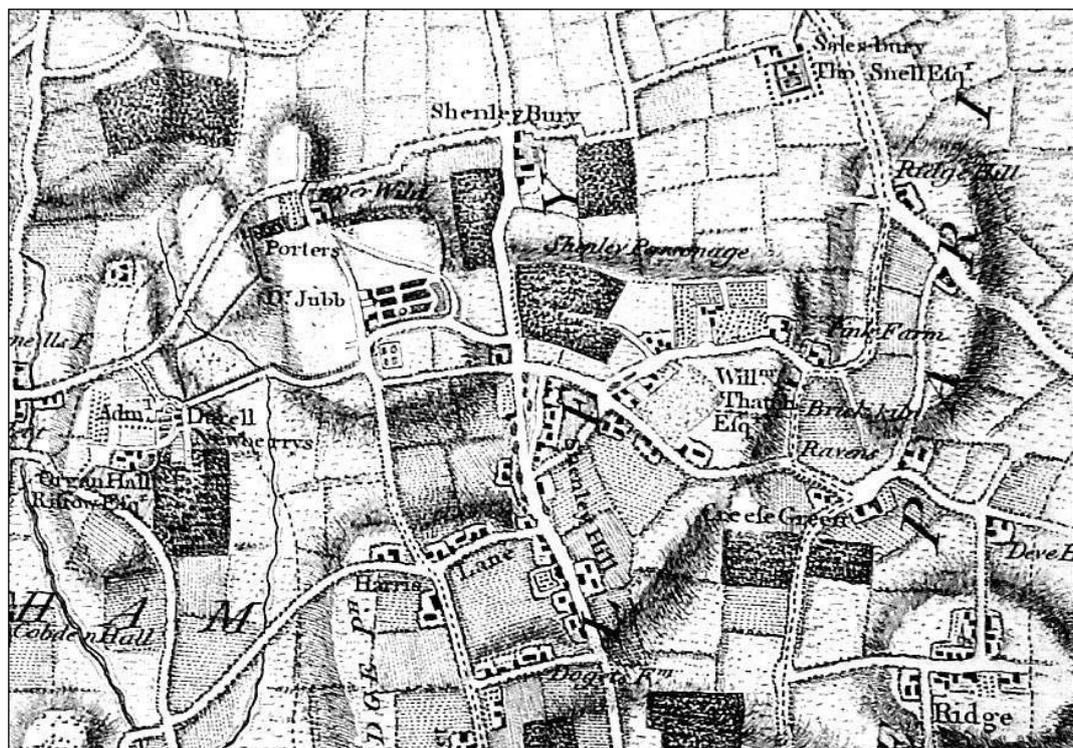
- 2.8 The place name Shenley is based on the Anglo-Saxon *Scenlai*. Settlement was initially located at Shenleybury one mile north-west of the present village. Later development shifted southwards adjacent to the present village green and pond – the village being formerly known as Shenley Hill.
- 2.9 There are several WWII Pill Boxes around the village – for instance, on Radlett Road just south-west of South Lodge. Further examples (all outside the conservation area boundary but Locally Listed (refs: 371, 372 & 329) are at Woodhall Lane and south of Green Street.



**Map C.** Previous changes to the boundary of the conservation area current boundary (outlined in red) as of 8<sup>th</sup> June 2012.  
Base Ordnance Survey map provided by Hertsmere Borough Council 2011

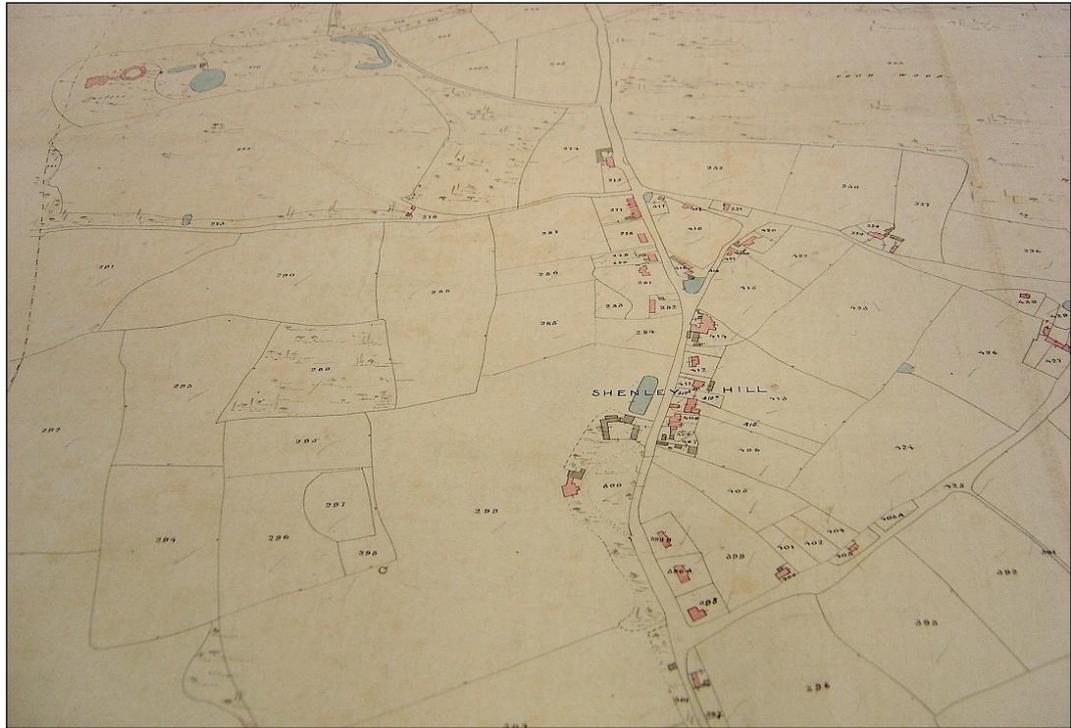
### 3.0 THE HISTORICAL DEVELOPMENT OF THE VILLAGE

- 3.1 Shenley was mentioned in the Domesday Book of 1086 as part of the Hundreds of Danais and Tring, later known as Dacorum. At that time, the parish of Shenley consisted of land covering the equivalent of 1800 acres and pannage for 400 swine.
- 3.2 The existence of a parish church (St Botolphs) just north of Shenley village is first recorded in 1136; the right to hold an annual three-day fair and Monday market was awarded to the village in 1268.
- 3.3 From its medieval, triangular core (Rectory Lane/ Pound Lane/ London Road), Shenley developed southwards along London Road which was during the middle ages and afterwards, a relatively important transport link diverting towards St Albans from Watling Street, the principal rout northwards from London. The establishment along London Road of coaching inns such as The White Horse, The Cock and The Black Lion reflected the need to serve the needs of Horse drawn travel.



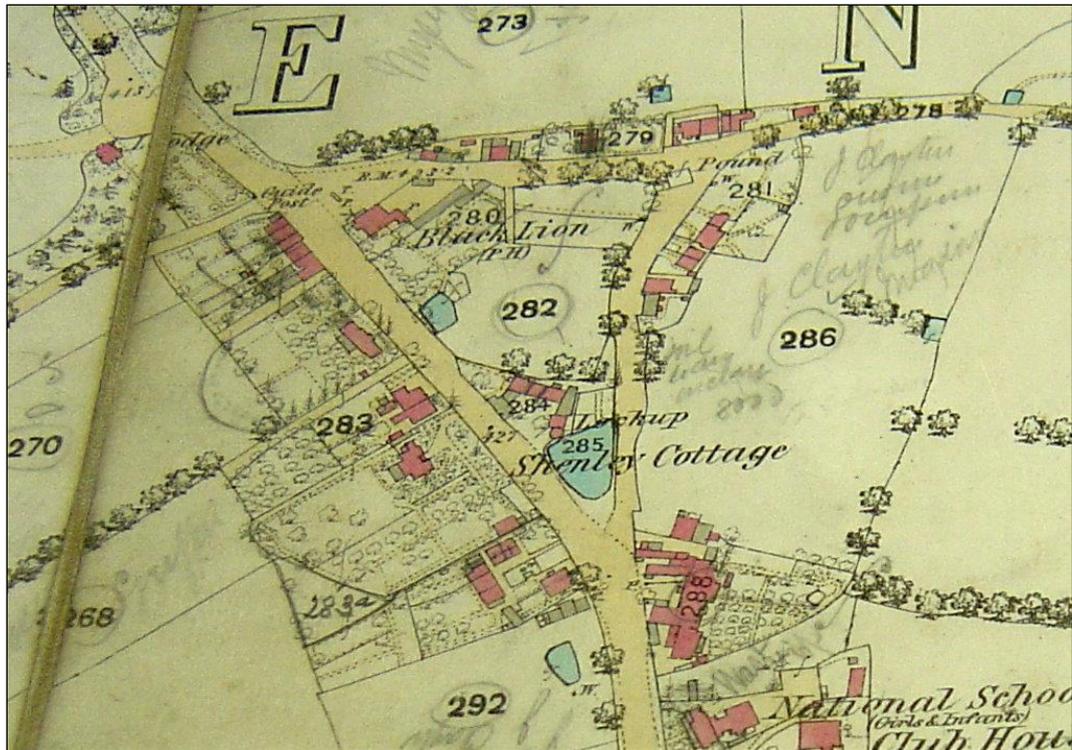
**Figure 1.** Extract from the Dury and Andrews map of 1766

- 3.4 The economy of medieval and post-medieval Shenley was based primarily on agriculture, but the village also housed a significant number of various types of labourers attending to the needs of nearby country estates such as Shenley Hill (after 1388 known as Salisburys) and Shenleybury.
- 3.5 Craftsmen including tailors, weavers, shoemakers, cordwainers, brickmakers, blacksmiths and carpenters were recorded in the Shenley Quarter Session Rolls from 1658-1833. Shenley had no tradition of industry, but abundant supplies of suitable clay made the village a local centre for brick and tile production dating back to the 13<sup>th</sup> century. The Dury and Andrews map indicates a brickmaking works east of the village between Mimms Lane and Rectory Lane.

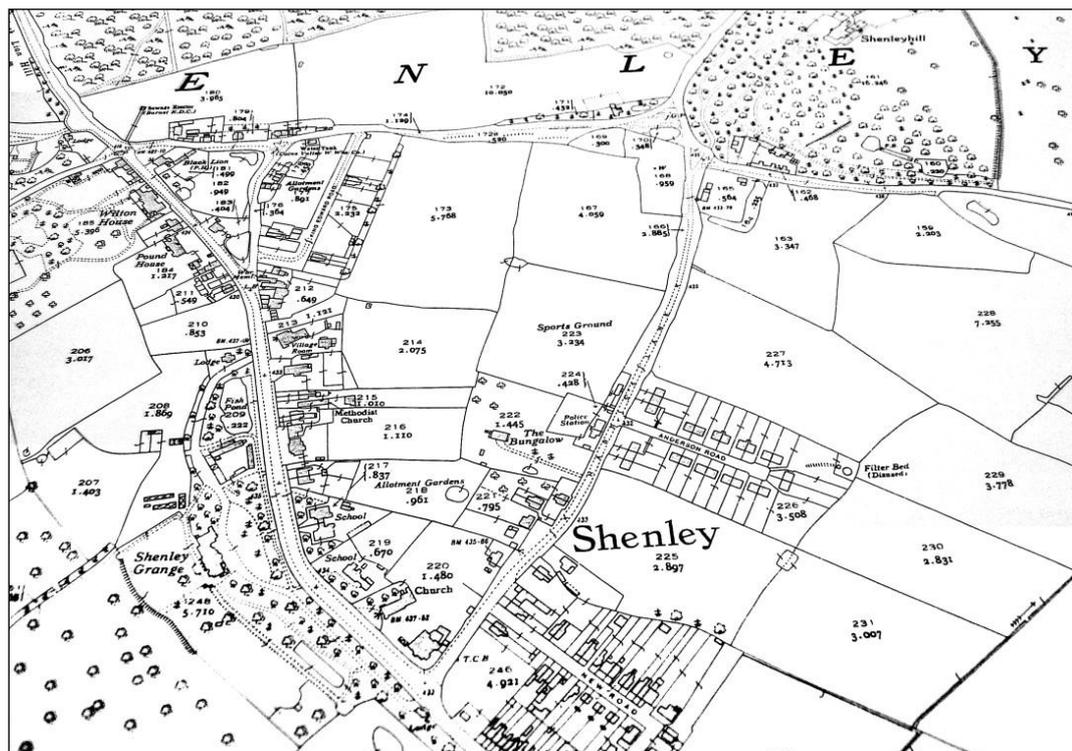


**Figure 2.** Extract from the 1843 Tithe Map of Shenley showing the village (Shenley Hill) and Porters Park to the northwest

- 3.6 The Tithe Map shows that south of the pond triangle, buildings are largely on the east side of London Road. This pattern of more dense development on the east side has survived to the present day. Shenley remained an essentially rural settlement with a slow increase in population until the late 19<sup>th</sup> century when the development of the Midland Railway station at nearby Radlett led to rapid population growth and associated growth of the village. In 1801 729 persons were recorded in Shenley, only a marginal increase of the figures for 1603, which recorded 243 adults over the age of 16. By 1871 however, the population had grown to 1,380.
- 3.7 During the course of the 19<sup>th</sup> century, particularly after the introduction of the railway to Radlett in 1868, Shenley experienced a nearly two-fold population growth. At the south end of the village, between Harris Lane and London Road, a new residential street – the New Road – was laid out in the last quarter of the century, to absorb the influx of new residents. Compared to nearby Elstree however, where Victorian and Edwardian development was principally aimed at a growing number of middle class commuters, the brick cottages which were constructed in the block formed by New Road, Harris Lane and London Road were modest.
- 3.8 In 1928 the mansion and grounds of Porters Park was sold by Cecil Raphael to Middlesex County Council and a large mental hospital was built here which remained in use until the 28<sup>th</sup> February 1988. The conservation area boundaries were extended in 1988 to incorporate part of this area as well as the rural enclave around Shenley Hill to the east.



**Figure 3.** Extract from the 1881 Ordnance Survey map of Shenley village centred upon the former village green triangle



**Figure 4.** Extract from the 1935 Ordnance Survey map of Shenley village

## **4.0 SURVIVING HISTORICAL FEATURES WITHIN THE CONSERVATION AREA**

- 4.1 Significant traces of the original hamlet and its rural setting are still recognisable: the original core of the village and its gradual expansion along London Road is still seen in the linear form of the central conservation area. London Road continues to form the spine of the village but significantly, the centuries old relationship with the surrounding countryside and nearby rural estates has not been lost: the eastern arm of the conservation area is entirely rural, and takes in the fields between Rectory Lane and Mimms Lane around Shenley Hill and adjacent farms.
- 4.2 West of London Road, elements of the small regency estate known as Shenley Grange, remain including No.49 London Road; the old carriageway; fishponds which belonged to estate; and a number of related buildings.
- 4.3 To the north-west, although most of the former hospital buildings were demolished and replaced with housing, the retention of park land, the chapel, Orchard Villa and the water tower ensure that the history of this part of the area remains legible.

### ***Street pattern***

- 4.4 The triangular form of the oldest part of the village is typical of Hertfordshire medieval market towns and can still be seen in larger settlements such as Baldock, Hitchin and St Albans. From this original core, Shenley developed southwards along London Road, which was during the middle ages and afterwards, a link diverting towards St Albans from Watling Street, the principal medieval route northwards from London. London Road incorporates the northern and southern limits of the conservation area between Black Lion Hill and the Victorian cottages south of Woodhall Lane respectively.
- 4.5 The western arm of the conservation area encompasses Porters Park and elements of the former hospital terminating at the round cricket pitch.

## 5.0 THE CHARACTER AND APPEARANCE OF THE CONSERVATION AREA

### *Current activities and uses*

- 5.1 Following the gradual post-war erosion of facilities and trades in previously more self-contained villages, Shenley no longer contains a definable commercial centre. The limited commercial activity that does exist is concentrated along London Road. In addition to the pubs, restaurant, school and village hall, non-residential uses include a convenience store/post office, garden centre, estate agent, and a car dealership. Most of these are near the Woodhall Lane junction. Some, notably the school and the convenience store are busy at certain times during the day but unfortunately are not enough to create the sense of a lively village centre.

### *Focal points, views and vistas*



**Figure 5.** 1969 and 2011. Above: towards the pond. Below: Pound Lane.

- 5.2 The focal point of the area is inevitably the pond and “The Cage”, the curious round lock-up occupying a prominent position on the north bank of the pond. Despite some modern encroachment, the triangle remains largely open and recognisable as the former village green. The only incongruous example of modern development is not within the triangle but around it: the rebuilt Wilton House, set close to London Road replacing an earlier building. In contrast, the four 1980s residences across from the pond and the c.1950 building comprising Nos.128-138 London Road north of the pond integrate fairly well into the context mostly due to their scale and to considerable planting.

5.3 Views into and within the conservation area which are particularly important are from:

- Woodhall Lane to the thatched cottages
- Woodhall Lane and London Road junction towards the thatched cottages
- Woodhall Lane and London Road junction towards The White Horse
- Woodhall Lane and London Road junction south towards the scattered cottages and open fields at the southern tip of the conservation area
- Junction of Harris Lane and London Road north towards Grange Lodge and the leafy west side of London Road
- Harris Lane west beyond the playing fields towards the 1950s housing estate
- Harris lane and Mimms Lane junction east towards Shenley Hill Farm buildings and farmland beyond
- Harris Lane and Rectory Lane junction west towards Arden Cottage and open fields beyond
- Rectory Lane towards Shenley Hill
- Rectory Lane towards Elliot's Farm and Manor Cottages
- Rectory Lane south across playing fields towards the 1950s housing estate
- near the junction of Rectory Lane and Pound Lane west towards early 19<sup>th</sup> century cottages along north side of Rectory Lane
- the green north of the pond towards early 19<sup>th</sup> century cottages an open fields beyond
- junction of London Road and Pound Lane towards the pond and lock-up
- the north bank of the pond north, taking in 18<sup>th</sup> century cottages along Pound Lane
- Radlett Lane beyond estate cottages towards Porters Park
- The southwest tip of the conservation area north towards Porters Park
- The access road within Porters Park north towards the Mansion
- From the South (eg the village sign - see front cover), along London Road.

#### ***Open spaces, landscape and trees***

5.4 The amount and diversity of open space in Shenley, ranging from residential front and back gardens to open farmland and a formal cricket pitch, makes these definitive elements in the make up of the conservation area. The open/green areas within the Rectory Lane/ Pound Lane/ London Road original triangle core of the village are distinctive features of the settlement.

5.5 Apart from the areas of recent housing north of Porters Park Mansion and east of Harris Lane, the conservation area is bordered on all sides by open countryside. The close proximity of farmland to the village and the views into the countryside through gaps between building frontages, between trees and hedges along the lanes are characteristic features of the conservation area.

5.6 Amongst the areas of important open space are the rural north-east corner of the conservation area incorporating several acres of open farmland with a number of Listed Buildings; the former fields between Rectory Lane and Harris Lane, now used as a village common and playing fields, with mature rows of oak trees and remains of traditional field boundaries in the form of hedges; the backs of properties along the west side of London Road hidden from view by a barrier of wild bushes and trees; the retained parkland and grounds of Porters Park Mansion, now integrated with the adjoining housing estate but preserving remnants of its original identity; and space around the cricket club and old walled garden in the south-west.

5.7 In addition to these areas, the narrow green verges which front some built-up sections of Woodhall Lane, London Road, Rectory Lane and Pound Lane impart distinctive semi rural character to the conservation area.

- 5.8 Substantial Oak and Chestnut trees are important to the appearance of London Road as it bends through the village.

***Public realm: floorscape, street furniture etc.***

- 5.9 The appearance of the roadside pavements and other hard landscaped areas is varied, utilitarian and typical of villages in the area. That no unified set of street furniture has been installed is probably a good thing and reflects Shenley's varied character.
- 5.10 There is some simple, robust and successful hard landscaping associated with street parking bays on London Road.
- 5.11 Historic floorscape material is limited to old kerbstones along London Road outside the White Horse; along the stretch beside the schools; from the pond north towards The Black Lion. Granite kerbstones have also been installed on the pond side of Pound Lane.
- 5.12 The old iron railings of the school grounds are a strong contributor to the London Road streetscape. Similarly, the timber posts and iron rail around the pond are an appropriately bold and simple element of the character of this area.

## 6.0 CHARACTER AREAS

- 6.1 The predominant characteristic of Shenley Conservation Area is of a quiet residential community contained primarily within a semi-rural village but spreading out into more recent residential areas within the former grounds of Porters Park and Shenley Hospital. Significant remnants of Shenley's historic rural setting remain preserved in the northern part of the conservation area. Typically for many south Hertfordshire towns and villages, Shenley attracts a sizeable commuter population taking advantage of the close proximity to London.

### *Identification of character areas*

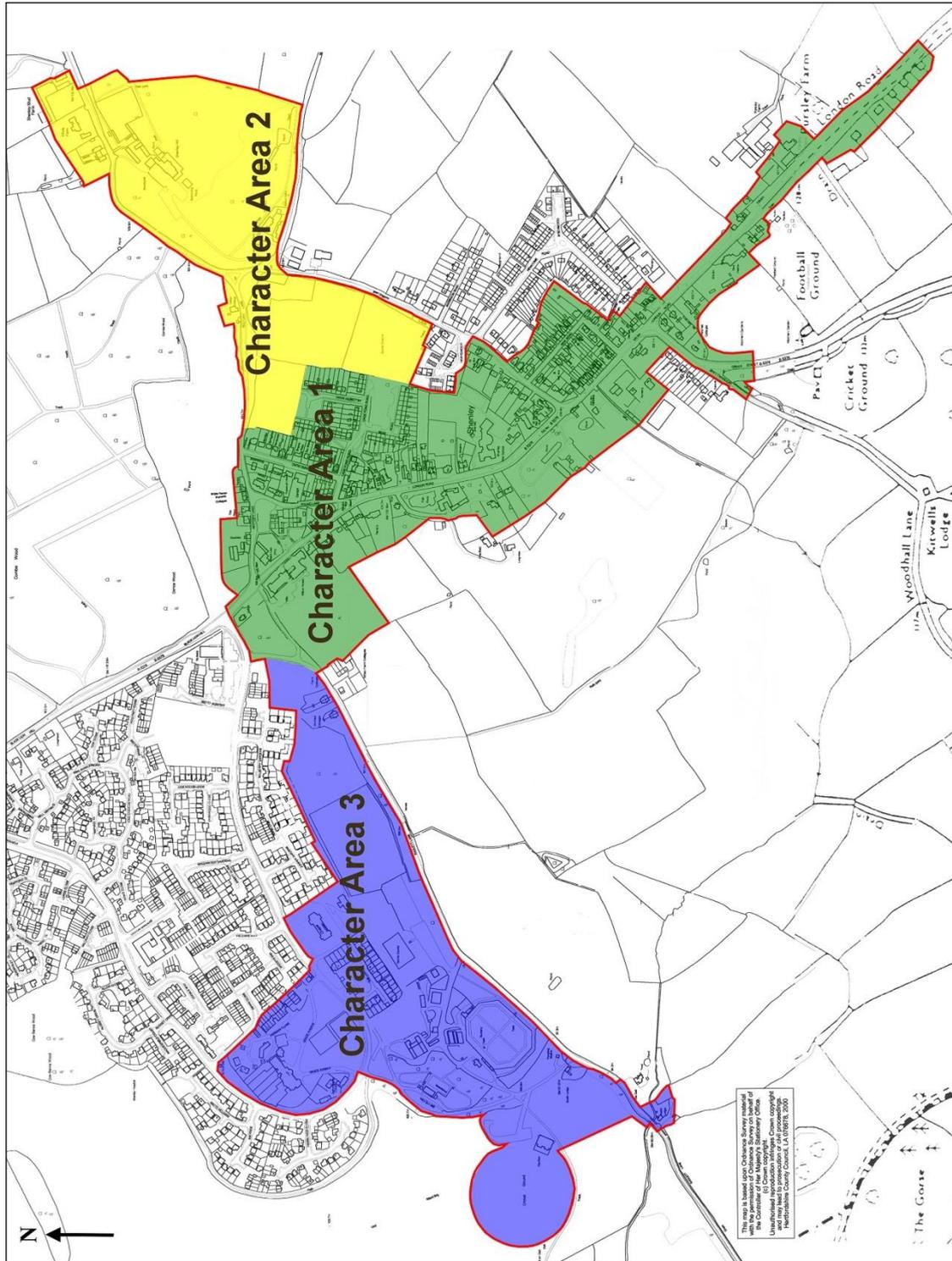
- 6.2 Shenley Conservation Area can be divided into three zones with distinctive characteristics which relate to their architecture, historic development or landscape (Map D). These are:

#### Area 1. London Road (Map E)

- 6.3 This encompasses the parts of the village closest to either side of London Road. Up until the coming of the railway in 1868, village life in Shenley was focussed along London Road, where scattered buildings consisted of a number of inns, the parish church and schools as well as various shops, workshops and houses. Despite the presence of heavy traffic and the loss of local shops and trades to out of town shopping, much of the historic character – and thereby the significance – of London Road has been retained.
- 6.4 The area breaks down into further **sub-areas**: The historic centre of the conservation area formed by the triangular space – originally the village green – between **London Road, Rectory Lane and Pound Lane**, retains an appealing character heightened by the informal layout of the buildings within and around it, by elements of open space and the pond at the southern tip. The quaint 18<sup>th</sup> and 19<sup>th</sup> century brick and rendered cottages along Pound Lane and Rectory Lane retain a sense of vernacular charm that reflects the rural scale of Shenley as it appeared before the end of the 19<sup>th</sup> century. The cottages are spaced widely apart and offer attractive views to back gardens and the surrounding countryside through the gaps between the buildings.



**Figure 6.** The former Queen Adelaide Public House next to the pond



**Map D. Shenley Conservation Area Character Areas**  
 Base Ordnance Survey map provided by Hertsmere Borough Council 2011

- 6.5 At the north-west tip of the triangle, the Black Lion is a former Victorian pub on the site of an earlier coaching inn of the same name. It's curtilage includes a weather-boarded stable/outbuilding adding to the rural setting. Adjacent to the pub, along Rectory Lane, is a group of small-scale workshop buildings providing a visual link to the small scale industries which flourished in the village up to the Second World War.
- 6.6 King Edward Road was laid out just after 1900 but little building appears to have taken place on this back road until much later. There is consequently little of historical or architectural significance along it and the most important consideration here is that the scale and form of buildings should be sympathetic to the conservation area.

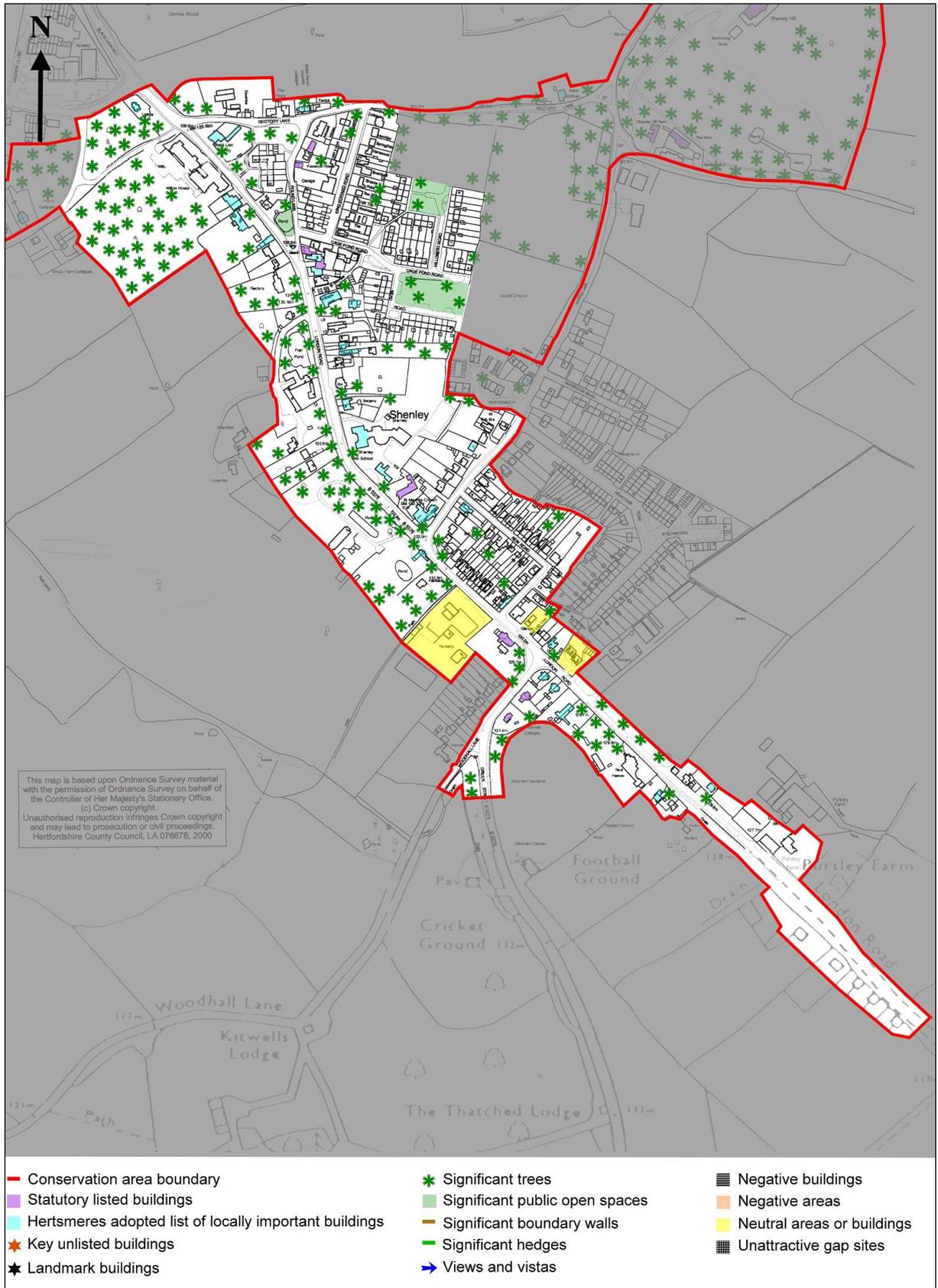


**Figure 7.** Rectory Lane. Small-scale workshop building retaining link to earlier commercial activity.



**Figure 8.** 114-116 London Road: 1969 and 2011

- 6.7 The group of buildings situated along the east side of London Road between the pond and the King William IV, constitute the core of an architectural ensemble that has existed here since at least the 18<sup>th</sup> century. The informal set-backs to the road and the generous spaces between the old buildings – some however, encroached on by modern houses – demonstrate the informal character and low density layout of the old village.

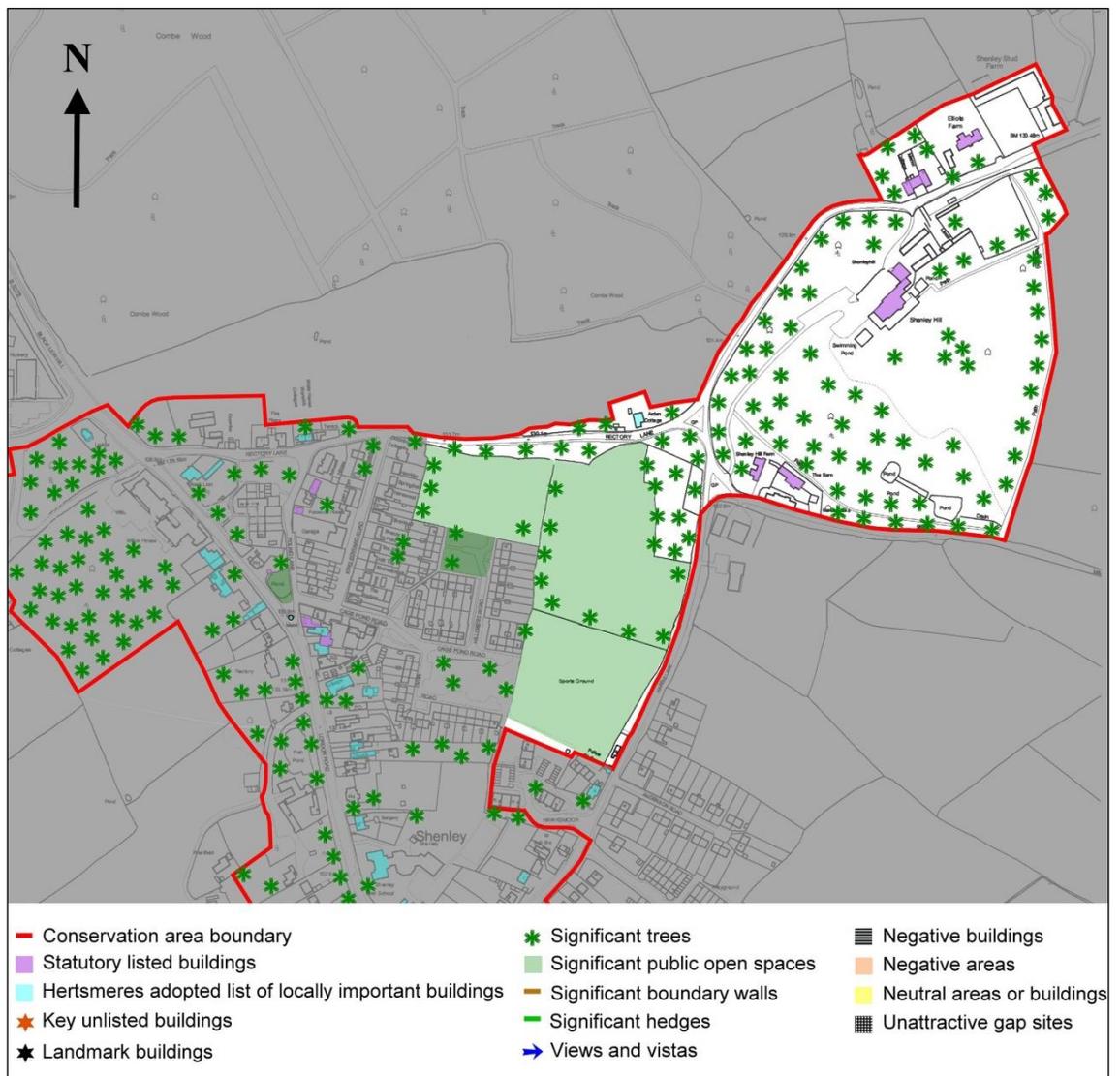


**Map E. Character Area 1 (London Road), assessment map**  
*Base Ordnance Survey map provided by Hertfordshire County Council 2000*

- 6.8 In contrast to the more built-up east side, much of the **west side of London Road** remains attractively overgrown and secluded by a continuous barrier of hedges and trees behind which once hid the small regency estate known as Shenley Grange (largely demolished - but from map regression, 49 London Road appears to be the remaining part of the house). The existence of this estate was the reason behind the distinct difference in character and appearance still existing between the sparsely developed west side and the developed east side of the road. West side development is characterized by a loose layout of occasional one-off buildings on large plots stretching back to an informal boundary with the countryside. Its “structure” also includes the old carriageway to Shenley Grange; fishponds which belonged to the estate; an associated group of late 19<sup>th</sup> century former stable buildings (51-55 London Road); the former lodge opposite Harris Lane.
- 6.9 **Woodhall Lane**, leading south-west from London Road, is part of the main route between Borehamwood and Shenley and features the four Thatched cottages set back from the road behind hedges. The mature trees and green verge opposite enhance the location significantly.
- 6.10 The commercial activity – the White Horse PH, a corner convenience store, the nursery, and car sales forecourt - all near the London Road / Woodhall Lane junction, is a contrast with the southern continuation of London Road which includes pairs of small villas and cottages and a larger Villa within grounds and quickly runs into open countryside. The southern tip of the conservation area is entirely rural with narrow pavements, hedges and views over the surrounding countryside.
- 6.11 **Harris Lane** leads north from London Road, meeting Rectory Lane at the north-east corner of the village. The character of the road and its immediate environment is varied and, off the frontage includes areas of suburban village housing as well as open fields and hedges. The southern part of Harris Lane is residential in land-use and contains modest Victorian houses interspersed with modern houses. Many of the older cottages are part of the **New Road** development created at the end of the 19<sup>th</sup> century to cope with the population influx following the railway. Despite the encroachment of post-war housing and intensive modernisation of many cottages, the picturesque, small scale charm of the streetscape has not been entirely lost.
- 6.12 Harris Lane is lined with detached houses set back from the road on substantial garden plots. A number are bland bungalows lacking frontage screening but the earlier character of the lane consisting of a scattering of cottages fronting a rural lane leading out of the village is reflected in the surviving Victorian and Edwardian buildings at Nos. 9-21. The weatherboarded cottage at No.11 behind a large oak tree, is of particular interest and retains an original workshop outbuilding on its plot. The streetscape is severely interrupted by the 20<sup>th</sup> century Hawksmoor Estate (not within the conservation area boundary) but is regained at the small, former police station building and Victorian cottage beyond. At this point Harris Lane opens-up completely, bordered by the hedges and mature oaks along the sports ground to the west and open fields to the east, until it runs into Rectory Lane and Mimms Lane, thereby completing the transition from village to rural character.
- 6.13 There is an Article 4 Direction of August 1995 applying to various classes of development of houses on Hillcrest Road, Mead Road and Cage Pond Roads. These comprise an example of mid 20<sup>th</sup> century housing that is prominent in views across the open land between Rectory Lane and Harris Lane.

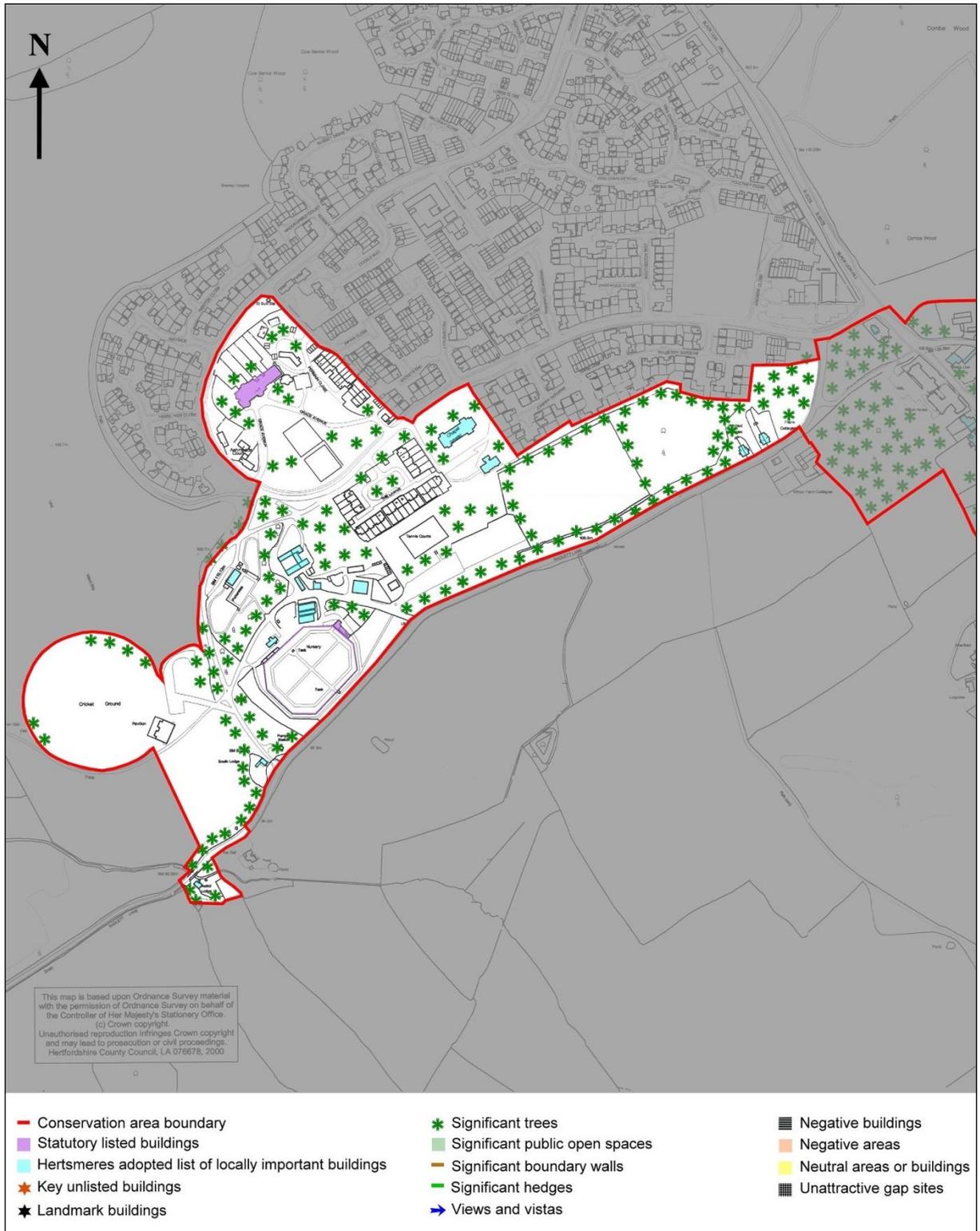
Area 2. The North-East: Rectory Lane / Mimms Lane (Map F)

- 6.14 The route out of the village along these lanes is hedged and sheltered by trees in informal verges or field edges. There are some walls and fences to the adjoining buildings. The Fields south of Rectory Lane are included within this character area. The enclosed (hedged) character changes somewhat as the landscape opens up further beyond the village.
- 6.15 Rectory Lane forms part of the northern border of the conservation area and is rural for much of its length and offers good views through the thicket over the surrounding countryside. This idyllic scene is heightened by the presence of Arden Cottage, a quaint Victorian gothic style cottage standing by itself near the triangle formed by the junction of Harris Lane and Rectory Lane.
- 6.16 Along the narrow rural lanes bordered by hedges and larger trees, winding through the open countryside, three historic farmsteads and a small country house set in farmland between Rectory Lane and Mimms Lane form a context of immediately apparent aesthetic appeal.



### Area 3. The West: Porters Park / Former Hospital Site (Map G)

- 6.17 From London Road, Radlett Lane leads westwards past the two pairs of Victorian former estate cottages (named Winifred Cottages and Frank Cottages, built by the last private owner of the Porters Estate, Mr Cecil Raphael, for his staff) before it becomes completely rural as it nears the former grounds of Porters Park. Cut into the hillside, the narrow lane offers spectacular views towards the open countryside to the south. The western-most part of the conservation area encompasses the grounds of Porters Park. The character of the area is mixed, and determined by a variety of elements - many of them contrasting-ranging from the setting of the Mansion and its associated garden buildings to the new suburban housing estates constructed on the site of Shenley Mental Hospital. The former hospital was built on part of the Porters Park Estate.
- 6.18 The impact of the new housing is mainly felt south of Porters Park Mansion along the northern boundary of the conservation area, where a new access road cuts off the mansion from its former stable block and other related agricultural buildings. Along this road around the Shenley Hospital chapel - along with nearby Orchard Villa the only hospital buildings surviving within the conservation area - and just east of the mansion are pockets of recent housing, designed to fit as inoffensively as possible into a sensitive area.
- 6.19 The open land south of the chapel leading down to Radlett Lane remains undisturbed, integrated into the new housing estates through a network of pleasant walking trails.
- 6.20 The south-west corner of the conservation area still contains many of the agricultural buildings which were part of a traditional country house micro-economy. The walled kitchen garden, the stable block and the gardeners cottage are there and in use, as are a number of utilitarian sheds and other simple farm buildings.
- 6.21 The conservation area terminates at the round pitch of the cricket ground.
- 6.22 There are a number of buildings of interest on the site: the mansion (a grade II listed building) and its outbuildings; the chapel; the south and east lodges (the latter currently called The Gingerbread House); the former stables; and the former kitchen garden wall and garden cottage (grade II listed). The portion of the former hospital site included in the conservation area includes the most wooded parts.
- 6.23 The results of introducing suburban style housing onto this part of the former hospital site are mixed. Although the design of the relatively low-density areas of housing makes significant concessions to integrate into the existing environment, much of the local identity of the area has been lost. With traffic increasing along a network of new access roads serving this dormitory community, it is clear that the distinctive grounds of the Hospital and Porters Park have been affected.



**Map G.** Character Area 3 (Porters Park / Former Hospital Site), assessment map  
*Base Ordnance Survey map provided by Hertfordshire County Council 2000*

## 7.0 The Buildings of the Conservation Area

- 7.1 Unlike nearby villages such as Aldenham, Elstree, Potters Bar, and Ridge, Shenley contains no medieval buildings. The oldest building within the conservation area is Elliot's Farm House, a late 16<sup>th</sup> century rural farmstead in Rectory Lane. Another relatively early rural structure is the 17<sup>th</sup> century timber framed barn at Shenley Hill Farm.
- 7.2 The few 17<sup>th</sup> century structures in Shenley village are located along London Road. The largest and most prominent of these is The White Horse, a considerably altered timber framed former coaching inn at the corner of Woodhall Lane and London Road. The remains of a further 17<sup>th</sup> century inn, The Cock, are located within the historic group of buildings at Nos.114 – 118 (even) London Road. Pursley Farm House is at the southern end.
- 7.3 Among the several 18<sup>th</sup> century buildings in Shenley, the most unusual is certainly the beehive-shaped village lock-up with four barred windows, the cills of which bear the inscriptions, "Do Well", "Fear Not", "Be Sober" and "Be Vigilant". Other 18<sup>th</sup> century buildings are the central part of the rural red brick, Manor Cottages along Rectory Lane (next to Elliotts Farm), "Rosemount" No.1 Pound Lane and Nos. 4/5 Pound Lane – modest red brick cottages near the pond, and 15 London Rd. During the course of the 18<sup>th</sup> century Shenley's older timber framed buildings such as Elliot's Farm House, The White Horse and The Cock were fashionably refronted in brick.



**Figure 9.** Pound Lane 1969 and 2011

- 7.4 A number of buildings dating from the first half of the 19<sup>th</sup> century survive in the village. The most interesting examples from this period are the thatched cottages located along Woodhall Lane. These symmetrically laid-out *cottage orne* style buildings with their central chimneys, and eyelid windows in the thatch, form along with the adjacent villas on at the corner of London Road, an appealing group of early 19<sup>th</sup> century domestic architecture. A few small cottages (e.g. Warwick Cottages) of the same period are situated on Rectory Lane near the pond. A more substantial building from the same period is the much altered, former farmhouse, Court Lodge at the corner of Harris Lane and London Road. No.49 London Road appears to be a remaining part of Shenley Grange.
- 7.5 The most notable buildings from the mid-19<sup>th</sup> century are concentrated along London Road between the Church of St Martin and the village Hall. The church itself, a restrained red brick, neo-gothic Chapel of Ease was raised in 1841. The flint and brick

boys' school was constructed alongside the church in the same year. Shenley was provided with two other public buildings of note during 1853-54: The Girl's School (which replaced an earlier school and is now the village hall) north of the church along London Road and, set behind the school on the same plot, the "Clubhouse", built initially as a "clubhouse and wash house for single men and workmen". The Methodist Chapel, set among contemporary brick houses between the Village Hall and St Martin's Church, was originally constructed as the village workhouse before being sold to the Methodists in 1840.

- 7.6 Although most of the later 19<sup>th</sup> century brick cottages in the block formed by New Road, Harris Lane and London Road have undergone considerable alteration in recent decades, several retain original features, notably "Bakers Lodge" and No.21 on New Road. Notable late-Victorian buildings in Shenley include the picturesque style Shenley Grange lodge, west of the junction of London Road and Harris Lane, Arden Cottage on the north side of Rectory Lane, and the Black Lion pub. Opposite the Black Lion stood Wilton House, originally comprising a group of red-brick, tile-hung, Arts & Crafts influenced buildings of 1897, which unfortunately was demolished in recent years. There are also 19<sup>th</sup> century cottages at the southern end of London Road.
- 7.7 The most notable examples of 20<sup>th</sup> century architecture in Shenley relate to Porters park mansion and Shenley Hill. The former, originally dating from the 18<sup>th</sup> century or earlier and home of Nicholas Hawksmoor until 1736, was rebuilt in 1902 in the Edwardian Classical/Baroque style. Unlike the Mansion, the architecture of which reflects a fashionable Edwardian rebuilding of an earlier structure, Shenley Hill was designed in 1906 as an Edwardian country house in the "Wrennaissance" style. However, the house is better known for the additions carried out by Sir Edwin Lutyens during 1912-14.
- 7.8 The few buildings surviving on the Shenley Hospital site – the chapel, the water tower (not in the conservation area), and Orchard Villa – represent the conservation area's only significant examples of inter-war architecture. The chapel is in a neo-Romanesque style and is characterised by small, round arch windows. The sombre, plum brickwork of the buildings is a vivid reminder of the sites legacy as the Shenley Mental Hospital and provides a stark contrast to the appearance of the comparatively trivial new houses, which have taken over the site.
- 7.9 Shenley retains an entire estate of quality 1950s former council housing. Located on what was once farmland behind King Edward Road, the estate consists of several blocks of well proportioned, Garden City influenced housing characterised by steeply pitched roofs, prominent gables and multi-pane metal windows. The buildings are set among the green fields that reach as far as Harris Lane and are approached via a network of unobtrusive access lanes (Cage Pond Road, Hillcrest Road and Mead Road).

### ***Architectural styles and detailing***

- 7.10 The style and architectural form of the buildings in Shenley is diverse and ranges from large 16<sup>th</sup> century farmhouse to 18<sup>th</sup> century round lock-up, from early 19<sup>th</sup> century "cottage orne" to Gothic Revival parish church, from Victorian semi-detached cottage to post-war housing estate. The materials and architectural detailing of the buildings are equally diverse and reflect the period, status and function of each building: yellow bricks, slates and decorative barge boards in the Victorian Gothic style at Arden Cottage, patterned flint and brick at the Old School House, thatched roofs at cottages along Woodhall Lane, weatherboarding at the 17<sup>th</sup> century barn along Mimms Lane.
- 7.11 Typical Features:

- Building elevations generally in brick but some rendered
- Roof slopes traditionally slated. Thatch on a small number of 19<sup>th</sup> century cottages on London Road
- Vertical sliding sash and casement windows in timber but an increasing number of inappropriate uPVC units
- Traditional brick chimneys on most buildings, clay chimney pots still common
- Primarily loosely-knit irregular development with building frontages set back from the street

### **Listed buildings**

- 7.12 A variety of statutory listed buildings within the conservation area are located along London Road/ Pound Lane with a further group around Shenley Hall in the North-East area. The Mansion at Porters Park and the associated kitchen garden wall and gardeners cottage are also listed. All are listed grade II. See Listed buildings appendix.

### **Locally listed buildings**

- 7.13 Within the conservation area there are a large number of buildings regarded as of local importance to the District of Hertsmere. See Appendix 2 based on the adopted *List of Locally Important Buildings in Hertsmere* (Hertsmere Borough Council July 2009).

### **Other buildings**

- 7.14 Many other buildings make a positive contribution to the conservation area. Some of these are referred to in section 6 and earlier in section 7.



**Figure 10.** Locally Listed building, 11 Harris Lane



## 8.0 NEGATIVE FEATURES AND ISSUES

### *Inappropriate alterations to buildings*

- 8.1 Over-investment in properties has tended to be more damaging in recent years than neglect. Extensions to properties inevitably damage historic fabric and can 'swamp' or unbalance their original integrity. Even the introduction of simple porches can have a negative impact, particularly to uniform terraces that have 'flush' facades. Domestic buildings in the conservation area are also suffering from an incremental loss of architectural detailing. Traditional materials and details are being eroded by the use of doors, fascias and rainwater goods; concrete and cement for blockwork, roofing materials, renders, re-pointing etc.). Simple exposed brickwork can be spoilt by painting or rendering, and this again can severely unbalance a formerly uniform façade of terraced housing. Buildings are sprouting aërials, satellite dishes, alarm boxes and boiler flues whilst curtilages are being eaten into by inappropriate hard landscaping.
- 8.2 Some alterations – for instance, replacement windows, doors, and the addition of porches not only change the appearance of the individual building but also may not always use materials or styles that compliment the building. Also, collectively they may affect the appearance of the street concerned - New Road is an example. It was not within the originally designated conservation area of 1969 but was included as part of the 1978 enlargement. However, individual alterations (“permitted development” or not) have affected the overall appearance of the street to the extent that it may not warrant inclusion. It is likely to be too late to influence the incremental change that has occurred by making an Article 4 Direction.
- 8.3 These illustrate how piecemeal alterations and additions can erode the character of the conservation area

### *Negative buildings & areas*

- 8.4 There are several prominent buildings that detract from the character of the conservation area. They include:
- 8.5 Forge flats at 16-30 London Road.



*In 1969 – on designation of the conservation area*



*In 2011 – The same view*

**Figure 11.** The Black Lion Public House



**Figure 12.** Inappropriate additions to rear of The Black Lion

- 8.6 The later 20<sup>th</sup> century development of Wilton House and Wilton Lodge, London Road has been to a scale that is simply too great in comparison to that characteristic of buildings in the conservation area. It appears to have included demolition of numbers 75-77 London Road that were marked as buildings of Local Interest on the Hertsmere/HCC 1981 broadsheet map. These buildings poor handling of scale and design weakens the sense of this being a robust gateway to the conservation area and undermines efforts to 'lift' the character and appearance of the adjacent built environment.
- 8.7 The Black Lion former Public House now restaurant, stands at the Rectory Lane / London Road "gateway". Its visual appearance (including that of the space around it) is currently poor; it has a conservatory and outbuilding out of character with the main building; and it's old timber barn/stable is in poor condition due to lack of repair. The building is Locally Listed and of significance to the conservation area but its appearance needs improvement.
- 8.8 A plot behind the public Convenience next to the Village Hall, contains garages and beyond, the Electricity Sub-station. This is all very run-down.

***Intrusive traffic***

- 8.9 The centre of Shenley is subject to heavy traffic. This detracts from the environmental quality and attractiveness of the area. There is no easy remedy to this situation. Arguably, cars have long been part of the character of the area, but they do undermine the perceived safety of pedestrians.

***Signage***

- 8.10 Signage in the centre of the village is not of a high quality. Signage should be kept to a minimum but should be well maintained. Signage requires regular maintenance.



**Figure 13.** Unattractive shop front



*Bulky roof form resulting in visually discordant appearance. Harris Lane*



*New development with unresolved threshold to street. Pound Lane*

**Figure 14.** Unsatisfactory recent development

***Inappropriate landscaping***

- 8.11 Where houses are set back from the road, traditional front boundaries are in danger of being lost to hard standings for cars.
- 8.12 Replacement of hedges should replicate historic features, and should consist of appropriate, locally native species characteristic of old, surviving hedgerows. These may include hawthorn, blackthorn, field maple, hazel, ash, crab apple, holly, spindle etc.

***Neutral buildings***

- 8.13 There are numerous inter-war and later houses around the village that are not characteristic of the earlier periods of development of the village and do not contribute historically or architecturally to the conservation area.

## Part 2 Conservation and Management Proposals

### 1.0 BOUNDARY REVIEW & CONSULTATION

- 1.1 The draft Conservation Area Appraisal identified several possible changes to the existing boundary: Porters Park/Shenley Park, the Cricket Club, and the southern end of London Road.

#### Porters Park/Shenley Park

- 1.2 Since the 1988 extensions of the boundary, the new area of housing (ie Mulberry Gardens, Rowan Close and Juniper gardens) to the south off Porters Park Drive has been completed. This was within the area of the former Shenley Hospital grounds that had been brought into the conservation area. Some of the houses concerned are in effect, formal edges forming setting to retained hospital buildings or open spaces. However, the bulk of this new housing has no direct relationship with the conservation area and the need for it to be subject to conservation area planning controls was questionable. Nevertheless, for remaining former hospital buildings and for old estate buildings around and north of the walled garden, conservation area control over demolition is potentially important and so it is recommended that the bulk of the this area remain within the boundary.

#### The Cricket Club

- 1.3 Exclusion of the Cricket Club building as consent for demolition had been granted on appeal on 4<sup>th</sup> December 2007. However, the appeal inspector considered the proposal would preserve the character and appearance of the conservation area. In addition, this development had not yet been implemented. The Dell Lodge, Radlett Lane in this same end of the conservation area has been demolished.

#### London Road

- 1.4 There was a good case for extending the boundary further south along London Road towards Silver Hill. This is an attractive, transitional approach from the countryside into the village. It takes-in buildings of traditional forms and scale and which are part of the village rather than detached from it. Includes Pursleys Farm - those buildings closest to the road i.e. the Farm House (2 London Road), and the timber barn (Listed Buildings ref 07/267 & 07/268). Other than Pursleys Farm buildings, the outlook to the east of London Road is over a hedge towards open farmland. To the west are a series of buildings including Tomten (15 London Road which is a Listed Building ref 7/265) and others spaced along the road.

- 1.5 The main themes that emerged from respondents during the consultation period were:
- *Support for the proposed extension of the boundary further along London Road.*
  - *Objection to removal of the Cricket Club from the conservation area.*
  - *Support for the removal of Mulberry Gardens, Rowan Close, Juniper Gardens & Andrew Close etc from the conservation area as this is an area of modern housing.*

1.6 The consequent amendments approved were:

- *Extension of boundary south along London Road (as proposed in the draft Conservation Area Appraisal).*
- *Removal of Mulberry Gardens, Rowan Close, Juniper Gardens & Andrew Close etc (and "The Dell") from the conservation area.*
- *The Cricket Club grounds to be left within the conservation area boundary.*

1.7 There were also minor amendments rationalizing the boundary around Porters Park.

### ***New buildings***

1.8 Infill and redevelopment has not generally resulted in buildings that recognize the scale and character of traditional buildings that retain Shenley's village character or appearance. On the contrary they detract from it and new development, along with poor not so recent buildings, are cumulatively threatening the character and appearance of the area into the future. It is important that any further development and replacement of individual buildings gives absolute priority to fitting into the conservation area context in terms of scale, position, quantity and detailed design.

### ***Buildings at Risk***

1.9 The old timber barn/stable of the Black Lion, Rectory Lane is in poor condition due to lack of repair. It is on the Council's *List of locally important buildings in Hertsmere*. It is proposed that action be taken to rectify its condition.



**Figure 15.** At risk: outbuilding next to The Black Lion

### ***Locally Listed Buildings – proposed additions***

1.10 **49 London Road.** This property appears from map regression to be a remaining part of Shenley Grange, historically and in terms of the morphology of the settlement, a significant building. It has characteristics of a Regency or early Victorian building. It is

recommended the building be considered for addition to the List of Locally Important Buildings.

- 1.11 It is also recommended that **51-55 London Rd** (former stables/outbuildings of Shenley Grange) be considered for addition to the List of Locally Important Buildings.

*Monitoring and review*

- 1.12 The following actions are recommended to ensure that this appraisal and management proposals are accepted and acted upon by the local community:
- 1.13 Protect and enhance the character of the historic triangular core (London Road / Rectory Lane / Pound Lane) by ensuring that no further open space is lost, that trees / soft landscape is retained and that built development is not increased.
- 1.14 That the quality of recent redevelopment be reviewed and a design guide for the village be produced as soon as possible.
- 1.15 This document should be reviewed every five years in the light of the Local Development Framework, emerging government policy, new best practice guidance, or changes on the ground.

*Public consultation*

- 1.16 As noted above, the draft appraisal was subject to a six-week period of public consultation during 2011 including a one day staffed exhibition in the Village Hall.

## 2.0 PLANNING POLICY FRAMEWORK

- 2.1 A conservation area is defined under Chapter 9 of the Town and Country Planning Act 1990 (Listed Buildings and Conservation Areas), as *an area of special architectural or historic interest the character or appearance of which it is desirable to preserve or enhance*. Each local planning authority is responsible for the designation of such conservation areas under the Act. Section 71 of the same Act requires local planning authorities to ‘...formulate and publish proposals for the preservation and enhancement...’ of these conservation areas.
- 2.2 “*Planning Policy Statement 5: Planning of the Historic Environment*” (PPS5) makes reference to, and is supported by “*PPS5 Planning for the Historic Environment: Historic Environment Planning Practice Guide*”, which highlights the need for Conservation Area reviews and appraisals.
- 2.3 Hertsmere Local Plan was adopted in 2003 and provides a framework for development in the Borough until 2011. The Local Plan contains policies relating to a number of important issues including the Green Belt, Housing, Employment and Transport. The environment section in the Plan covers all aspects: conservation areas, historic buildings, archaeology, trees and hedgerows, nature conservation, and historic parks & battlefields (Hertsmere Local Plan, pgs 149 - 169). Hertsmere Planning and Design Guide SPD was adopted by the Council in 2006 and will form part of the Local Development Framework (LDF) for the borough. The LDF will include the Core Strategy Development Plan Documents (DPD); this and other LDF documents will eventually replace the Local Plan. Of particular note within the Core Strategy is policy CS13 which reiterates the protection and enhancement of historic assets.
- 2.4 In accordance with Section 69 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Hertsmere Borough Council shall, from time to time, conduct a detailed analysis of its conservation areas. These shall be published:
- ‘...as a series of individual assessment studies covering such factors as the area’s origins and archaeology, the architectural and historic quality and character of buildings, the special quality of developed and open spaces and important views both within and towards the area. These studies will form the basis for development control decisions and for proposals for enhancement projects. They will also be helpful in the formulation of community based village appraisals.’*  
(Hertsmere Local Plan, section 6.2, page 16.
- 2.5 This appraisal utilised the guidance from English Heritage, Guidance on Conservation Area Appraisals, published in February 2006.

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The Book of Shenley. Joyce Boswell 1984

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### Hertsmere Borough Council

List of Locally Important Buildings in Hertsmere. July 2008  
Hertsmere Local Plan, adopted 2003.  
Hertsmere LDF Core Strategy

### Other

Planning Policy Statement 5: Planning of the Historic Environment (PPS5)

### Websites

Website 1. Hertsmere Borough Council. *Planning: Building and Tree Conservation*.  
[www.hertsmere.gov.uk/planning/conservation/](http://www.hertsmere.gov.uk/planning/conservation/)  
Website 2. The National Heritage List for England. [www.english-heritage.org.uk](http://www.english-heritage.org.uk)  
Website 3. South Hertfordshire Landscape Character Area Assessment (Shenley Ridge:  
Area 20). [www.hertsdirect.org/infobase/docs/pdfstore/Area020.pdf](http://www.hertsdirect.org/infobase/docs/pdfstore/Area020.pdf)  
Website 4. The Shenley Park Trust. [www.shenleypark.co.uk](http://www.shenleypark.co.uk)

## **Further Information**

*For Further Information regarding all Planning and Conservation Matters:*

Hertsmere Borough Council  
Civic Offices  
Elstree Way  
Borehamwood  
Herts WD6 1WA  
Tel: 020 8207 2277  
[www.hertsmere.gov.uk](http://www.hertsmere.gov.uk)

See also Department for Communities and Local Government  
[www.communities.gov.uk](http://www.communities.gov.uk)

*For Further Information relating to Listed Buildings and Conservation Areas:*

BEAMS  
The Castle  
Hertford  
Herts SG14 1HR  
Tel: 01992 504331  
[www.beamsltd.org](http://www.beamsltd.org)

English Heritage  
1, Waterhouse Square,  
138-142 Holborn,  
London EC1N 2ST  
General enquiries: 020 7973 3000  
[www.english-heritage.org.uk](http://www.english-heritage.org.uk)

## APPENDIX 1: Statutory Listed Buildings within Shenley Conservation Area

SHENLEY		GRADE	LB REF NO.
<b>London Road</b>	The White Horse PH, no. 37 London Road	II	5254/3/266
	Church of St Martin, London Road	II	5254/3/269
	No. 114 London Road	II	5254/3/270
	No. 118 London Road	II	5254/3/271
	The Cage on The Pond, London Road	II	5254/3/272
	No.2 London Road (Pursley Farm House)	II	5254/7/267
	Barn W of No.2 (Pursley Farm House)	II	5254/7/268
	No.15 London Road (Tomten)	II	5254/7/265
<b>Mimms Lane</b>	Shenley Hill Farm House, Mimms Lane	II	5254/3/273
	Barn at Shenley Hill Farm House, Mimms Lane	II	5254/3/274
<b>Porters Park</b>	The Mansion, Porters Park	II	5254/3/275
	The Gardens Cottage & Kitchen Garden Wall, Porters Park	II	5254/3/276
<b>Pound Lane</b>	No.1 Pound Lane	II	5254/3/277
	Nos. 4 & 5 Pound Lane	II	5254/3/278
<b>Rectory Lane</b>	Shenley Hall, Rectory Lane	II	5254/3/279
	Nos. 1, 2 and 3 Manor Cottages, Rectory Lane	II	5254/3/280
	Elliotts Farmhouse, Rectory Lane	II	5254/3/281
<b>Woodhall Lane</b>	Nos. 1 & 2 Thatched Cottages, Woodhall Lane	II	5254/3/293
	No. 4 Thatched Cottage, Woodhall Lane	II	5254/3/294

## APPENDIX 2: Locally Listed Buildings within Shenley Conservation Area

Source: *List of locally important buildings in Hertsmere (Hertsmere Borough Council. July 2009).*

SHENLEY		ENTRY NO.	PAGE NO.
<b>Harris Lane</b>	Francis Cottages 8 & 10 Harris Lane	330	377
	11 Harris Lane	331	378
	Old Police Station, Harris Lane	333	380
<b>London Road</b>	6 London Road	336	383
	23 London Road	337	384
	27 & 29 London Road	338	385
	31 & 33 London Road	339	386
	32 London Road	340	387
	41 London Road	341	388
	69 & 71 London Road	342	389
	65 London Road	343	390
	Pound House, 67 London Road	344	391
	War Memorial, London Road	345	392
	Shenley Junior School, London Road	346	393
	St Martin's School, London Road	347	394
	2, 3 & 4 Court Lodge, 76 London Road	348	395
	78 & 80 London Road	349	396
	Methodist Chapel and railings, London Road	350	397
	92 & 94 London Road	351	398
	The Club House, 108 London Road	352	399
	Shenley Village Hall, 110 London Road	353	400
	112 London Road	354	401
	116 London Road	355	402
Black Lion Public House, London Road	356/01	403	
Outbuilding to the Black Lion Public House, London Road	356/02	404	
The Gingerbread House, London Road	357	405	
<b>New Road</b>	The Old Post Office, 1 New Road	358	406
<b>Porters Park Drive</b>	The Chapel, Porters Park Drive, Shenley Park	359	407
<b>Radlett Lane</b>	Winifred Cottages, Radlett Lane	360	408
	Frank Cottages, Radlett Lane	361	409
	South Lodge, Piers and Gates, Shenley Park, Radlett Lane	362	410
	Engine House at Shenley Park, Radlett Lane	363/01	411
	Stable flats at Shenley Park, Radlett Lane	363/02	412
	The Dairy at Shenley Park, Radlett Lane	363/03	413
	The Coach House at Shenley Park, Radlett Lane	363/04	414
	The Bothy at Shenley Park, Radlett Lane	363/05	415
	Porterslea at Shenley Park, Radlett Lane	363/06	416
	Greenhouses at Shenley Park, Radlett Lane	363/07	417
	Orchard Villa at Shenley Park, Radlett Lane	363/08	418
	Pillbox at Shenley Park Golf Club, Radlett Lane	364	419
	Auriol Lodge, Radlett Lane	366	421
<b>Rectory Lane</b>	Arden, Rectory Lane	367	422
	1 & 2 Warwick Cottage, Rectory Lane	368	423
<b>Woodhall Lane</b>	1 Woodhall Lane	370	425

### **APPENDIX 3: Other buildings that make a positive contribution to Shenley Conservation Area**

#### **SHENLEY**

<b>London Road</b>	Nos. 51-55 London Road 8 London Road Rest Harrow, London Road The King William IV PH, London Road Nos.84-88 (evens) London Road Nos. 102 & 104 London Road Nos.5-13 (odds) London Road 42-46 (evens) London Road
<b>Harris Lane</b>	Nos.19 & 21 Harris Lane 12 Harris Lane 13 Harris Lane 16 Harris Lane 43 Harris Lane
<b>Rectory Lane</b>	Coombe & roadside workshop/store to west, Rectory Lane Whitehaven & Terrick, Rectory Lane
<b>New Road</b>	38 New Road

## **APPENDIX 4: Buildings subject to Article 4 Directions**

### The Clubhouse, 108 London Road

Restriction of permitted development under Class A of Part 1, Schedule 2 of The Town & Country Planning General Development Order 1988. This relates to “the enlargement, improvement or other alteration of a dwellinghouse”.

### Nos 1-15, Cage Pond Road/ 1-19 & 21, Hillcrest Road/ 1-20, Mead Road

Restriction of permitted development under Classes A-F & H of Part 1, Classes A –C of Part 2, & Class B of Part 31, Schedule 2 of The Town & Country Planning General Development Order 1988.

## Appendix 5: Buildings in the London Road extension



*2 London Road (Pursleys)*



*15 London Road (Tomten)*



*13 London Road*



*9 & 11 London Road*



*5 & 7 London Road*

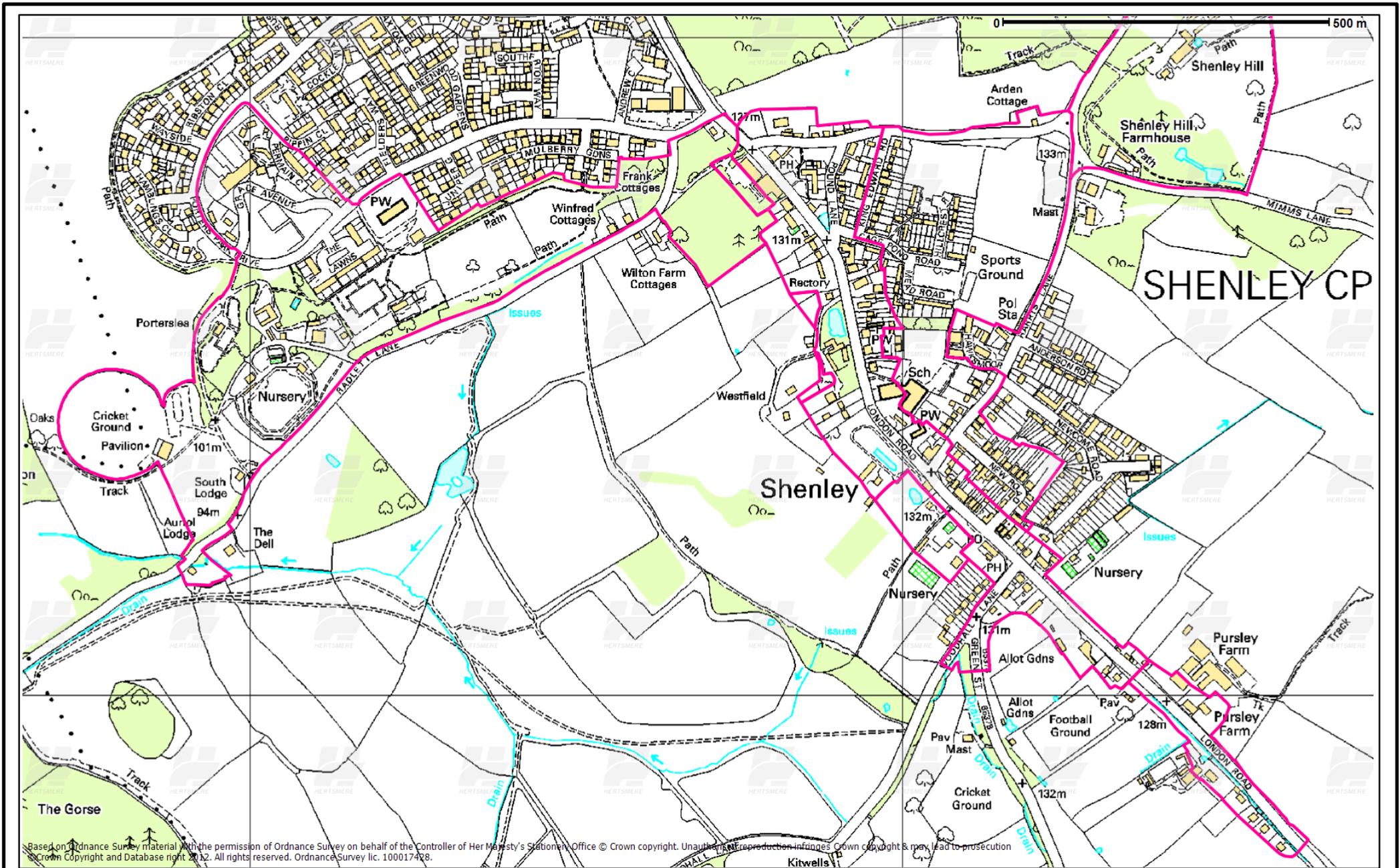


*1 & 3 London Road*

**Figure 16.** Houses in the London Road extension (photos taken 2011)



**Figure 17.** The Cage on the Pond



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Planning Policy

Scale 1:7720



Shenley Conservation Area

Amended boundary 19 June 2012



# SHENLEY PARISH HISTORY

## Parishes: Shenley

Pages 264-273

[A History of the County of Hertford: Volume 2](#). Originally published by Victoria County History, London, 1908.

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'Parishes: Shenley', in *A History of the County of Hertford: Volume 2*, ed. William Page (London, 1908), pp. 264-273. *British History Online* <http://www.british-history.ac.uk/vch/herts/vol2/pp264-273> [accessed 2 November 2023].

Keyword highlight

In this section

- [SHENLEY](#)
  - [MANORS](#)
  - [CHURCHES](#)
  - [ADVOWSON](#)
  - [CHARITIES](#)

### [Footnotes](#)

## SHENLEY

Senlai, Scenlai (xi cent.); Seneleia (xiii cent.); Shenle (xiv cent.).

The parish of Shenley ([fn. 1](#)) is situated in the south of the county on the Middlesex border; there is a detached portion of the parish on the west side separated by a long strip of the parish of Ridge. The parish contains 4,075 acres of land and 15 acres of land covered with water, the proportion in 1905 being about 658 acres of arable land, 3,765 acres of permanent grass, and 256 acres of woodland. ([fn. 2](#)) The River Colne forms the northern boundary, and the land rises gently southward from the river, which is a little over 200ft. above the ordnance datum, up to the village, which is about 431 ft. above the same datum. The subsoil is clay and chalk, and the upper soil clay, gravel, and sand. At Porters, the residence of Mr. Cecil Frank Raphael, is the only park of any size, but there are considerable pleasure grounds, in some cases almost amounting to parks, at Broad Colney, Shenley Lodge, Shenley Hill, the property of Mr. Frederick Hore, Shenley Grange, the residence of Mr. John Charrington, Wilton House, the residence of Mr. George Lionel Dashwood, J.P., and Shenleybury, the residence of Mr. Ernest R. Walker. High Canons, the residence of Mr. William Walker, is an estate of 800 acres, and contains 29 acres of a garden which is one of the most beautiful in Hertfordshire.

The old main road from London to St. Albans and the Midlands runs through the parish from north to south, and the existing main road to London goes through the northern portion of the parish. There are two or three cross roads connecting these main roads, and others connecting the old London road with Watling Street, which lies to the west. The nearest railway station is at Radlett, on the Midland Railway main line, about two miles from the village of Shenley. The village, from which extensive views can be obtained, is long and straggling, and lies on the old road to London, here pleasantly wide and wooded. At each end of the village is a pond, and immediately beside the northern of these is the cage, or old 'lock up'—a round white-washed building, which was restored in 1893. It has a wooden door of pointed shape, with small apertures on either side, closely guarded by perpendicular iron bars. Above each window is a small stone tablet, with the texts 'Do well; fear not,' on the left, and 'Be sober; be vigilant,' on the right. A rough bench runs round the wall. The cage was at one time flanked by a row of stocks, which have now disappeared. This small penitentiary did duty for the St. Albans and Barnet district, and prisoners awaiting trial in those towns were confined there until the gaols were built, when the Round House fell into disuse. It was last repaired in 1810, as, owing to a lack of occupants, a tree had taken root within it, and finally forced its way through the dome-like roof, splitting the structure. This date is carved over one of the windows. ([fn. 3](#)) Stocks were ordered to be set up at London Colney in 1821. ([fn. 4](#))

The houses are mostly of a yellow or light red brick, many of them being plastered and painted white. The hamlets in this parish are the portion of London Colney on the east side of the River Colne, Rowley Green (la Rouwell, xiii cent.) and Green Street lying to the south. The parish is largely composed of small properties occupied by gentlemen engaged in professional or business pursuits in London, and the population is mainly employed by them on their farms and gardens. There are no factories, but brick and tile making seem to have

been carried on for a considerable time, for we have mention of le Tylhouse [\(fn. 5\)](#) as early as 1386, and the Brickfield in 1614. [\(fn. 6\)](#)

The right to hold a market on Mondays and a fair on the vigil, feast, and morrow of St. Botolph was granted to Adam de Stratton on 15 May, 1268, [\(fn. 7\)](#) but there is no record of a market or fair ever having been held. Among other place-names, we have mention of the Leaden Cross (1617), a lane called Harepath or Herewey, Pursley, [\(fn. 8\)](#) Costardescroft, Rokokesland, le Brache, Shipcroft Grove, and Somerys Heath. Salmon mentions some earthworks in the parish which, it is stated, extend to Brockley Hill. [\(fn. 9\)](#)

## MANORS

We find from the Domesday Survey that in the time of Edward the Confessor the manor of *SHENLEY*, [\(fn. 10\)](#) later known as *SHENLEYBURY*, was held by two socmen, the one a housecarl of the king and the other a vassal of Earl Lewin; at the time of the Survey, however, it was held by Ranulph of the count of Mortain. There can be little doubt that this Ranulph was a member of the Chenduit family [\(fn. 11\)](#) and that his descendant, Ralph, in the twelfth century married Avelina de Somery, [\(fn. 12\)](#) with whom he obtained probably some of the Shenley Hall property. Their son, William Chenduit, granted this manor to Richard Fitz Reiner, [\(fn. 13\)](#) who was sheriff of London in 1187. This grant was confirmed by Roger de Somery, lord of the manor of Shenley Hall, and in 1204 by Miles de Somery, his son, to Henry Fitz Reiner, [\(fn. 14\)](#) brother of Richard. [\(fn. 15\)](#) It was further confirmed, about the same time or a little earlier, by Ralph son of William Chenduit to Henry Fitz Reiner, which last confirmation was witnessed by Henry Fitz Ailwin, first mayor of London. [\(fn. 16\)](#) Henry Fitz Reiner's son, called Saer son of Henry, dealt with lands in Shenley [\(fn. 17\)](#) and probably held the manor. Saer had two sons—John who inherited Shenley, and Henry, a goldsmith of London, who had property at Rotherhithe. [\(fn. 18\)](#) By fine dated 1256 [\(fn. 19\)](#) and deed, dated 1263, [\(fn. 20\)](#) John son of Saer granted this manor to Adam de Stratton, Chief Baron of the Exchequer, which grant was confirmed in 1272 by Stephen Chenduit. [\(fn. 21\)](#) Adam de Stratton had in the manor view of frankpledge, the right of amendment of the assize of bread and ale, gallows, pillory, and tumbriil. [\(fn. 22\)](#)

In 1290 Adam de Stratton being convicted of forgery and attainted, his lands were forfeited, [\(fn. 23\)](#) and Edward I, on 10 December, 1293, granted this manor to Otto de Grandison for life in exchange for the manor of Turweston in Buckinghamshire, which the king had granted to the abbey of Westminster. [\(fn. 24\)](#) The reversion of the manor was, on 5 June, 1317, granted for life by Edward II to Gerard de Orum, the king's yeoman. [\(fn. 25\)](#) This grant was confirmed by Edward III in 1328, [\(fn. 26\)](#) and in 1331 a further term of two years from the date of the death of Gerard de Orum was granted to his executors in consideration that the said Gerard had then only held the manor for three years. [\(fn. 27\)](#) The reversion in fee of the grant to Gerard de Orum was, on 15 September, 1332, given to John de Pulteney, citizen of London, at a rent of a pair of gilt spurs. [\(fn. 28\)](#) This grant was ratified with the assent of Parliament on 22 September, 1334, [\(fn. 29\)](#) and again on 20 March, 1336. [\(fn. 30\)](#) Sir John Pulteney received a grant of free warren over his lands in Shenley in 1339, [\(fn. 31\)](#) and died seised of the manor in 1349. He was succeeded by his son William, a minor, on whom it had already been settled. [\(fn. 32\)](#) William died without issue in 1367, and the manor went to his cousin Robert Oweine, son of William Oweine, who had married Ellen, sister of Sir John Pulteney. [\(fn. 33\)](#) Robert Oweine took the name of Pulteney and was succeeded apparently by his second son John. [\(fn. 34\)](#)

The manor was settled in 1428 upon Thomas Pulteney, son of the above John, and Margaret, his wife, daughter of Sir Philip Seintclere, [\(fn. 35\)](#) who died apparently without issue, when the manor went to Sir John Pulteney. He died in 1467, leaving Thomas Pulteney his son, [\(fn. 36\)](#) who died in 1507 and left his grandson Thomas, son of his son John, his heir. [\(fn. 37\)](#) At Sir Thomas's death in 1541 the manor passed to his son Francis, [\(fn. 38\)](#) and from him in 1547 it went to his son Michael, [\(fn. 39\)](#) who died without issue in 1567. The manor had been settled upon Katherine, widow of Michael Pulteney, who married Sir Henry Darcy, [\(fn. 40\)](#) and held it till about 1597, when it went to Gabriel Pulteney, brother of Michael, who had settled it in 1596 upon John his son and heir. [\(fn. 41\)](#) Sir John Pulteney died in 1617 and the manor passed to John his son, [\(fn. 42\)](#) who married Margaret, daughter of Sir John Fortescue, upon whom it was settled. Margaret afterwards married Colonel William Eure, and in 1645, as his widow, was stated to be a recusant and to have sold her life interest to Sir Randolph Crewe, who purchased it on behalf of his grandson Randolph, son of Sir Clipsby Crewe and Jane, sister and co-heir of John Pulteney, to whom after the death of his kinsman this manor fell. [\(fn. 43\)](#) At Sir Clipsby Crewe's death the manor went to John, his son, who in 1666 sold it to Joshua Lomax. [\(fn. 44\)](#) The manor remained in the hands of the Lomax family till 1850 when Joshua Lomax sold it to William Joseph Myers of Porters, who was succeeded at his death in 1858 by his son Thomas Borrton Myers, at whose death it passed to his son Captain William Joseph Myers of Porters Park, from whom the manor passed with Porters to Michael Paul Grace. He shortly afterwards sold it to Vernon M. Martin, of Shenley Lodge, who now holds it.



Pulteney. *Argent a fesse dancetty gules with three leopards' heads sable in the chief.*



Crewe. *Azure a lion argen.*



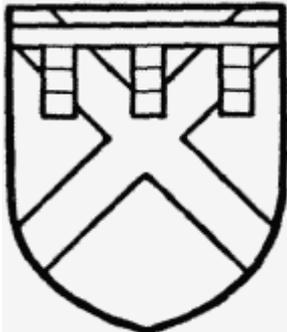
Lomax. *Ermine a running greyhound sable between three scallops gules.*

The manor of SHENLEY HALL or SALISBURIES was held of the honour of Mandeville, and later it is described as being held of the manor of North Mimms. (fn. 45) In the time of Edward the Confessor it was held by Asgar the Staller and was granted by William I to Geoffrey de Mandeville, in whose hands we find it at the time of the Domesday Survey (A.D. 1086). (fn. 46) The overlordship followed the descent of the honour of Mandeville; the manor however was held from an early date by the family of Somery, lords of North Mimms, and it would appear that towards the close of the twelfth century it was in possession of Roger de Somery, from whom it descended to his son Miles, who died about 1229 and was succeeded by his son Roger, (fn. 47) at whose death in 1235 the property passed to his brother Stephen. (fn. 48) In 1258 Adam son of Stephen de Somery conveyed to Walter de Meriden (or Munden) and Muriel, his wife, and the heirs of Muriel, two and a half carucates of land in Shenley. (fn. 49) Walter de Meriden left a daughter Margaret who died before April, 1289, leaving an heir. (fn. 50) This heir was possibly Thomas de Muskham, who held the manor in 1303 (fn. 51) and whose son Thomas (fn. 52) settled it in 1336 on William son of Martin de Isledon and Alice his wife. (fn. 53) In 1351 Thomas de Muskham conveyed to Andrew Aubrey of London and later to Joan, widow of the same Andrew, lands in Shenley, and eventually the manor. (fn. 54) John son and heir of Andrew and Joan Aubrey, who was sheriff of London in 1373–4, released to his mother Joan in 1361 all his interest in the lands which she held in Shenley. (fn. 55) John Aubrey married Maud, daughter of Adam Francis, mayor of London 1352–4, and he or his mother seems to have given this manor to his wife. Upon his death his widow married, firstly, Sir Alan Buxhill, and later John Montagu, afterwards earl of Salisbury, and the manor of Shenley, with all the land which belonged to John son of Andrew Aubrey in Shenley, Ridge, Parksoken, and Watford, was conveyed in 1388–9 by John Fifhide and others, probably as trustees for John Montagu and his heirs. (fn. 56) This earl was beheaded and attainted in 1400, and in the inquisition taken after his death we find he died seised of this manor, (fn. 57) which being probably settled upon his widow, who held it till her death in 1424, was not forfeited. Thomas son of John Montagu was, it would seem, restored to his father's possessions in 1409 and died in 1428, leaving an only daughter Alice who married Richard Nevill, created earl of Salisbury in 1442. The manor was settled in 1458 on John Nevill, third son of the said Richard and Alice, and Isabel his wife. (fn. 58) This son was created earl of Northumberland in 1464–5, which title he relinquished in 1470 for that of marquis of Montagu. He was slain at the

battle of Barnet in 1471, when his lands were forfeited, but the manor being settled upon his widow, who married Sir William Norreys, was held by her till her death in 1476, when we find she held it of Elizabeth queen of Edward IV as of the honour of Mandeville, by the service of a third of three parts of a knight's fee. (fn. 59) George son and heir of the said John and Isabel, afterwards created duke of Bedford, was born in 1465, and being a minor at the death of his father and mother his lands came into the custody of the king. He died under age in 1483, when this manor passed to his four sisters and co-heirs, viz. Elizabeth the wife of Thomas, Lord Scrope of Masham; Margaret, who married Sir John Mortimer and later Charles Brandon, afterwards duke of Suffolk; Lucy the wife of Sir Thomas FitzWilliam and secondly of Sir Anthony Browne; Isabel the wife of Sir William Huddleston; and John Stonor, son and heir of Anne, another sister. (fn. 60) In 1507 two parts of the manor belonging to the sisters Lucy, then widow of Sir Anthony Browne, and Margaret, then the wife of Charles Brandon, were conveyed to Sir John Cuttes, probably upon the marriage of his son John with Lucy, daughter of the above mentioned Lucy Browne. (fn. 61) Sir John Cuttes appears to have obtained the other two parts of the manor and died seised of the whole in 1521, when he was succeeded by his son John Cuttes, a minor. (fn. 62) The manor was settled as dower in 1513 upon Lucy the wife of John Cuttes the younger, and after his death it was held by his widow, who married Sir Thomas Clifford. (fn. 63) John, son of John Cuttes and Lucy, sold the manor in 1600 to Henry Hull, (fn. 64) who in the following year sold it to William Ewer. (fn. 65) It was, however, afterwards re-conveyed by Ewer to Henry Hull, (fn. 66) whose son sold it to Richard Cole in 1616. (fn. 67) Richard Cole died in 1653 leaving William his son and heir, who sold it to James Hoare in 1668. (fn. 68) In the following year Hoare sold it to William Snell and John Snell as trustees for their relative Sir Jeremiah Snow, (fn. 69) who held it till his death in 1702, when it passed to the Snells, with whom it remained till 1831, when it was sold to Hamylton Gyll, who in 1842 sold it to William Robert Phillimore and Anna Phillimore. (fn. 70) It passed in 1879 to Thomas H. Woods, and in 1884 to Charles Walter Martin, who died in 1889 leaving Salisbury Hall and manor to his son Walter Edward Martin, and Shenley Lodge and Pinks Farm to his son Vernon Moritz Martin, the present possessors. (fn. 71)



Montagu. *Argent a fesse indented of three points gules.*



Nevill. *Gules a saltire argent and a label gobony argent and azure.*

Salisbury Hall is situated on the low ground about 1½ miles north of Shenley. It is completely surrounded by a moat, still filled with water, about 36 ft. wide. The front of the house is approached by a bridge, and is some 100 ft. back from the moat. It is said by Leland that Sir John Cuttes built a house here early in the fifteenth century. Sir Jeremiah Snow, however, who resided here from about 1669 until his death in 1702, appears to have entirely rebuilt the house, and a considerable portion of his work still exists. Charles II was entertained here on several occasions, with great hospitality, by Sir Jeremiah. It is said that the king used some of the secret chambers in the hall as hiding-places. These chambers are not now visible. The Crown Chamber, where Charles was entertained, was pulled down in 1819, when a large part of the old house was demolished. Considerable additions were made to the house in 1884, chiefly at the back.

The house, as seen from the front, which faces the north, is of brick, and is nearly all the work of Sir Jeremiah Snow. It is of two stories, with attics, lighted by dormer windows in the tiled roof. At the west are two large chimney stacks with square chimneys, placed diagonally, on the top. The back elevation has twin gables. In the centre of the front is a brick projecting porch, carried up with rooms over it on the first floor, and attics. The entrance to the porch is of stone, with pilasters and moulded archivolt, having a moulded cornice and broken pediment above, in which is set a shield with the arms of Snow, roughly coloured. The porch has brick recesses

with seats inside, and on the outside are brick piers or buttresses which carry the superstructure, the rooms above being wider than the porch itself.

On entering the house, the principal rooms are on the right; the kitchen offices, also old, but containing nothing of interest, are on the left, and in the rear are the modern additions. A passage leads from the front door to the rooms at the back, but this was originally part of the old hall, on the right of the passage. It is now used as the dining-room. The floor of this apartment is flagged, and the walls up to a height of 7 ft. are lined with old oak panelling, now painted, with moulded styles and rails, and a moulded cornice at the top. Above the panelling, set in the wide frieze round the hall, are the famous medallions which were purchased by Sir John Cuttes, the builder of the first house, from the nunnery of Sopwell, at St. Albans. They are supposed to be of fifteenth-century work, but it is not known by whom they were executed. They are circular medallions, of plaster apparently, about 3 ft. in diameter, with moulded rims, and each, with two exceptions, bears a large head, in low relief, of a Roman emperor, with the name, in Roman character, round the rim. They are evidently copies of old coins. There are said to have originally been twelve of these medallions, and the number of those existing varies in different accounts. At present there are six whole medallions and three half-ones visible, the other halves being presumably built into the walls. The whole ones represent Vespasian, Constantine the Great, Julius Caesar, Marcus Aurelius, Augustus, and Trajan; and the half-ones, Marcus Antonius, Zenobia, and Cleopatra. On one side of the hall is a wide stone fireplace with moulded jambs and lintel.

At the south-west corner of the hall is a doorway leading into a small modern passage, carved out of the drawing-room, which is on the right, to the front of the house, the morning-room being on the left. These two rooms form the western termination of the old house, and against their walls, outside, are the two chimney-stacks previously mentioned. These rooms contain no panelling, but in the drawing-room is a good stone chimney-piece, carved with fruit and foliage.

The main staircase is entered from the south side of the hall, close to the drawing-room door, and the stair is carried up to the attic floor. It is of oak, with massive square newels, crowned with vases, heavy moulded hand-rail, and moulded and twisted balusters.

The bedrooms on the first floor, which extend along the whole of the north front, do not contain much panelling, though a small portion exists in the room over the porch. The doors to the rooms are old and curious, having two large, equally sized, moulded panels on the outside, and plain, with ledges, on the inside. Some of the chimneypieces are old, simply designed in wood, and in the fireplace of the room over the morning-room are some fine old blue and white tiles representing houses, churches, butterflies, and other objects; and another fireplace in the back corridor, which has been formed out of a large room over the hall, has similar tiles, showing various evolutions of a man on horseback.

On the attic floor, there are several cupboards of considerable depth formed in the sloping roof, which are said to have been entrances to secret passages and hiding holes. A passage is also said to exist under the paving in the hall.

Outside the house, opposite the front, are a number of old brick farm buildings, most of them lying on the other side of the moat. Close to the bridge over the moat is an old cast-lead cistern with ornamental panels, in which are the initials R.L. and the date 1757. At that date the manor belonged to the Snell family. There is a very small lead cistern immediately above the larger one, with what appears to be the royal arms upon it, but it is much defaced.

On a small, thickly-wooded island, formed by an artificial moat in the grounds of the property now known as *COLNEY CHAPEL* or *BROAD COLNEY CHAPEL*, there formerly stood the chapel of St. John the Baptist. The origin of the chapel is unknown; the earliest information we have about it is that Avelina de Somery, wife of Ralph Chenduit, who lived in the twelfth century, gave to it twenty acres of land. [\(fn. 72\)](#) Her son William Chenduit sold the manor of Shenleybury and the advowson of the chapel to Richard Fitz Reiner, at whose death, in 1191, [\(fn. 73\)](#) the advowson passed to Henry Fitz Reiner, his brother, by agreement between the said Henry and William, another brother. This Henry, with the counsel of William, considerably augmented the revenues of the chapel in accordance with the will of his brother Richard, for the benefit of the souls of Reiner, his father, and Alice his mother, and the soul of the said Richard, and in return for licence to celebrate divine service in Colney chapel, Henry granted to the parson of the mother-church of Shenley all the land which Abel held of him in Shenley, and 1 lb. of cummin to be paid at the feast of St. Botolph. [\(fn. 74\)](#) The father of Reiner was son of Hugh de Bifield, a landowner in Byfield and Charwelton in the county of Northampton. [\(fn. 75\)](#) Richard Fitz Reiner was sheriff of London in 1187, and played an important part in establishing the commune at London in 1191, [\(fn. 76\)](#) in October of which year he entertained the earl of Mortain, afterwards King John, at his house in London. [\(fn. 77\)](#) In 1203 Pope Innocent III made a decree in a dispute between J. de Somery, parson of the church of Shenley, and the chaplain of Colney as to altarages and other matters. [\(fn. 78\)](#)

There appears originally to have been but one chaplain serving at the chapel, but under Henry Fitz Reiner's reFOUNDATION charter it was ordained that there should be two chaplains with their ministers. William de Mandeville, Arnold chaplain of Titburst, and others left lands and rents for the maintenance of the chaplains who should pray for their souls. [\(fn. 79\)](#) These chaplains were for a time, at the latter half of the thirteenth and beginning of the fourteenth century, under the rule of a warden. [\(fn. 80\)](#) During the whole course of the existence of the chapel the advowson seems to have followed the descent of the manor of Shenleybury. The chapel

appears to have fallen into disuse in the fifteenth century [\(fn. 81\)](#) when it became a ruin, so that in the early part of the following century its existence was only a tradition. [\(fn. 82\)](#) A house called Colney Chapel seems to have been built by the Pulteneys, lords of the manor of Shenleybury, near the site of the chapel, and was leased by them in the sixteenth century to Hugh Barnearde for thirty years, and later to William Downer, who was holding it in 1566. In this year an information was filed in the court of Exchequer against William Downer and Christopher Palmer as to their lands being concealed from the crown, and a commission was awarded and depositions were taken. These depositions suggest that the site of the chapel was upon the island already referred to, that the chapel had not existed within living memory, and that the land on which it stood was copyhold of the manor of Shenleybury. [\(fn. 83\)](#) As a result of this inquiry the lands were adjudged to have been concealed, and on 28 March, in the following year, Colney chapel *alias* Broad Colney chapel, with the mansion-house adjacent, lately, as it was stated, belonging to the monastery of Waltham Holy Cross, was granted by letters patent from the queen to Nicasius Yetseweit and Bartholomew Brokesby. [\(fn. 84\)](#) It is not very clear what occurred after this grant, but in 1567 Gabriel Pulteney conveyed the premises to Edward Weldon of East Peckham. [\(fn. 85\)](#) In 1573 Weldon mortgaged them to Humphrey Hawfeld, [\(fn. 86\)](#) who in the following year, upon repayment of the mortgage, re-conveyed the lands to Weldon. [\(fn. 87\)](#) Weldon's title seems afterwards to have returned to the Pulteneys. Yetseweit's and Brokesby's title was apparently conveyed about 1578 by George Hawes to Sir Nicholas Bacon, the lord keeper, who died possessed of the chapel in 1579, [\(fn. 88\)](#) and Sir Nicholas Bacon, his son and heir, in the same year conveyed it to Anthony Bacon, his brother. [\(fn. 89\)](#) Anthony Bacon sold it to Thomas Humfrey, who in 1602 granted it to Erasmus Cook, vicar of St. Michael's, St. Albans, [\(fn. 90\)](#) and he in 1604 to Roger Marsh. [\(fn. 91\)](#) In 1611, during the minority of Sir John Pulteney, an information was filed against Roger Marsh and others as to their wrongful possession of this property Marsh pleaded the crown title under the grant from Queen Elizabeth to Yetseweit and Brokesby as concealed lands, probably, as supposed to have belonged to the abbey of Waltham, and which at the dissolution of that house ought to have gone to the crown. A trial was ordered to take place at the King's Bench Bar, where Sir John Pulteney's title was upheld. The defendant, it is said, could 'not prove his title, though he laboured to prove and maintain' the concealed title. It was, therefore, ordered that Sir John Pulteney, his heirs and assigns, should for ever thereafter possess the said lands. [\(fn. 92\)](#) As a consequence, probably, of this decree, Roger Marsh, on 17 January, 1611–12, conveyed Colney chapel to Sir John Pulteney, [\(fn. 93\)](#) who died seised of it in 1617, leaving John his son and heir. [\(fn. 94\)](#) John died in 1637, leaving as his heirs his three sisters Alice wife of John Brownlowe, Mary Pulteney, and Jane wife of Sir Clipsby Crewe, and Thomas Aston son of Sir Thomas Aston, bart., and Magdalen fourth sister of John. [\(fn. 95\)](#) The advowson was apparently assigned to his wife Margaret, who afterwards married William Eure, as dower, with reversion to Jane Crewe. [\(fn. 96\)](#) Jane died seised of the reversion in 1639, leaving her son John her heir. [\(fn. 97\)](#)

The next occupant of Colney House whose name has been found is Charles Wodehouse, who resided there in 1770. [\(fn. 98\)](#) The estate afterwards came to Charles Bouchier, governor of Madras, who, after his return from India about 1783, rebuilt Colney House at a cost of about £53,000. Charles served as sheriff of Hertfordshire in 1788, and married Anne, daughter of Thomas Foley, M.P. for the county. [\(fn. 99\)](#) He sold Colney House to the margrave of Anspach, who was resident there in 1795, [\(fn. 100\)](#) and after living there for about four years disposed of it to the earl of Kingston, of whom it was bought by George Anderson in 1804. In 1808 the park included about 150 acres, and contained some fine oak and elm timber. [\(fn. 101\)](#)

The house is described as 'a handsome and regular structure with wings and two fronts, the principal of which faces east, and has a semicircular portico at each entrance, surmounted by a half dome. The west front is diversified by a uniform projection on each side the doorway, finished by a balustrade. The chimney-pieces are all of marble, and the offices are connected with the house by an underground passage completely concealed by a plantation of evergreens.' [\(fn. 102\)](#) George Anderson sold Colney Park to Patrick Hadow, high sheriff of the county in 1824. [\(fn. 103\)](#) He sold it in 1832 to Henry Hoyle Oddie, [\(fn. 104\)](#) on whose death in 1847 the estate came to his eldest son, Henry Hoyle Oddie. He died in 1869, [\(fn. 105\)](#) and Colney Park was sold in 1871 to Andrew Lusk, [\(fn. 106\)](#) lord mayor of London in 1873–4, who was created a baronet in that year. He subsequently sold it to a Mr. Kingham, during whose occupation the house was burnt. [\(fn. 107\)](#) It was rebuilt and sold by Mr. Kingham to the community known as the All Saints Sisters.

The house was pulled down and the foundation stone of the conventual buildings laid 27 September, 1899. The community had its origin in 1856, being 'founded by Harriet Brownlow Byron, together with the Rev. W. Upton Richards, first vicar of All Saints' Church, Margaret Street, London—a practical outcome of the life which was flooding the Church through the Oxford Movement. The special work of the sisters is the care of the sick and aged, and the bringing up of orphan children, though they have many other works both at home and abroad. The new convent at Colney chapel is specially intended for the training home of young sisters and a haven of rest for the aged members of the society, as well as a place of refreshment for sisters to come to from the smoky, busy centres of work in our northern towns.' [\(fn. 108\)](#)

Excavations have been made in the island in the park, and the foundations of what is probably the ancient chapel discovered.

The manor of *WELD* (la Wauz, la Wald, la Weld, *alias* Weldhall, *alias* Overweld) in the hamlet of Oakhurst, was early in the thirteenth century held by Geoffrey de Childwyk, who gave the tithes of it to St. Alban's Abbey. [\(fn. 109\)](#) In 1247 it was in the hands of Walter de Weld, [\(fn. 110\)](#) and in 1256 Thomas, son of Walter de Weld, and Joan his wife held it. [\(fn. 111\)](#) The family of Weld [\(fn. 112\)](#) continued to hold land here, but how long they held the

manor is uncertain. According to a manuscript printed in Cussans' *History of Hertfordshire*, ([fn. 113](#)) the manor was held by John de Weyland, who died in 1318, when it seems to have fallen to the share of his daughter and one of his co-heirs, Matilda, wife of John Peacock. From Matilda it passed to Edmund Peacock, who left his sister, the wife of John de Somersham, his heir. John de Somersham had two daughters, Margery the wife of William Ashe, and Alice the wife of John Swanborne. At the death of Alice without issue the manor went to William and Margery, who left an only daughter, Elizabeth the wife of Thomas Frowick. Henry Frowick, son of the said Elizabeth and Thomas, was holding the manor in 1476 ([fn. 114](#)) and left a son Thomas. This Thomas died in 1485, leaving a son Henry, who married Anne Knolles and died in 1527, ([fn. 115](#)) when his daughter Elizabeth, wife of John Coningsby, succeeded to the manor.



Frowick. *Azure a chevron between three leopards' heads or.*



Coningsby. *Gules three sitting conies argent in a border engrailed sable.*

In 1544 Elizabeth and her husband levied a fine of this manor together with the manors of Randolfs and Oakhurst, ([fn. 116](#)) and again in 1558, after the death of John Coningsby, she and her second husband William Dodds settled the same manors on Henry Coningsby her son. ([fn. 117](#)) This Henry in turn appears to have settled it upon his younger son, Sir Ralph Coningsby, who on 3 December, 1614, apportioned it to Thomas his second son. Sir Ralph died in the following year and Thomas succeeded to this manor. ([fn. 118](#)) Sir Henry Coningsby son of Thomas Coningsby conveyed it to his daughter Genevieve wife of Thomas Aram. ([fn. 119](#)) Genevieve died in 1707, and apparently left the manor to her husband, whose devisees ([fn. 120](#)) sold it to the trustees under the marriage settlement of the Hon. Robert Byng. By authority of an Act of Parliament the trustees in 1748 sold it to John Mason. Emily relict of John's son George, with her husband George Jubb, conveyed it in 1772 to Richard, Viscount Howe. ([fn. 121](#)) At the death of Lord Howe in 1799 the manor apparently went to his youngest daughter, Louisa Catherine, marchioness of Sligo, who in 1816 sold it to Luke White. At his death the manor went to his fourth son, Henry White, afterwards Baron Annaly, who sold it in 1839 to Samuel Clarke Jervoise, and he in 1859 to William Joseph Myers, father of Thomas Borron Myers, whose son William Joseph sold it to Michael Paul Grace. From him it passed between 1899 and 1902 to Cecil Frank Raphael, the present owner. There was a chapel in Weld House in which a marriage was performed in 1477. ([fn. 122](#)) The Weld does not now exist as a separate manor, but became incorporated with Porters' Park when both were in possession of John Mason. Its site may probably be identified with that of Wild Farm on the north-western border of Porters' Park.

The manor of SALMONS was held of the manor of Weld. ([fn. 123](#)) The family of Salmons is mentioned at an early date, and in 1277 Henry Saleman was a tenant of the manor of Shenley. ([fn. 124](#)) It is recorded in 1486 that Richard Salman did suit of court for the lord of the manor of Shenley once a year at Blanche Appleton in London, ([fn. 125](#)) and held three-parts of one knight's fee in Shenley. Richard Nunny and Joan his wife, who held this manor in 1498 in right of Joan, conveyed it to John Harvey or Hervey, clerk, Richard Harvey, and others; ([fn. 126](#)) and in 1539 Richard Harvey settled the manor together with a messuage called Porters upon himself and his wife Christine for life, with remainder to Robert Harvey and his heirs male, and in default to John the elder, John the younger, and other children. ([fn. 127](#))

John Harvey and Henry, his son, apparently conveyed the manor to Hugh Catford in 1595. ([fn. 128](#)) Catford, it would seem, conveyed it to Sir Richard Coxe of Porters, and from him or his brother Alban it passed to Edward Briscoe, who died seised of it in 1638, leaving Edward his son and heir, who inherited this property. ([fn. 129](#)) This

manor subsequently came into the possession of the family of Nicoll, and in 1759 Robert Nicoll and Anne conveyed it by fine to John Pudsey, ([fn. 130](#)) who with his wife Anne sold it in 1773 to George Clarke. ([fn. 131](#)) The later descent is not known.

*PORTERS* or *PORTERS' LODGE*, in the tithing of Titburst and parcel of the manor of Wheathampstead, is a property which has been considerably increased in size in late years. In 1291 Robert de Kendal conveyed to John de Toky of Aldenham and Agnes his wife a messuage with 69 acres of land, 3 acres of meadow, and the rent of 10d. yearly in Aldenham and Titburst, ([fn. 132](#)) and in 1340 John de Thoky or Toky settled this property on himself for life and then on John son of Roger le Porter of Aldenham, from whom the property probably takes its name. ([fn. 133](#)) In 1391 we find that Geoffrey Porter of Titburst owed suit at the abbot of Westminster's court at Wheathampstead, ([fn. 134](#)) and at the same date we have mention of the tenant of 'Porterlees.' In 1403 John Stevens and Ellen his wife gave a fine for respite of suit at the same court for a tenement formerly Benbales and afterwards Porters in Titburst, ([fn. 135](#)) and Ralph Werall in 1487 conveyed the manors and lands called Edmonds, Porters, Bedewells, and Scotts, in the parish of Aldenham, to Humphrey Coningsby. ([fn. 136](#)) It passed from the family of Coningsby to that of Harvey, probably through the marriage of Margery daughter of John Coningsby son of Humphrey mentioned above, with John son of Richard Harvey; ([fn. 137](#)) and in 1539 it was in the hands of Richard Harvey, who settled it with Salmons on his wife Christine for life, with remainder to Robert Harvey and his heirs male, and in default to John the elder, John the younger, Thomas, Isabella, Margaret, Elizabeth, and Katherine, his children, and their heirs male successively. ([fn. 138](#)) From John Harvey and his son Henry it passed to Sir Richard Coxe, who held it early in the seventeenth century. ([fn. 139](#)) Richard Coxe died in 1623, ([fn. 140](#)) but he seems to have let his brother and successor, Alban Coxe, live here as early as 1610. From Alban Coxe ([fn. 141](#)) the property passed to William his second son, whose daughter and coheir Mary married Sir Edmund Anderson and died in 1674, leaving a son Edmund who died in 1685, without surviving issue. The estate was afterwards acquired by John Mason, a distiller of Greenwich and Deptford, who died there in 1750, ([fn. 142](#)) and from that date it followed the descent of the manor of Weld in this parish (q.v.). The park is now let to a golf club.



Mason. *Party fessewise ermine and azure a lion with two heads countercoloured.*

The manor of *HOLMES* alias *CANNONS* was in the thirteenth century in the hands of the Somery family, and was granted under the description of lands and rents in Shenley by Adam son of Elias de Somery, and Saer son of Henry, early in that century, to the prior and canons of St. Bartholomew, of West Smithfield, London. ([fn. 143](#)) At the time of the dissolution of this monastery in 1539 we find that the manor or farm was in lease to Robert and William Basse. ([fn. 144](#)) It was granted on 25 July, 1543, to John Brockett, John Alwey, and Nicholas Bristowe, ([fn. 145](#)) and the receipts for the purchase-money given to Nicholas Bristowe are extant. ([fn. 146](#)) In 1544 Brockett and Bristowe made over their interest in the manor to John Alwey, and in 1558 William Basse obtained licence to convey his lease to John and Henry Alwey. ([fn. 147](#)) John died seised of the manor in 1578, leaving two parts to his wife Mary during the minority of his son and heir John, then aged fourteen years. ([fn. 148](#)) Livery of the manor was made to John in 1587, ([fn. 149](#)) and he died in 1600 seised of a third of the manor, and of the reversion of two-thirds after the death of his mother, leaving Ralph his brother and heir, ([fn. 150](#)) to whom livery of a third of the manor was made in the following year. ([fn. 151](#)) Ralph died seised of the manor in 1623, leaving his three daughters, Mary, Anne, and Dorothy, his heirs. ([fn. 152](#)) This manor fell to the share of Mary, the eldest daughter, who married Edward Wingate. ([fn. 153](#)) In 1656 Edward Wingate and his wife conveyed it to James Gifford, ([fn. 154](#)) whose widow, Ann, sold it in 1683 to Edward Noell. ([fn. 155](#)) In 1722 the representatives of Edward Noell sold it to Thomas Wotton, ([fn. 156](#)) whose only daughter married William Abney, barrister-at-law, and they sold it in 1771 to Robert Cotton Trefusis. The house was rebuilt by Trefusis, and after his death the manor was sold by his trustees to John Harcourt, of George Street, Hanover Square, who in 1778 sold it to Justinian Casamajor of North Mimms. In 1794 Casamajor sold it to Thomas Newt of Gower Street, London, who two years later parted with it to Thomas Fitzherbert of Portsea. Fitzherbert spent a large sum on alterations to the house and grounds, and sold the property in 1802 to John Macqueen, from whom it was purchased by Sir Walter Farquhar, bart. In 1806 Sir Walter sold it to Henry Bonham, M.P. for Leominster, and he in 1812 to Enoch Durant. On the death of Enoch Durant in 1848 it passed by will to his cousin, Richard Durant, who died in 1878, leaving a son Richard. Richard died in 1886, and was succeeded by his four daughters, Mrs. Trotter of Dyrham Park, Mrs. John Trotter, Mrs. Charles Parker, and Hon. Mrs. Herbert Gibbs. The estate was sold in 1888 to Mr. Burdett-Courts, whose property it now is. ([fn. 157](#))

The hamlet and manor of *OAKHURST* (Ochers, Ockerse, xiii cent.; Okehirst, xiv cent.) extended into the parishes of St. Stephen's and Shenley, and lay on the west side of Watling Street, where the road branches off to Aldenham, a little to the south of Colney Street. (fn. 158) William de Ockerse held a fee by the service of escorting the abbot of St. Albans when he came from visiting the cell of Tynemouth. (fn. 159) We find that lands here, but whether the manor is uncertain, were held in 1248 by John Abel, kinsman of Solomon and Reginald de Ochers, (fn. 160) and later, in the thirteenth century, by the family of Weld, Waud, or Wauz. (fn. 161) In 1319 Walter de Muskhams and Joan his wife conveyed two messuages, a carucate, and virgate of land here to Matthew de la Vache. (fn. 162) The first mention we have of the manor of Oakhurst is in 1375, when William de Bury, citizen of London, and others granted it to Joan, widow of John de Whitewell or Withwell. (fn. 163) The manor seems to have been divided at about this time, the one portion, which may possibly have been the same as Netherweld, came into the possession of the families of Frowick and Coningsby (fn. 164) early in the sixteenth century, and from that time followed the descent of the manor of Weld, and now apparently forms part of the Porters Estate. The other part of the manor, in the parish of St. Stephen's, was, we find, held by Thomas Ryden, then by John Plumer, alderman of London, who died in 1479, and in 1505 by William Skipwith, (fn. 165) whose grandson Thomas Skipwith and Joan his wife in 1537 settled it upon their son William. (fn. 166) William Skipwith held the manor in 1561, when he conveyed it to Roger Bansted and Robert Smyth, probably as trustees. (fn. 167) In 1756 Samuel Nicoll and Sarah his wife conveyed it by fine to Edgar Edlyne. (fn. 168) In the latter part of the eighteenth century this manor was held by John Osborn, who, in 1786, settled it on John his son and Dorothy his wife. John the son died in 1809, leaving two sons, who took the name of Jenkins. Dorothy, his widow, died in 1825, when the manor was put up to auction and sold to the trustees of the will of Peter Thellusson. (fn. 169) After this time the manor probably became merged in the Aldenham Abbey estate.

We have mention in the sixteenth century of a messuage and lands called *RAWDISH*, and a meadow called Southmede, which belonged to St. Alban's Monastery, and was leased to Sir John Cuttes on 16 May, 1517. (fn. 170) On 15 April, 1540, they were granted to Sir Richard Lee, (fn. 171) and confirmed to him on 21 December, 1546. (fn. 172) The later history of this property is not known.

## CHURCHES

The church of *ST. BOTOLPH* is situated about three-quarters of a mile to the north of the village, and stands in a large churchyard with some particularly fine yew trees on the west and south sides, and with a modern lychgate on the south-west. From what remains of the church it appears to have been rebuilt in the early part of the fifteenth century, probably about 1424, when we find that Maud, countess of Salisbury, bequeathed money to the fabric. (fn. 173) The exterior of the building is faced with excellent flintwork, almost equal to some of the best examples of this work to be found in the eastern counties. The buttresses and walls, however, are now much patched with modern bricks. At the east end, hanging on a cross beam in the open is the church bell, and on the south wall is a sun-dial. The church appears to have formerly consisted of a chancel, a nave of four bays, a south aisle, and western tower. In 1753 the chancel and tower were demolished, the nave arcade and roof were destroyed, and a flat plastered ceiling substituted, leaving the church in its present miserable barn-like condition. (fn. 174) The east and west windows are modern and in fifteenth-century style. The windows at the sides are original. At the west end is a gallery containing the organ, which is supported on oak pillars, below which are two eighteenth-century square pews. The reredos, altar rails, and pulpit are of modern carved oak, and were erected by subscription in 1878. The font at the west end is externally of plaster. There is a late fifteenth-century indent for a brass of a knight and his lady on the floor on the south side. The church formerly contained lights of the Blessed Mary, the Holy Cross, and St. Katherine. (fn. 175)

The plate consists of a chalice, flagon, and a standing paten inscribed as the gift of Mrs. Catherine Heywood in 1798, but bearing the date 1774 under the foot and hall marked for 1773, a salver with the same inscription but no second date and hall marked for 1775, and a plated cup of late eighteenth-century design.

In the village is a small chapel of ease built in 1841 (fn. 176) of red brick, with a slate roof. It consists of a chancel and nave with a bell turret at the southwest corner, a vestry at the north-east, and a porch at the west end. There is a western gallery, and the windows are square-headed with wooden mullions.

Besides the chapel of St. John the Baptist at Broad Colney, already referred to, there was in the parish a chapel of the Blessed Mary, which apparently was the same as Titburst Chapel, the patronage of which in the thirteenth and early fourteenth centuries was, it seems, in the hands of the lords of Salisbury Hall. In 1271 Walter de Munden, William de la Lee, and John de Wethamsted presented to this chapel of Titburst in the parish of Shenley, (fn. 177) and early in the fourteenth century Thomas Muskhams, Roger Salman, and Matthew de Wethamsted presented to the chapel of the Blessed Mary in Shenley. (fn. 178) In 1436 Thomas Stuckley and Isabella his wife conveyed the advowson of the chapel of Shenley to Richard Leget. (fn. 179) The position of the chapel is unknown, but it seems probable it was in the detached piece of Shenley parish between the detached piece of Ridge and Aldenham parish.

The registers begin in 1657, the first book containing baptisms, burials, and marriages from 1657 to 1749, the second baptisms and burials from 1750 to 1800, and marriages to 1751. Book iii has baptisms and burials from 1801 to 1812; Book iv marriages from 1755 to 1788; and Book v marriages from 1788 to 1812.

## ADVOWSON

The advowson of the church of Shenley, with which passed the advowson of the chapel of St. John the Baptist of Colney, seems originally to have descended with the manor of Shenley Hall, and was claimed both by the Mandevilles, the overlords, and the Somerys as lords of the manor. It would seem that the tithes of Shenley were conferred upon the priory of Hurley, which was founded by Geoffrey de Mandeville in 1136, for in 1218 William, bishop of London, confirmed the tithes of Shenley to the priory as a gift of Geoffrey de Mandeville, but the Mandevilles conveyed their interest in the advowson to the abbot and convent of St. James of Walden in Bedfordshire. [\(fn. 180\)](#) About 1200 a composition was made between Robert, abbot of Walden, and Geoffrey Fitz Piers, earl of Essex, whereby the abbot and his successors were to have the advowson after the decease of Geoffrey, his wife, and son. [\(fn. 181\)](#) It would seem that some part of the interest of the Somerys passed to Ralph Chenduit on his marriage with Avelina de Somery towards the end of the twelfth century. At about the same time Roger de Somery sold the advowson to Richard Fitz Reiner the purchaser of Shenleybury, [\(fn. 182\)](#) and in this charter it is stated that the advowson had been given to Roger by William son of Ralph Chenduit; and William son of Ralph Chenduit a little later granted any right he had to the same Richard, his grant being afterwards confirmed by his son Ralph to Henry, Richard's brother. [\(fn. 183\)](#) In 1205 Ralph Chenduit brought a writ of *darrein presentment* against the abbot of Walden and Miles de Somery. [\(fn. 184\)](#) The verdict of the jury was that Roger de Somery had last presented his son John, and that Miles de Somery was the heir of the said Roger. It was also shown that Miles had quitclaimed his right to Henry Fitz Reiner. [\(fn. 185\)](#) The tithes seem to have remained with the priors of Hurley, and in 1245 difficulties arose between them and Sir Saer, son of Henry Fitz Reiner, as to payment of tithes. A composition was made between them by which Sir Saer agreed to pay tithes in future and to compensate the prior for damages. [\(fn. 186\)](#) No mention is made in 1291 of any payment to the priory of Hurley from Shenley, so it may be concluded that before this time the priory had lost or sold these tithes.

From this date the descent of the advowson followed the descent of the manor of Shenleybury, [\(fn. 187\)](#) till 1685, when Joshua Lomax sold it to Thomas Launder, who sold it in 1696 to John Clement. In 1697 John Clement sold it to Joseph Speed of Croydon, [\(fn. 188\)](#) and he on 9 April, 1714, to Rev. Peter Newcome, vicar of Hackney, [\(fn. 189\)](#) in whose family it remained till the trustees of the Rev. Thomas Newcome sold it in 1902 to Mrs. D. Gotto, the present patron. Philip Falle, the historian of Jersey, was rector of Shenley from 1709 till his death in 1742, when Peter Newcome succeeded him. Between that date and 1901 the incumbents of Shenley have been members of the Newcome family with the exception of the two periods 1748 to 1752, and 1797 to 1801. Peter Newcome, the author of the *History of the Abbey of St. Albans*, became rector in 1752.

The Nonconformists were early established in Shenley. A conventicle was held there in 1669, at which about forty attended. The first registration of a meeting-house for Protestant Dissenters occurs in 1690, and of a house for Anabaptists in 1698. There is now a Wesleyan chapel at Shenley, and a Baptist chapel at London Colney.

## CHARITIES

In 1633 a sum of £50 for the use of the poor, the gift of Sir Richard Coxe, one of the masters of the household of King James I, was laid out in the purchase of a dwelling-house, garden, and orchard in South Mimms. On the inclosure of Enfield Chase, in 1776, a piece of meadow ground containing two acres at Potters Bar was allotted in respect of the above-mentioned premises. In 1875 the dwellinghouse was sold for £155, which was invested in consols, now amounting, with accumulations, to £181 19s. 3d. consols, with the official trustees. The land at Potter's Bar was in 1905 also sold for £450, and invested in £495 17s. 4d. consols in the same names. The dividends on the sums of stock, amounting together to £16 18s. 10d., are distributed by trustees appointed by a scheme of the Charity Commissioners of 15 November, 1904, among poor parishioners in sums of money ranging from 1s. to 3s. 6d. each.

The Rev. George St. Alban Godson, who died in the year 1900, was at the date of his death possessed of a sum of Metropolitan 2½ per cent. stock, and also of an interest in a cottage at Shenley, known as Well Cottage, in which a school had been established by Rev. G. Godson and his wife.

In the result of proceedings instituted in the High Court by the Rev. Arthur Richard Godson, the brother and residuary legatee of the said Rev. G. St. A. Godson, a scheme was established by an order of the court, dated 9 March, 1903, whereby the balance of the stock, amounting, after payment of costs, to £1,451 10s. 1d. 2½ per cent. Metropolitan Stock, was transferred to the official trustees, and the dividends were directed to be applied for the education at Well Cottage of children who are too young to attend another school. The rector and churchwardens were appointed trustees. The cottage is kept in repair out of the trust fund, and £35 a year is paid to the schoolmistress.

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## Footnotes

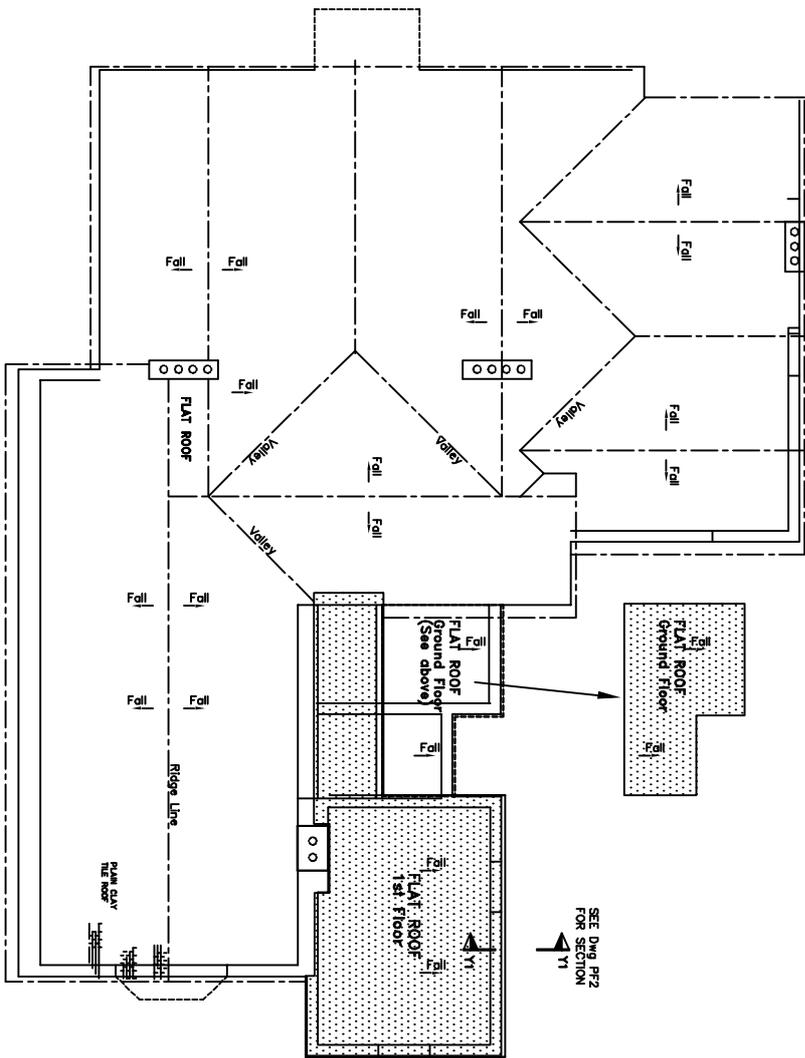
- 1. This parish, with the adjoining parishes, was apparently at one time forest land. Assarting was being carried out early in the thirteenth century (P.R.O. Anct. D., B. 3218).
- 2. Information from Bd. of Agric.
- 3. *Home Counties Mag.* (1903), p. 233.

- [4.](#) *Midd. and Herts. N. and Q.* i, 127.
- [5.](#) Rentals and Surv. Herts. 297.
- [6.](#) Exch. Spec. Com. 11 Jas. I, 3907.
- [7.](#) a Chart. R. 52 Hen. III, m. 7.
- [8.](#) b There are several mentions of this land. (Rentals and Surv. 297; Feet of F. Herts. Mich. 18 Edw. III, and *ibid.* Mich. 38–9 Eliz.).
- [9.](#) c Salmon, *Hist. of Herts.* 61.
- [10.](#) d Mr. Cussans, in his *Hist. of Herts. Dacorum Hund.* 312, refers to an estate held in Shenley by Thomas Fitz Eustace in the fourteenth century, and a writer in the *Atbenaeum* of 20 Sept. 1879 also mentions it. There can be no doubt, however, that this property was the manor of Shenley in Buckinghamshire; see Charter R. 20 Edw. I, No. 58, and Inq. p. m. 35 Edw. III, pt. 1, No. 84.
- [11.](#) See *V.C.H. Herts.* i, 319 *n.* Besides the reasons given there we find that Ranulph was also a serjeant of the count of Mortain at Berkhamstead (*ibid.* p. 317*b*), and that the Chenduits held land by serjeanty of the castle of Berkhamstead.
- [12.](#) P.R.O. Anct. D., B. 3218; Proc. in Parl., Chap. Ho. No. 590.
- [13.](#) P.R.O. Anct. D., A. 5438; Feet of F. Herts. 6 John, No. 84.
- [14.](#) *Ibid.*
- [15.](#) Proc. in Parl., Chap. Ho. 590.
- [16.](#) P.R.O. Anct. D., A. 5438.
- [17.](#) *Ibid.* A. 5115, 5138, &c.
- [18.](#) Proc. in Parl., Chap. Ho. 590; P.R.O. Anct. D., A. 5141. In the latter we have the son, John, described as John son of Saer son of Henry de London.
- [19.](#) *Cal. of Feet of F. Lond. and Midd.* i, 216.
- [20.](#) P.R.O. Anct. D., A. 5121. Saer and John his son seem to have mortgaged land, probably this manor, to Hagin son of Master Moses, a Jew of London, and in 1268 Hagin transferred the debt to Adam de Stratton; J. M. Rigg, *Cal. of Plea Rolls of Exchequer of Jews*, i, 193 and 206.
- [21.](#) Feet of F. Herts. Hen. III, No. 650; P.R.O. Anct. D., A. 5118.
- [22.](#) Assize R. 325. There are two interesting surveys of the manor taken in 1277 and 1291 (Rentals and Surv. 296 and 297), from which we learn that the court, garden, and curtilage covered an acre, and there were 452½ acres of demesne, thirty-one free tenants, and seven customary tenants, whose services are set out, amongst which was carrying of corn to London. The manor was held of the manor of King's Langley.
- [23.](#) *Red Book of the Exch.* (Rolls Ser.), 1025.
- [24.](#) Pat. 22 Edw. I, m. 26.
- [25.](#) *Ibid.* 10 Edw. II, pt. 2, m. 11.
- [26.](#) *Ibid.* 2 Edw. III, pt 2, m. 33.
- [27.](#) Pat. 5 Edw. III, pt. 3, m. 15.
- [28.](#) *Ibid.* 6 Edw. III, pt. 2, m. 3.
- [29.](#) *Ibid.* 8 Edw. III, pt. 2, m. 31.
- [30.](#) *Ibid.* 10 Edw. III, pt. 1, m. 24.
- [31.](#) Chart. R. 12 Edw. III, No. 38.
- [32.](#) Inq. p.m. 23 Edw. III, No. 45.
- [33.](#) Cussans, *Hist. of Herts. Dacorum Hund.* 308.
- [34.](#) Ct. of Wards D. box 146, M. 3; Pedigree in Clutterbuck's *Hist. of Herts.* i, 474.
- [35.](#) Feet of F. Div. Cos. Trin. 6 Hen. VI.
- [36.](#) Inq. p.m. 9 & 10 Edw. IV, No. 20.
- [37.](#) Inq. p.m. Exch. file 295, No. 5.
- [38.](#) *Ibid.* (Ser. 2), vol. 62, No. 87.
- [39.](#) *Ibid.* vol. 86, No. 98.
- [40.](#) *Ibid.* vol. 146, No. 128; Feet of F. Herts. Mich. 23 & 24 Eliz.; Trin. 30 Eliz.; Ct. of Wards D. 146 H. 2; Chan. Proc. Eliz. P.p. 6, 61; and P.R.O. Anct. D., A. 12421.
- [41.](#) Ct. of Wards D. 146. O. 6.
- [42.](#) Inq. p.m. 15 Jas. I, pt. 1, No. 189; and Ct. of Wards, Feod. Surv. 17.
- [43.](#) *Cal. of Com. for Compounding*, 900.
- [44.](#) Feet of F. Herts. East. 18 Chas. II.
- [45.](#) Inq. p.m. (Ser. 2), vol. 2, No. 61, and Inq. p.m. Exch. file 306, No. 3.
- [46.](#) *V.C.H. Herts.* i, 330*b*.
- [47.](#) *Excerpta e Rot. Fin.* (Rec. Com.), i, 182.
- [48.](#) *Ibid.* 295.
- [49.](#) Feet of F. Herts. file 27, No. 493; and Inq. p.m. 17 Edw. I, No. 50. By the latter we find that on the death of Adam de Somery without issue his heirs were the representatives of his four aunts, but Joan, wife of Stephen de Somery, held the manor in dower.
- [50.](#) P.R.O. Anct. D., A. 5117.
- [51.](#) *Feud. Aids*, ii, 425. The wife of Thomas de Muskham, Isabella, may have been heir of Margaret.

- [52](#). *Cal. of Close*, 1333–7, pp. 656, 657; Duchy of Lanc. D., L. 1596, 1597.
- [53](#). Feet of F. Herts. file 75, No. 164.
- [54](#). Close, 25 Edw. III, pt. 1, m. 7*d.*; *ibid.* 33 Edw. III, m. 33*d.*, 14 *d.*
- [55](#). Close, 35 Edw. III, m. 24 *d.*
- [56](#). Close, 12 Ric. II, m. 25 *d.*
- [57](#). Inq. p.m. 1 Hen. IV, pt. 1, No. 11. The heirs of John Aubrey are here given.
- [58](#). a Feet of F. Div. Cos. Hil. 36 Hen. VI. Isabel was daughter of Sir Edmund Ingoldesthorpe of Borough Green, co. Cambridge.
- [59](#). Inq. p.m. (Ser. 2), vol. 2, No. 61.
- [60](#). *Ibid.* No. 81.
- [61](#). Feet of F. Herts. Mich. 23 Hen. VII.
- [62](#). Inq. p.m. 12 & 13 Hen. VIII, E. file 306, No. 3.
- [63](#). Memo. L.T.R. Trin. Recorda, 32 Hen. VIII, rot. 14.
- [64](#). *Herts. Gen.* iii, 322.
- [65](#). *Ibid.* 328.
- [66](#). Exch. Spec. Com. 11 Jas. I, 3907.
- [67](#). a Feet of F. Herts. Hil. 14 Jas. I.
- [68](#). b *Ibid.* Mich. 20 Chas. II.
- [69](#). c Close 21 Chas. II, pt. 11, No. 12.
- [70](#). From information supplied by Mr. Walter E. Martin.
- [71](#). *Ibid.*
- [72](#). Proc. in Parl., Chap. Ho. 590, in which is a number of charters relating to this chapel.
- [73](#). *Rot. Cur. Reg.* i, App. ii, p. cv.
- [74](#). P.R.O. Anct. D., A. 11827.
- [75](#). I am indebted to Mr. Ellis of the British Museum for the information as to the parentage of Richard Fitz Reiner, which is proved by Harl. Charters 85 A 54, 85 A 57, 85 B 47, and 56 G 5.
- [76](#). Round, *Commune of London*, 253, 254.
- [77](#). Ralph de Diceto, *Opera Historica* (Rolls Ser.), ii, 99.
- [78](#). Proc. in Parl., Chap. Ho. 590.
- [79](#). *Ibid.*
- [80](#). *Ibid.* and Ct. of Wards D. Box 146 R.
- [81](#). The last induction seems to have been in 1437, but there is reference to the chaplain of Colney in 1446 (Rentals and Surv. 294).
- [82](#). Exch. Dep. Hil. 9 Eliz. 1, a deponent says that fifty years previously he had heard of the chapel.
- [83](#). Exch. Dep. 9 Eliz. Hil. 1.
- [84](#). Pat. 9 Eliz. pt. 5, m. 3.
- [85](#). Ct. of Wards D. 146A/2
- [86](#). *Ibid.* 146K/3
- [87](#). *Ibid.* 146K/2
- [88](#). *Ibid.* 146K/1 and Add.MS.4109, fol. 126.
- [89](#). Ct. of Wards D. 146T/3
- [90](#). *Ibid.* 146K/10 and 146T/3
- [91](#). *Ibid.* 38A/3 and 146R/28
- [92](#). *Ibid.* 146T/3
- [93](#). *Ibid.* 146 A.
- [94](#). Inq. p.m. 15 Jas. I, pt. 1, No. 189; Ct. of Wards, Feod. Surv. 17.
- [95](#). Inq. p.m. vol. 483, No. 97.
- [96](#). *Ibid.* vol. 493, No. 116.
- [97](#). *Ibid.*
- [98](#). Cussans, *Hist. of Herts. Cashio Hund.* 31.
- [99](#). *Herald and Genealogist*, viii, 368.
- [100](#). *MSS. of Earl of Verulam* (Hist. MSS. Com.), 160.
- [101](#). Jas. Dugdale, *New British Traveller*, iii, 49; Britton, *Beauties of England and Wales*, vii, 283.
- [102](#). Jas. Dugdale, *New British Traveller*, iii, 49.
- [103](#). Cussans, *Hist. of Herts. Cashio Hund.* 31.
- [104](#). From information supplied by Mr. E. G. Oddie.
- [105](#). M. I. in Shenley church.
- [106](#). From information supplied by Mr. E. G. Oddie.
- [107](#). *Ibid.*
- [108](#). This information has been kindly supplied by the late Mother Superior of All Saints Sisters.

- [109](#). Cott. MSS. Nero, D. 7, fol. 96.
- [110](#). Proc. in Parl., Chap. Ho. 590.
- [111](#). Add. Chart. 18158, 18186; Caledon D., Rental of Park.
- [112](#). In 1329 Hugh de Wymbysh and Lettice his wife conveyed by fine to Matthew de la Vache a messuage and 260 acres of land, 6 acres of wood, and 66s. 6d. rent in Weld (Feet of F. Herts. file 70, No. 30).
- [113](#). *Casbio Hund.* 253; the MS. is from the collection of Sir Isaac Heard, J.P., 7, fol. 18–20, Coll. of Heralds.
- [114](#). In 1476 he conveyed it to John Forster and others, probably in trust. Close, 16 Edw. IV, m. 22*d*; see also Pat. 1 Ric. III, pt. 2, m. 23, and Add. Chart. 18179.
- [115](#). Wills P.C.C. 18, Porch. In 1505 John Forster of Maudeleyns in Northchurch held the manor possibly by lease; Caledon D., Rental of Park. See also Early Chan. Proc. bdle. 102, No. 10.
- [116](#). Feet of F. Herts. Mich. 36 Hen. VIII.
- [117](#). *Ibid.* Hil. 4 & 5 Phil. and Mary; and Hil. 5 Edw. VI.
- [118](#). Feet. of F. Herts. Mich. 44 & 45 Eliz. and Hil. 22 & 23 Chas. II; Surv. of lands of Edw. Briscoe, Ct. of Wards Feod. Surv. 17; Inq. p.m. (Ser. 2), vol. 535, No. 34.
- [119](#). M. I. in Shenley church.
- [120](#). Feet of F. Herts. Hil. 10 Geo. II as to a fine of the manor between Robert Harper and Charles Hicks and Humph. Aram; Recov. R. Hil. 10 Geo. II, rot. 20.
- [121](#). Feet of F. Herts. Trin. 12 Geo. III; *Gent. Mag.* Nov. 1787, p. 1032.
- [122](#). Whethamstede, *Registrum Abbatiae*, (Rolls Ser.), ii, 171.
- [123](#). Ct. of Wards Feod. Surv. 17.
- [124](#). Rentals and Surv. Herts. 296.
- [125](#). *Ibid.* 297; and Inq. p.m. 7 Hen. VI, No. 57.
- [126](#). Feet of F. Herts. Mich. 14 Hen. VII.
- [127](#). Common Pleas D. Enr. Trin. 31 Hen. VIII, m. 2*d*.
- [128](#). Feet of F. Herts. East. 37 Eliz. At about this time the manor seems to have been in the hands of Richard Frances, who is called 'of Salmons,' and was succeeded by his son Alban, also 'of Salmons' (*Harl. Soc.* xxii, 55).
- [129](#). Ct. of Wards Feod. Surv. 17.
- [130](#). Feet of F. Herts. Trin. 32 & 33 Geo. II.
- [131](#). Com. Pleas D. Enr. Mich. 14 Geo. III, m. 184; and Feet of F. Herts. Mich. 14 Geo. III.
- [132](#). Feet of F. Herts. file 68, No. 427.
- [133](#). *Ibid.* file 77, No. 214.
- [134](#). D. and C. of Westm. Ct. R. 8943.
- [135](#). *Ibid.* 8945.
- [136](#). Close, 3 Hen. VII, m. 21.
- [137](#). *Harl. Soc.* xxii, 146.
- [138](#). Com. Pleas D. Enr. Trin. 31 Hen. VIII, m. 2*d*. (see the account of Salmons).
- [139](#). Ct. of Wards D. 69A/2
- [140](#). Inq. p.m. 22 Jas. I, pt. 2, No. 34.
- [141](#). Pedigree of Coxe in Clutterbuck, *Hist. of Herts.* i, 114.
- [142](#). M. I. in church.
- [143](#). Chart. R. 6 Ric. II, No. 7. The family of Holmes held much land here, see Rentals and Surv. (P.R.O.), Nos. 296, 297.
- [144](#). Aug. Off. Decr, viii, 115; and Mins. Accts. 31 & 32 Hen. VIII, No. 112.
- [145](#). Pat. 35 Hen. VIII, pt. 9, m. 20.
- [146](#). B.M. Add. Chart. 1992, 1993.
- [147](#). Pat. 1 Eliz. pt. 10.
- [148](#). Inq. p.m. vol. 181, No. 113.
- [149](#). Fine R. 29 Eliz. No. 42.
- [150](#). Inq. p.m. vol. 261, No. 77.
- [151](#). Fine R. 43 Eliz. pt. 1, No. 23.
- [152](#). Inq. p.m. (Ser. 2), vol. 395, No. 109.
- [153](#). *Harl. Soc.* xxii, 96; Feet of F. Div. Cos. Mich. 6 Chas. I.
- [154](#). Recov. R. Trin. 1656, rot. 46.
- [155](#). Feet of F. Herts. Mich. 35 Chas. II.
- [156](#). *Ibid.* Mich. 9 Geo. I.
- [157](#). Information supplied by Mr. H. C. Gibbs.
- [158](#). See Plan on Recov. R. Trin. 8 Geo. IV, rot. 10.
- [159](#). *Gesta Abbat.* (Rolls Ser.), i, 264.
- [160](#). Feet of F. Herts. file 25, No. 443.
- [161](#). *Ibid.* file 31, No. 593; Add. Chart. 18158, 18186, 18189.

- [162](#). Feet of F. Herts. file 67, No. 404.
- [163](#). Close, 49 Edw. III, m. 30 and 29.
- [164](#). See lease of Netherweld by Henry Frowick, 1521; Add. Chart. 18179; also Mins. Accts. 32 & 33 Hen. VIII, m. 71.
- [165](#). Caledon D. Rental of Park, 20 Hen. VII.
- [166](#). Feet of F. Herts. Mich. 29 Hen. VIII; and Hil. 4 Edw. VI.
- [167](#). Ibid. East. 3 Eliz.
- [168](#). Ibid. Hil. 29 Geo. II.
- [169](#). Recov. R. D. Enr. Trin. 8 Geo. IV, rot. 10.
- [170](#). Mins. Accts. 28 & 29 Hen. VIII, No. 85, m. 8.
- [171](#). Pat. 33 Hen. VIII, pt. 4.
- [172](#). Pat. 38 Hen. VIII, pt. 8.
- [173](#). P.C.C. Wills, Luffenham 2; see also will of Wm. Blundell, 1438; *Herts. Gen.* ii, 237.
- [174](#). The church is now merely a rectangular room, 81½ ft. by 32½ ft.
- [175](#). Wills, Archd. of St. Albans, Stoneham, 69*d.* and 79, and Wallingford 1 *d.*
- [176](#). For Trust D. see Close, 1852, pt. 67, No. 3.
- [177](#). Linc. Epis. Reg. Gravesend.
- [178](#). Linc. Epis. Reg. Dalderby, fol. 231 *d.*
- [179](#). Feet of F. Herts. 14 Hen. VI, No. 79.
- [180](#). Dugdale, *Mon. Angl.* iii, 435; *ibid.* iv, 141.
- [181](#). Duchy of Lanc. D. in Boxes, A. 11.
- [182](#). Harl. Chart. 56 G. 5.
- [183](#). P.R.O. Anct. D., A. 5438.
- [184](#). Cur. Reg. R. 39, rot. 8 *d.*
- [185](#). *Abbrev. Plac.* (Rec. Com.), 48; Feet of F. Herts. 6 John, No. 84.
- [186](#). a P.R.O. Anct. D., A. 12969.
- [187](#). In 1344 it was proposed to unite the church of Shenley to the chapel of the Body and Blood of Jesus Christ adjoining the church of St. Lawrence, Candlewick Street, London, founded by Sir John Pulteney, but the proposal was apparently not carried out (*Cal. of Papal Pet.* i, 37).
- [188](#). Cussans, *Hist. of Herts. Dacorum Hund.* 322.
- [189](#). *Assessment of Parish of Aldenham* in 1694, p. 3.



ROOF PLAN

SEE DWG PF2  
FOR SECTION  
Y1



NOTES:



Scale

0 1M 5M

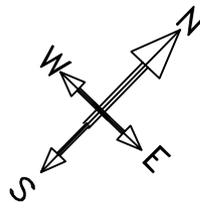
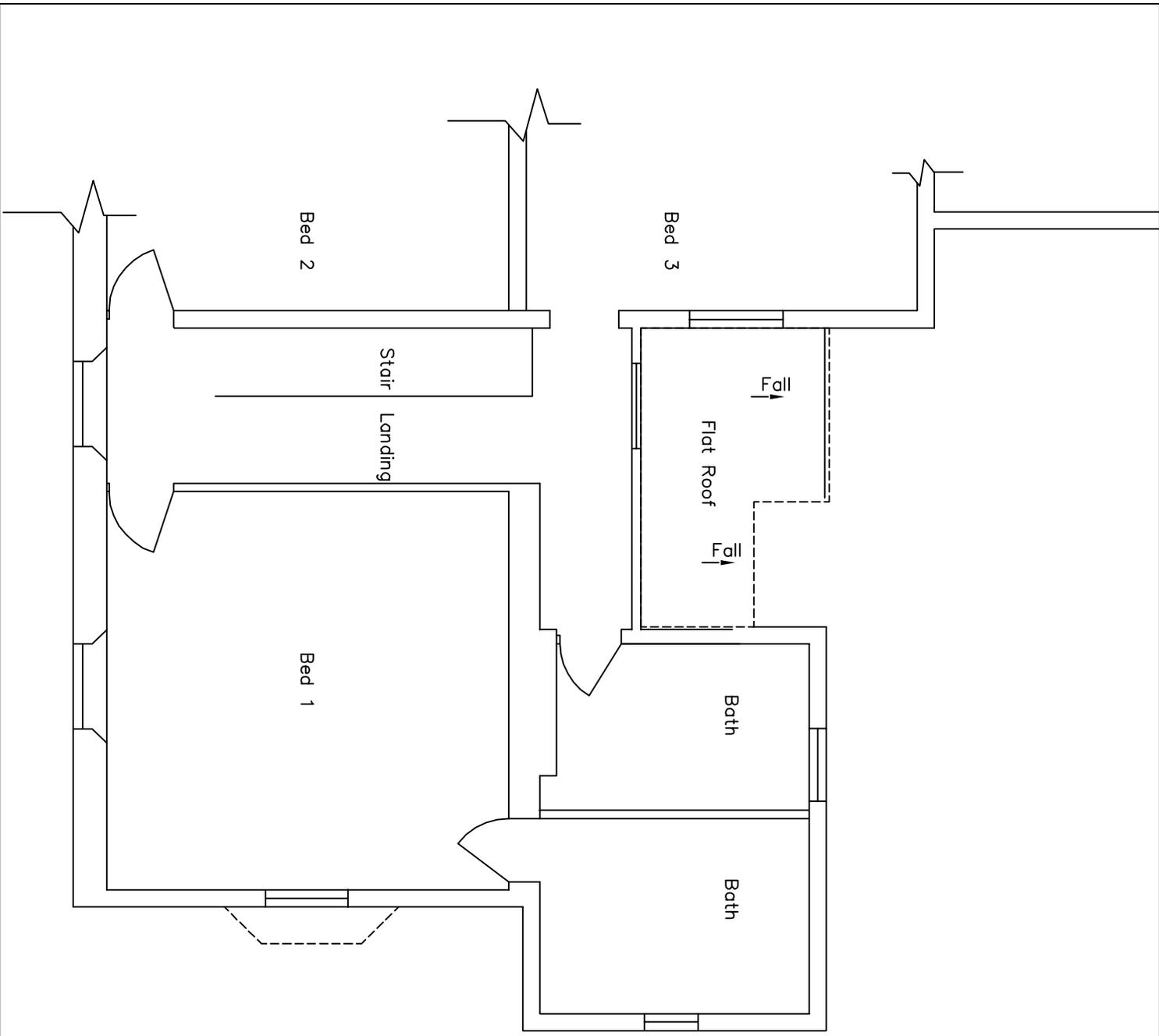
THE  
FRANKS  
FLAT ROOF  
GROUND & 1ST FLOOR  
EXISTING BUILDING

Project number: PFI

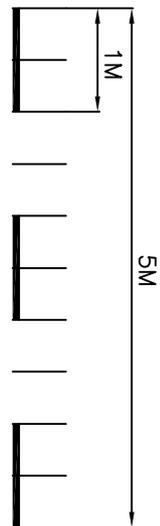
FOR INFORMATION

Date	Drawn	Checked	Authorised
1:50 (at A1)			
Nov 2023			

Project:  
PURSLEY FARMHOUSE  
2 LONDON ROAD  
SHENLEY  
HERTS  
WD79EN



NOTES:  
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Scale

Revisions	Description	DATE
..	....	..

Title  
**PLANS**  
**FIRST FLOOR (Part)**  
**Existing Building**

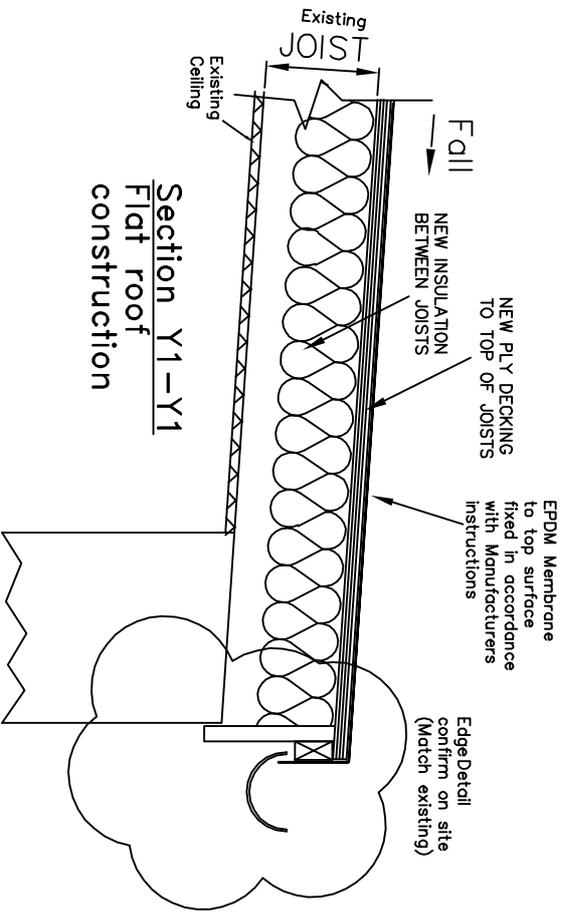
Drawing number  
**PF3**

Rev ..

Issue status  
**FOR INFORMATION**

Scale	1:50 (at A3)	Drawn
Date	Nov 2023	Checked
Date Plotted	..	Authorised

Project  
**PURSLEY FARMHOUSE**  
**2 LONDON ROAD**  
**SHENLEY**  
**Herts**  
**WD79EN**



Revisions	Description	DATE
..	....	..

Title  
**SECTION DETAIL  
 FLAT ROOFS  
 GROUND & 1ST FLOOR  
 Existing Building**

Drawing number  
**PF2**

Issue status  
**FOR INFORMATION**

Scale  
**1:10 (at A4)**

Date  
**Nov 2023**

Date Plotted  
 ..

Project  
**PURSLEY FARMHOUSE  
 2 LONDON ROAD  
 SHENLEY  
 Herts  
 WD79EN**

# PLANNING HISTORY FOR PURSLEY FARM/ FARMHOUSE

- **Continued use of Yard 16 as commercial use for storage of ground maintenance equipment and vehicles. Certificate of Lawful Development (Existing).**

Pursley Farm 2 London Road Shenley Radlett Hertfordshire WD7 9EN  
Ref. No: 21/1367/CLE | Received: Wed 30 Jun 2021 | Validated: Thu 01 Jul 2021 | Status: Decided

- **Erection of new steel portal framed general purpose agricultural & straw storage building.**

Pursley Farm 2 London Road Shenley Hertfordshire WD7 9EN  
Ref. No: 21/0690/PD28O | Received: Mon 29 Mar 2021 | Validated: Mon 29 Mar 2021 | Status: Decided

- **Construction of a lean-to extension to existing agricultural storage building.**

Pursley Farm 2 London Road Shenley Hertfordshire WD7 9EN  
Ref. No: 21/0284/FUL | Received: Wed 10 Feb 2021 | Validated: Wed 10 Feb 2021 | Status: Decided

- **Continued use of the property known as building 23 as a car sales business for the cleaning, valeting and storage of cars associated with the business. Certificate of Lawful Development (Existing).**

Pursley Farm 2 London Road Shenley Hertfordshire WD7 9EN  
Ref. No: 20/1856/CLE | Received: Fri 13 Nov 2020 | Validated: Fri 13 Nov 2020 | Status: Decided

- **Retention of biomass boiler, steel container and associated tanks (retrospective application).**

Pursley Farm 2 London Road Shenley Hertfordshire WD7 9EN  
Ref. No: 20/0563/FUL | Received: Mon 27 Apr 2020 | Validated: Fri 01 May 2020 | Status: Decided

- **Continued use of the property known as building 23 as a car sales business for the cleaning, valeting and storage of cars associated with the business. Certificate of Lawful Development (Existing).**

Pursley Farm 2 London Road Shenley Hertfordshire WD7 9EN  
Ref. No: 19/1905/CLE | Received: Mon 02 Dec 2019 | Validated: Mon 02 Dec 2019 | Status: Decided

- **Continued use of the property known as Building 16 and Yard 16 as an industrial unit with an administration office for the operation of the business and yard area to store & repair machinery and vehicles associated with the business. Certificate of Lawful Development (Existing)**

Pursley Farm 2 London Road Shenley Hertfordshire WD7 9EN  
Ref. No: 19/1828/CLE | Received: Fri 15 Nov 2019 | Validated: Wed 20 Nov 2019 | Status: Decided

- **Replacement of 4 C.19th casement windows at ground floor level.**

Pursley Farm 2 London Road Shenley Hertfordshire WD7 9EN  
Ref. No: 19/1088/LBC | Received: Thu 11 Jul 2019 | Validated: Thu 11 Jul 2019 | Status: Decided

- **Works to include electrical rewiring, repair and replacement of windows, remedial works to front elevation, roof, pedestrian entrance door to barn and main entrance doors. Certificate of Lawful Development for Listed Building (Proposed)**

Pursley Farmhouse 2 London Road Shenley Hertfordshire WD7 9EN

Ref. No: 19/O681/CLPLB | Received: Mon 29 Apr 2019 | Validated: Mon 13 May 2019 | Status: Decided

- **Proposed grain store, bunding, hard-surfacing and landscaping works. (Application for determination on agricultural development)**

Pursley Farm London Road Shenley Hertfordshire WD7 9EN  
Ref. No: TP/O5/O586 | Received: Wed 25 May 2005 | Validated: Wed 25 May 2005 | Status: Unknown

- **Proposed grain store. (Application for prior approval of agricultural development)**

J. S. Hunter And Son Pursley Farm London Road Shenley Herts WD7 9EN  
Ref. No: TP/O5/O184 | Received: Wed 23 Feb 2005 | Validated: Wed 23 Feb 2005 | Status: Unknown

- **Work to lounge including underpinning, brickwork repair, replacement floor, replacement French windows and ancillary works (Listed Building Application) (Additional plans and information re**

Pursley Farmhouse London Road Shenley Herts  
Ref. No: TP/98/O711 | Received: Thu 30 Jul 1998 | Validated: Thu 30 Jul 1998 | Status: Decided

- **Erection of steel building for grain storage and workshop. (Agricultural Development Determination)**

Pursley Farm London Road Shenley WD7 9EN  
Ref. No: TP/98/O195 | Received: Wed 04 Mar 1998 | Validated: Wed 04 Mar 1998 | Status: Unknown

- **Extension to agricultural building (Notification of proposed agricultural development)**

Pursley Farm London Road Shenley Herts

Ref. No: TP/93/0124 | Received: Fri 19 Feb 1993 | Validated: Fri 19 Feb 1993 | Status: Unknown

- **Double-sided pole-mounted sign (Advertisement Consent Application) (Amended plans received 2/12/92).**

Pursley Farm London Road Shenley Herts

Ref. No: TP/92/0752 | Received: Sun 29 Nov 1992 | Validated: Sun 29 Nov 1992 | Status: Decided

- **Listed building application for cattle and grain store**

Pursley Farm London Road Shenley

Ref. No: TP/89/1017 | Received: Thu 24 Aug 1989 | Validated: Thu 24 Aug 1989 | Status: Decided

- **Cattle and grain store.**

Pursley Farm London Road Shenley

Ref. No: TP/89/0675 | Received: Wed 07 Jun 1989 | Validated: Wed 07 Jun 1989 | Status: Decided

- **PROPOSED BATHROOM AND KITCHEN EXTENSION.**

Pursley Farm Cottage Pursley Farm 6 London Road Shenley Hertfordshire WD7 9EN

Ref. No: TP/80/0303 | Received: Thu 17 Jul 1980 | Validated: Thu 17 Jul 1980 | Status: Unknown